

- NOTE:**
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 2. Dimensions are to brick sizes & do not allow for plaster, render or set.
 3. Ceiling height dimensions are approximate & are subject to change due to roof construction & lining thickness.
 4. All dimensions noted on all sheets are approximate & are subject to change during the construction process.
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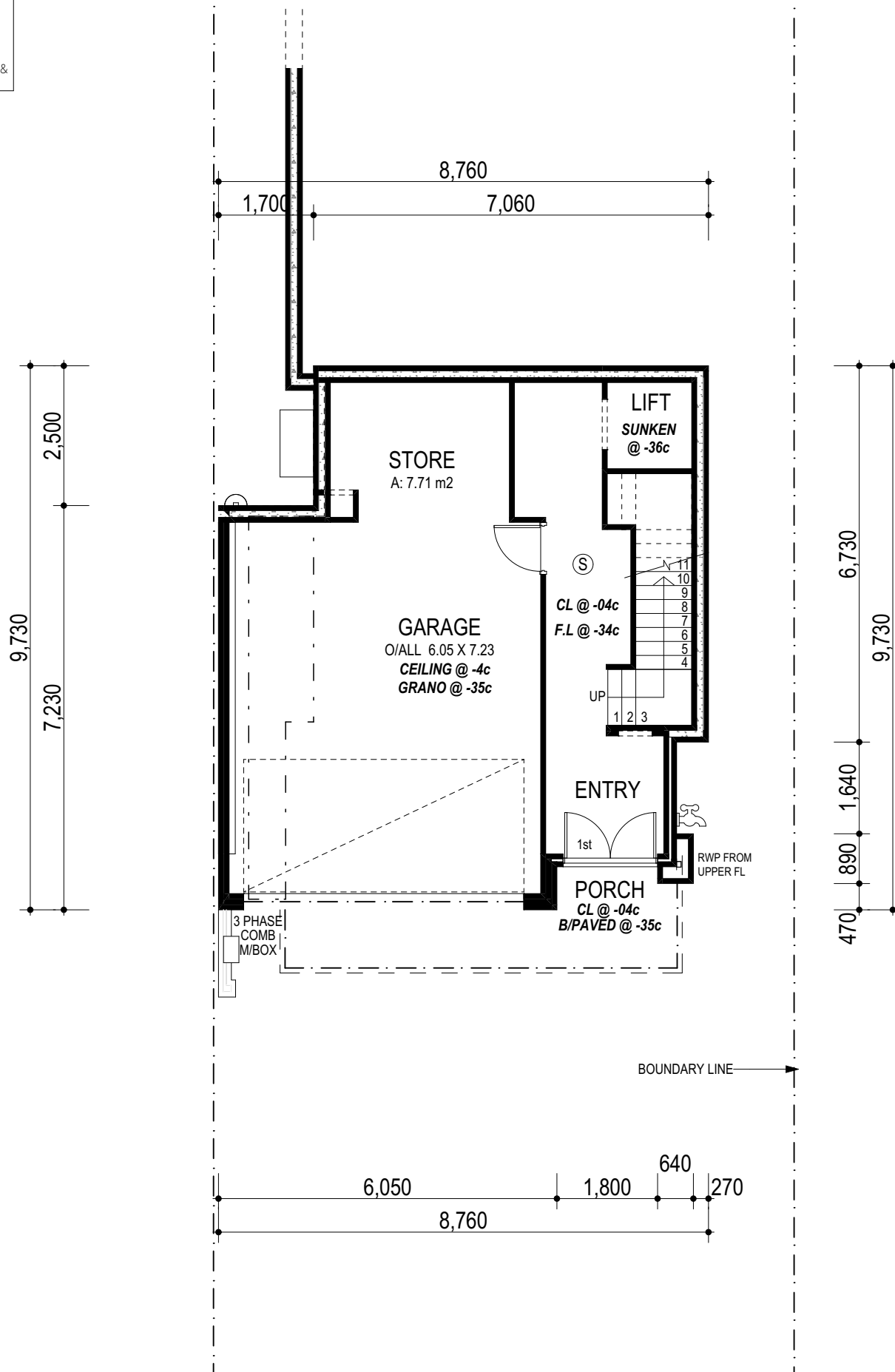
WIND CLASSIFICATION	N1
TERRAIN CATEGORY	TC2
SHIELDING	FS
TOPOGRAPHY	T0

ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

(S) DENOTES SMOKE DETECTOR
NOTE : SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC REQUIREMENTS & AS 3786.

NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-###.
CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.

AREA	
U/CROFT GARAGE	50.51
UNDERCROFT	27.63
PORCH	3.40
TOTAL	81.54 m ²
PERIMETER	57.89 m
GROUND FL (INCLUDING VOID & STAIRS)	167.90
ALFRESCO	27.16
TOTAL	195.05 m ²
PERIMETER	65.16 m
UPPER FL (INCLUDING VOID & STAIRS)	98.99
BALCONY	17.63
TOTAL	116.62 m ²
PERIMETER	44.36 m
GRAND TOTAL	393.22 m ²



UNDERCROFT FLOOR PLAN

1:100

SH STANNARD HOMES
 VISION SPECIFICATION

42 Hasler Road, Osborne Park
 Western Australia 6017

Telephone (08) 9446 5500
 Facsimile (08) 9446 1825

PROPOSED RESIDENCE FOR
 MR J. R. BENNETT & MS M. WIERDA
 LOT 700 (#40B)
 DONEY STREET, ALFRED COVE

email: enquiries@stannardgroup.com.au
 www.stannardgroup.com.au

Stannard Group Pty Ltd
 ABN 27 008 828 082 BC 6583

INDIVIDUAL TWO STOREY			
DRAWN GP	AMENDMENTS AMD-001-00-00-00-000	VARIATION V0-000-00-00-00-000	SHEET 01 OF 13
DATE 28-05-2021			JOB No 5224

CLIENT:	PLAN: DP 416604	LOT AREA: 501m ²	SURVEY DATE: 21/01/21
BUILDER: STANNARD HOMES	C/T Vol: 2985	Fol: 495	MAP REFERENCE:
BUILDER JOB # 5224	HEIGHT DATUM: AHD	COASTAL ZONE: 0.51KM (river)	
AUTHORITY: CITY OF MELVILLE	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	

FEATURE SYMBOL LEGEND

POWER

CABLE DOME	POWER POLE	PP
CABLE BOX	CONSUMER POLE	CP
POWER MARKER	EXPOSED CABLES	EC
LIGHT POLE	STAYWIRE ANCHOR	SWA

WATER

WATER METER / TAP	FIRE HYDRANT	⊕
TAP	STOP VALVE	⊕
FLUSHING POINT	RETIC VALVE	⊕
BORE	WATER MARKER	⊕

SEWERAGE

SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)	⊕
INSPECTION SHAFT	INSPECTION OPENING	⊕
HOUSE CONNECTION		

TELSTRA

TELSTRA PIT	TELSTRA MANHOLE	⊕
TELSTRA MARKER		

DRAINAGE

DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID)	⊕
SIDE ENTRY PIT	DRAINAGE GRATE	⊕
COMBINED ENTRY PIT		

GAS

GAS METER	GAS VALVE	⊕
GAS MARKER		

SURVEY MARKS

PEG FOUND	PEG GONE	PG
DRILL HOLE	BENCH MARK	⊕
PEN MARK	NAIL & PLATE	NPL
	NAIL	NAIL

MISCELLANEOUS INFO.

STREET SIGN	SPOT HEIGHT	10.16
UNKNOWN SERVICE MARKER	BOLLARD	⊕
OVERHEAD POWER LINE	SEWER LINE	---
FENCE LINE	WINDOW / OPENING	W

SERVICE DETAILS

WATER: L
 OVERHEAD POWER: NS
 U/G POWER: L
 TELSTRA: L
 GAS: A, TBC
 SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
 A: AVAILABLE BUT NOT LOCATED
 TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 7.30
 UP DISTANCE: 1.6
 DEPTH TO CONNECTION: 0.5

NOTES
 (1) ALL FEATURES IN GOOD CONDITION
 (2) DEVELOPMENT AREA: ESTABLISHED
 (3) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE

WIND CLASSIFICATION	N1
TERRAIN CATEGORY	TC2
SHIELDING	FS
TOPOGRAPHY	TO

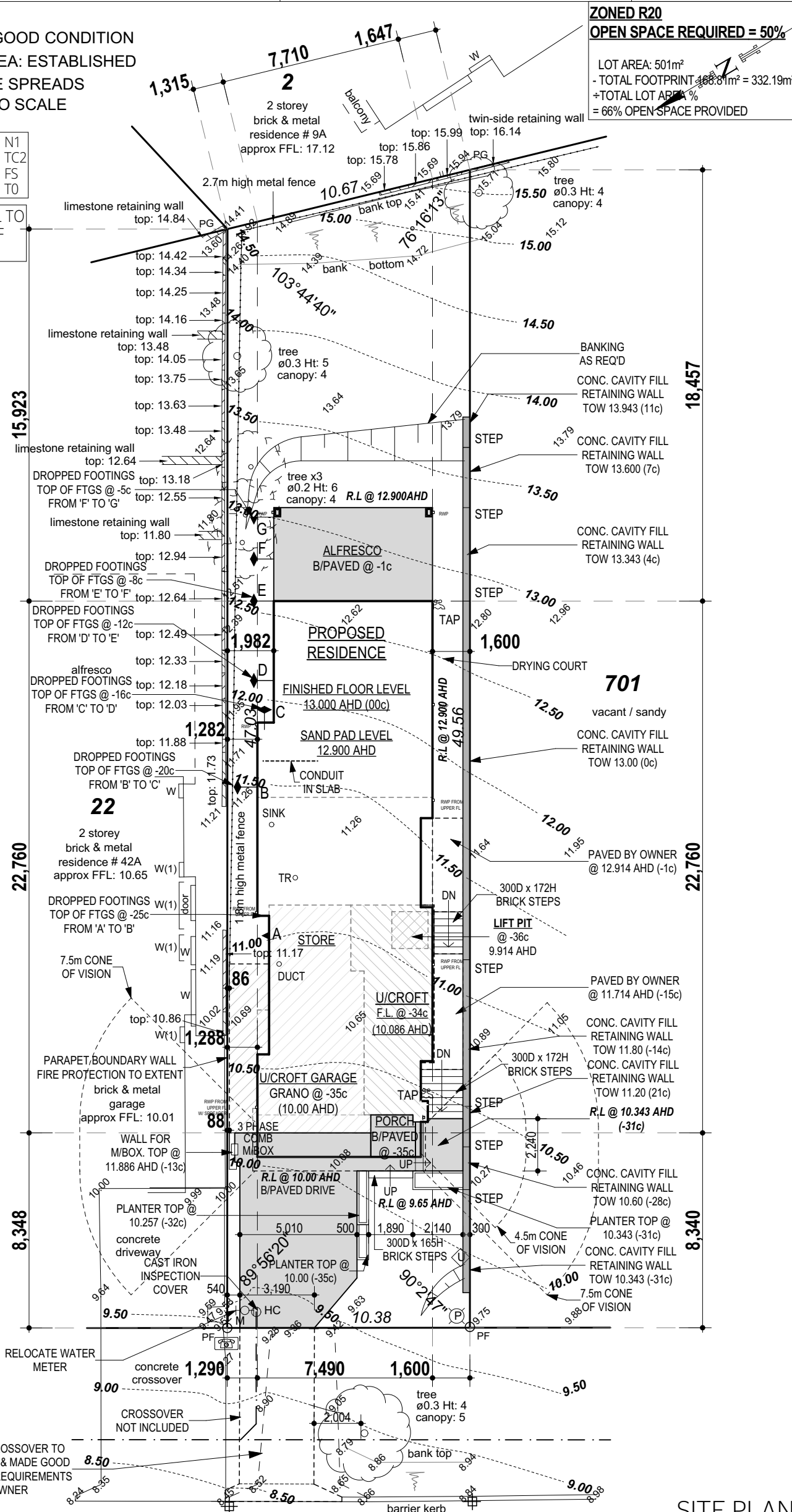
NOTE: SAND PAD LEVEL TO BE WITHIN 40mm OF NOMINATED LEVEL

NOTE: DWELLING EXPOSED TO BUSH FIRE ATTACK LEVEL OF BAL-###. CONSTRUCTION TO COMPLY WITH A.S.3959-2018. REFER TO ADDENDA FOR CONSTRUCTION REQUIREMENTS.

NOTE: BUILDER TO PROVIDE CONDUIT & DRAW WIRE IN TRENCH FOR FUTURE TELSTRA RUN IN BY OWNER.

NOTE: BUILDER TO PROVIDE STORMWATER DISPOSAL TO SOAKWELLS TO SUIT LOCAL AUTHORITIES REQUIREMENTS.

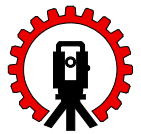
NOTE: TERMITE TREATMENT WILL BE IN ACCORDANCE WITH THE NCC BCA PART 3.1.4, PART 2.1.1 & PART A2 USING THE TERMICO TERMITE MANAGEMENT SYSTEM.



ZONED R20
OPEN SPACE REQUIRED = 50%
 LOT AREA: 501m²
 - TOTAL FOOTPRINT 332.19m²
 + TOTAL LOT AREA = 66% OPEN SPACE PROVIDED

IMPORTANT FEATURE SURVEY NOTES

- The boundary information on this site plan is approximate only. The boundary has been positioned using a best-fit of available survey marks and fence lines. A repeg / body identification survey is recommended if an accurate position of features / improvements relative to the boundary is required.
- The sewer junction on this plan has been plotted using information provided by the Water Corporation. A site inspection is required by the builder / developer in order to verify the position and depth of the sewer connection.
- The lot dimensions shown on this feature survey plan have been taken from L.T.O survey plans. The final repegged dimensions may vary due to adjustments made during field survey.
- All service information shown on this plan should be verified with the relevant authorities.



PRO WEST SURVEYING

Licensed and Engineering Surveying Consultants

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F (08) 9242 8296 Web: www.prowestsurveying.com.au
Po Box 1463 Osborne Park DC 6916 DWG# 4475002

Feature & Contour Survey of: Lot 700, No. 40B Doney Street, ALFRED COVE

REVISION: A
SHEET: 1 OF 1

CLIENT:	PLAN: DP 416604	LOT AREA: 501m ²	SURVEY DATE: 21/01/21
BUILDER: STANNARD HOMES	C/T Vol: 2985 Fol: 495		MAP REFERENCE:
BUILDER JOB # 5224	HEIGHT DATUM: AHD		COASTAL ZONE: 0.51KM (river)
AUTHORITY: CITY OF MELVILLE	HEIGHT CORRECTION TO AHD: NO		SEWER INFORMATION: YES

FEATURE SYMBOL LEGEND

NOTES
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CABLE BOX	CONSUMER POLE CP
POWER MARKER	EXPOSED CABLES EC
LIGHT POLE LP	STAYWIRE ANCHOR SWA
WATER	
WATER METER / TAP M	FIRE HYDRANT H
TAP	STOP VALVE SV
FLUSHING POINT FP	RETIC VALVE RV
BORE	WATER MARKER W
SEWERAGE	
SEWER M/H (SQUARE LID)	SEWER M/H (ROUND LID)
INSPECTION SHAFT IS	INSPECTION OPENING IO
HOUSE CONNECTION HC	
TELSTRA	
TELSTRA PIT	TELSTRA MANHOLE
TELSTRA MARKER	
DRAINAGE	
DRAIN M/H (SQUARE LID)	DRAIN M/H (ROUND LID) D
SIDE ENTRY PIT	DRAINAGE GRATE
COMBINED ENTRY PIT	
GAS	
GAS METER GM	GAS VALVE GV
GAS MARKER	
SURVEY MARKS	
PEG FOUND PF	PEG GONE PG
DRILL HOLE DH	BENCH MARK
PEN MARK PM	NAIL & PLATE NPL
	NAIL
MISCELLANEOUS INFO.	
STREET SIGN	SPOT HEIGHT 10.16
UNKNOWN SERVICE MARKER	BOLLARD B
OVERHEAD POWER LINE	SEWER LINE
FENCE LINE	WINDOW / OPENING W

SERVICE DETAILS

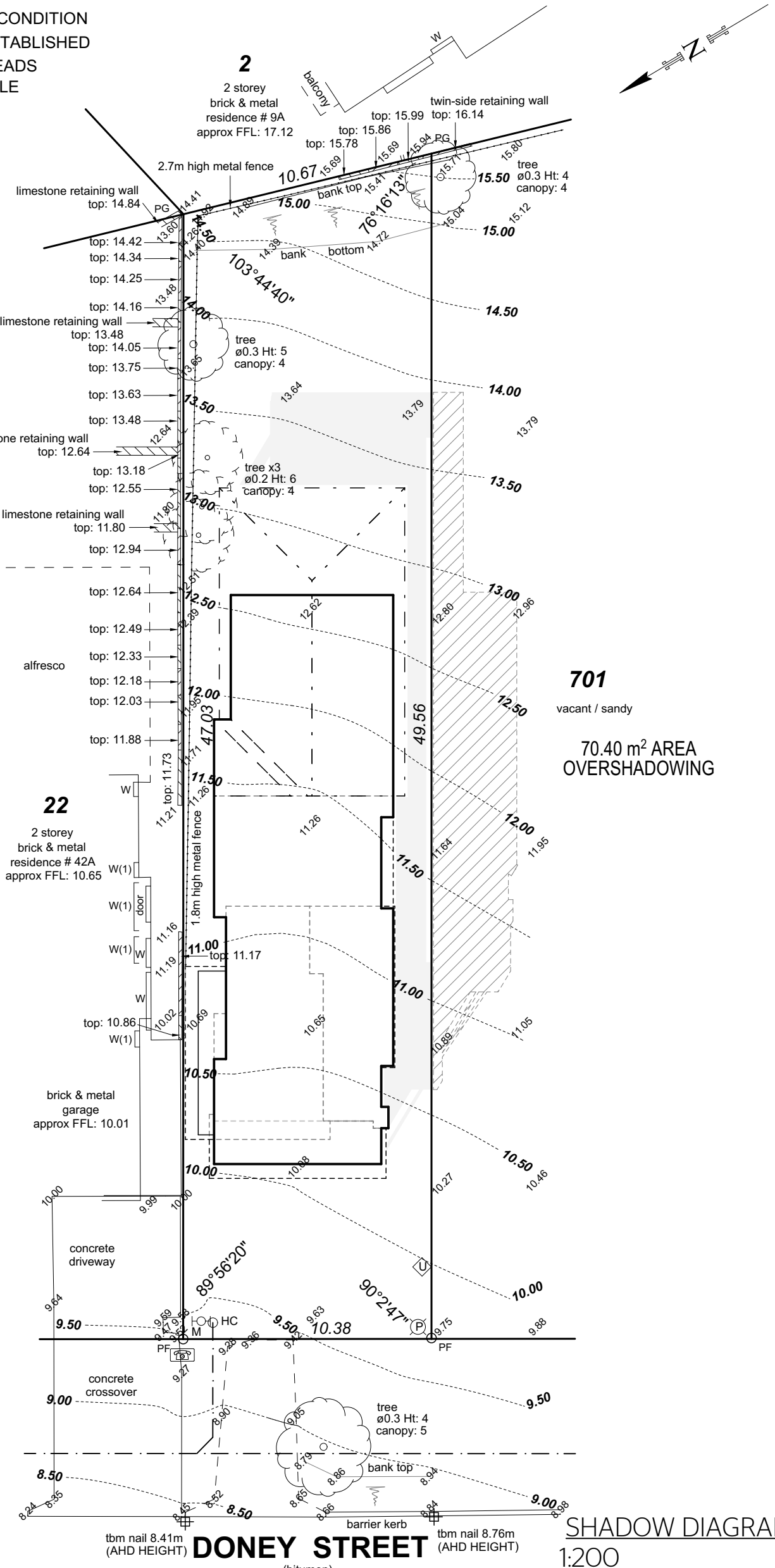
WATER: L
 OVERHEAD POWER: NS
 U/G POWER: L
 TELSTRA: L
 GAS: A, TBC
 SEWER: L

SERVICE NOTES

L: LOCATED NS: NO SERVICE
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SEWER JUNCTION DETAILS

HOUSE CONNECTION (HC) IL: 7.30 —
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- All service information shown on this plan should be verified with the relevant authorities.
5. Pro West Surveying does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

SHADOW DIAGRAM
1:200



VISION SPECIFICATION

PROPOSED RESIDENCE FOR
 MR J. R. BENNETT & MS M. WIERDA
 LOT 700 (#40B)
 DONEY STREET, ALFRED COVE

INDIVIDUAL TWO STOREY

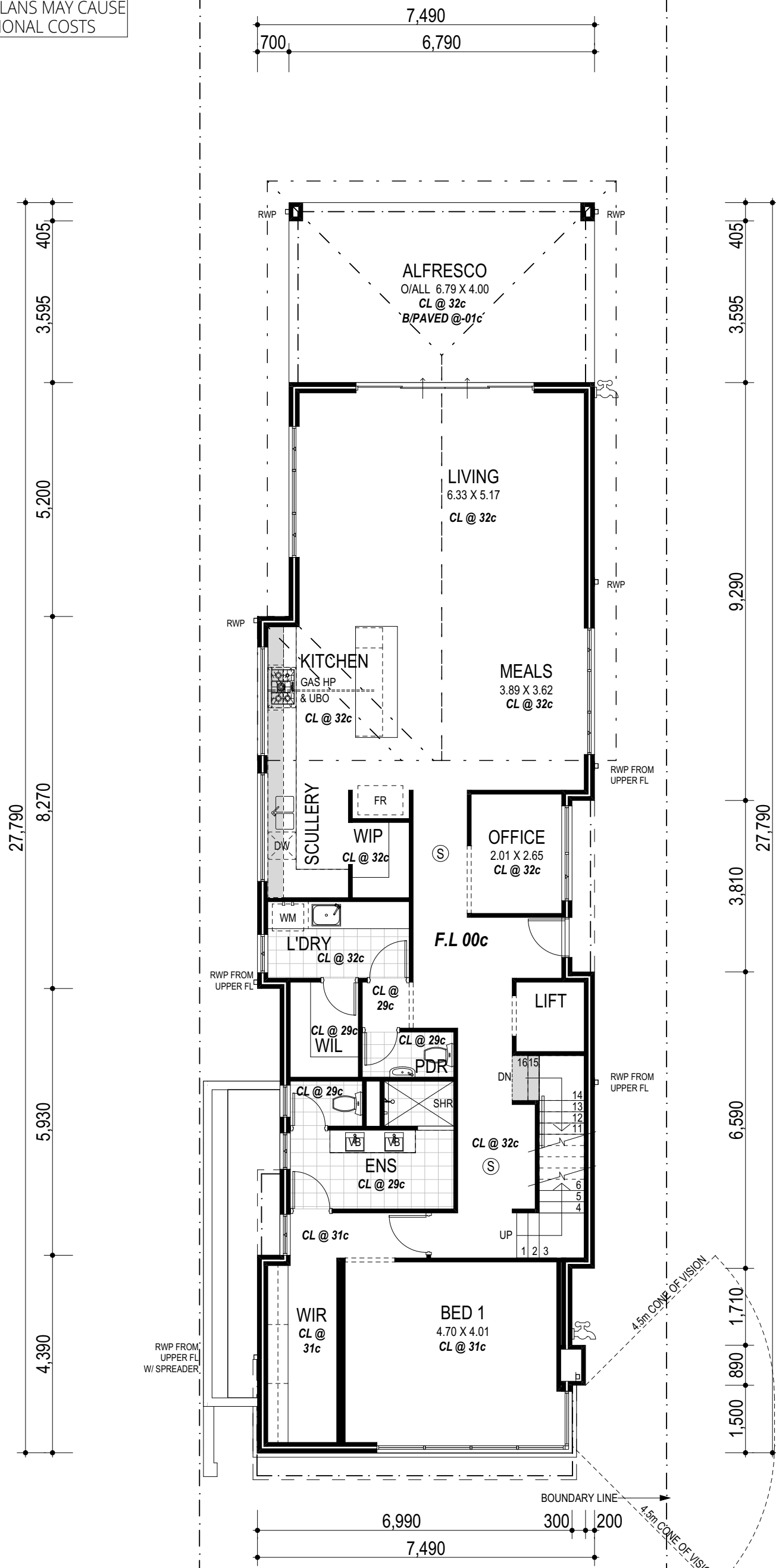
DRAWN GP	AMENDMENTS AMD-001-00-00-00-000	VARIATION 10-000-00-00-00-000	SHEET 14 OF 13
DATE 28-05-2021	JOB No 5224		

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 Stannard Group Pty Ltd
 ABN 27 008 828 082 BC 6583

ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

C
D



Ⓢ DENOTES SMOKE DETECTOR
NOTE : SMOKE ALARMS TO BE
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NCC REQUIREMENTS & AS 3786.

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WIND CLASSIFICATION	N1
TERRAIN CATEGORY	TC2
SHIELDING	FS
TOPOGRAPHY	T0

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GROUND FLOOR PLAN
1:100

SHI STANNARD HOMES
VISION SPECIFICATION

PROPOSED RESIDENCE FOR
MR J. R. BENNETT & MS M. WIERDA
LOT 700 (#40B)
DONEY STREET, ALFRED COVE

INDIVIDUAL TWO STOREY			
DRAWN GP	AMENDMENTS AMD-001-00-00-00-000	VARIATION V0-000-00-00-00-000	SHEET 02 OF 13
DATE 28-05-2021			JOB No 5224

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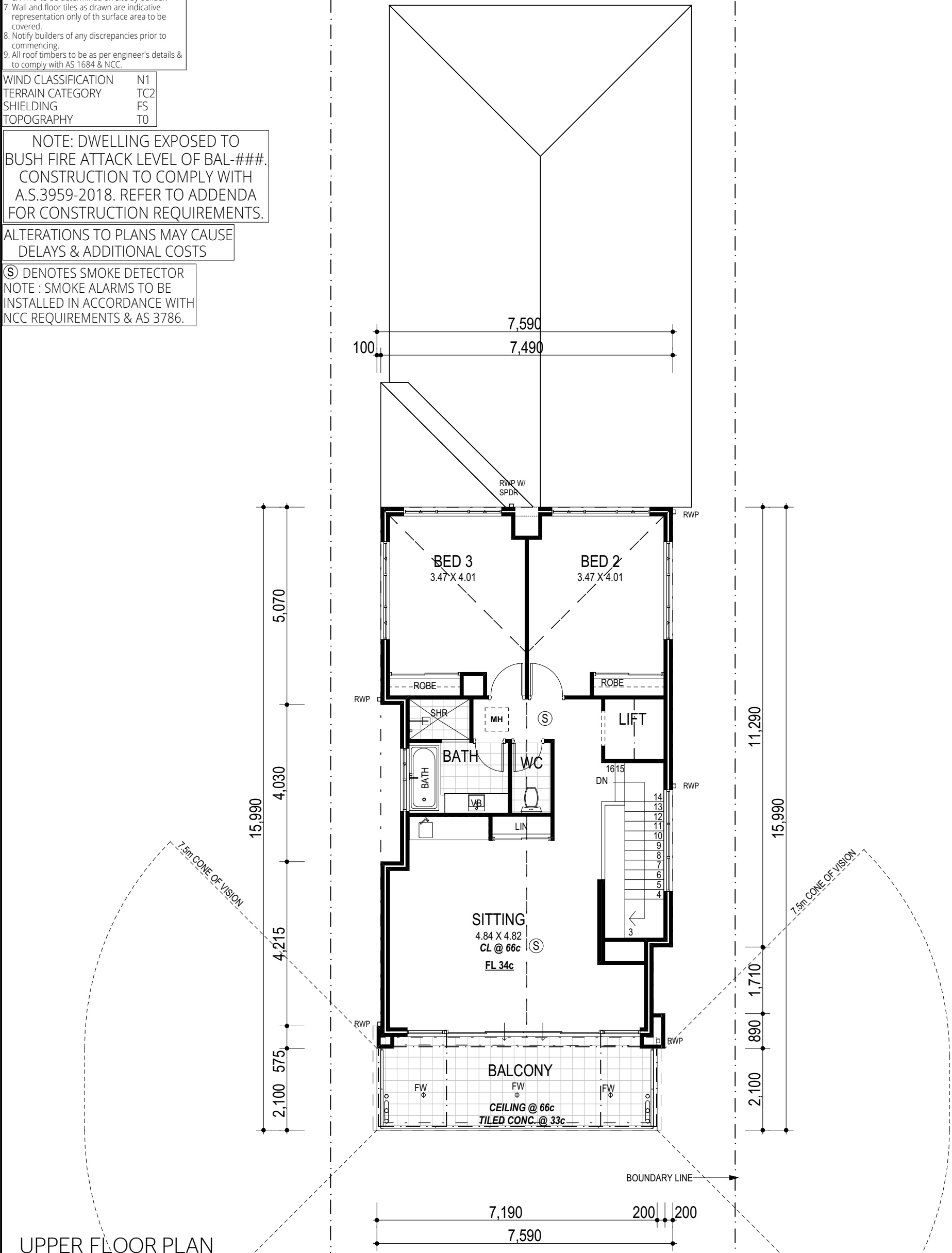
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UPPER FLOOR PLAN
1:100



PROPOSED RESIDENCE FOR
MR J. R. BENNETT & MS M. WIERDA
LOT 700 (#40B)
DONEY STREET, ALFRED COVE

INDIVIDUAL TWO STOREY

DRAWN GP	AMENDMENTS AMD-001-00-00-00-000	VARIATION V0-000-00-00-00-000	SHEET 03 OF 13
DATE 28-05-2021			JOB No 5224

WIND CLASSIFICATION	N1
TERRAIN CATEGORY	TC2
SHIELDING	FS
TOPOGRAPHY	T0

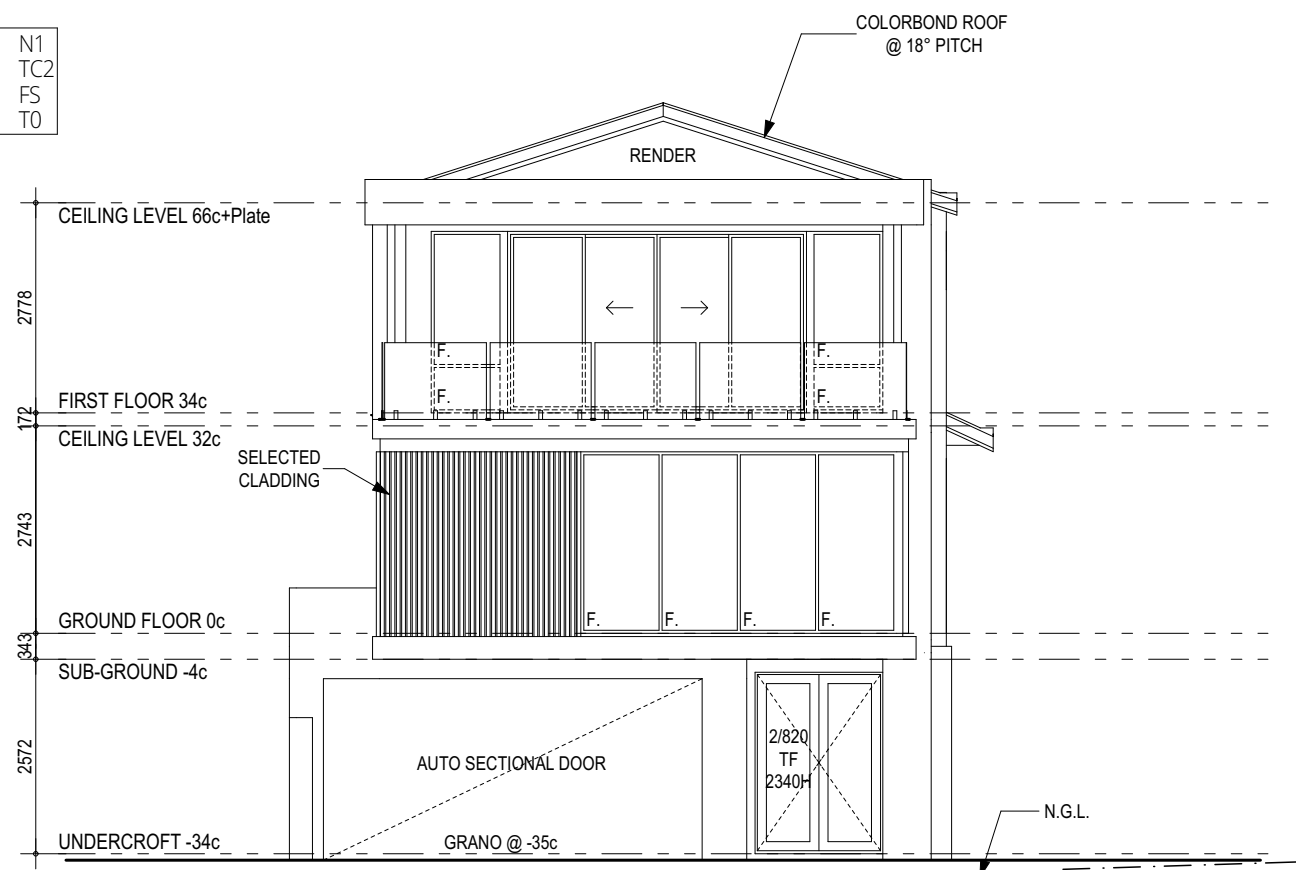
NOTE: THIS HOUSE IS DESIGNED FOR ACRYLIC RENDERED FINISH AS PER THE ADDENDA
 COURSING HEIGHTS SHOWN IN STD BRICK FORMAT
 2c FACE BRICKS - 1/3RD BOND TO GARAGE INTERNALLY & BOUNDARY WALLS EXTERNALLY

ALTERATIONS TO PLANS MAY CAUSE DELAYS & ADDITIONAL COSTS

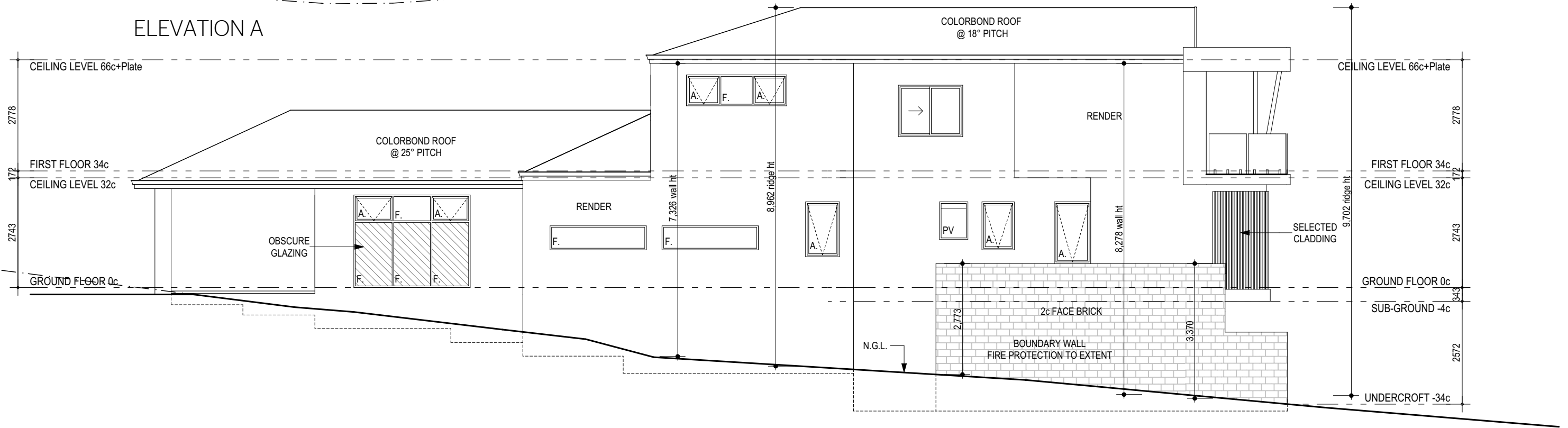
ROOF TIMBERS TO AS 1684.2 & ENGINEER'S DETAILS

NOTE: ALL BEDROOM WINDOWS TO BE PROTECTED IN ACCORDANCE WITH NCC BCA 3.9.2.6 & ALL OTHER WINDOWS WITH NCC BCA 3.9.2.7

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ELEVATION A



ELEVATIONS 1 OF 2
1:100



VISION SPECIFICATION

PROPOSED RESIDENCE FOR
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 LOT 700 (#40B)
 DONEY STREET, ALFRED COVE

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Stannard Group Pty Ltd
ABN 27 008 828 082 BC 6583

DRAWN
GP

DATE
28-05-2021

AMENDMENTS
AMD-001-00-00-00-000

VARIATION
V0-000-00-00-00-000

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SHEET

04 OF 13

JOB No

5224

WIND CLASSIFICATION	N1
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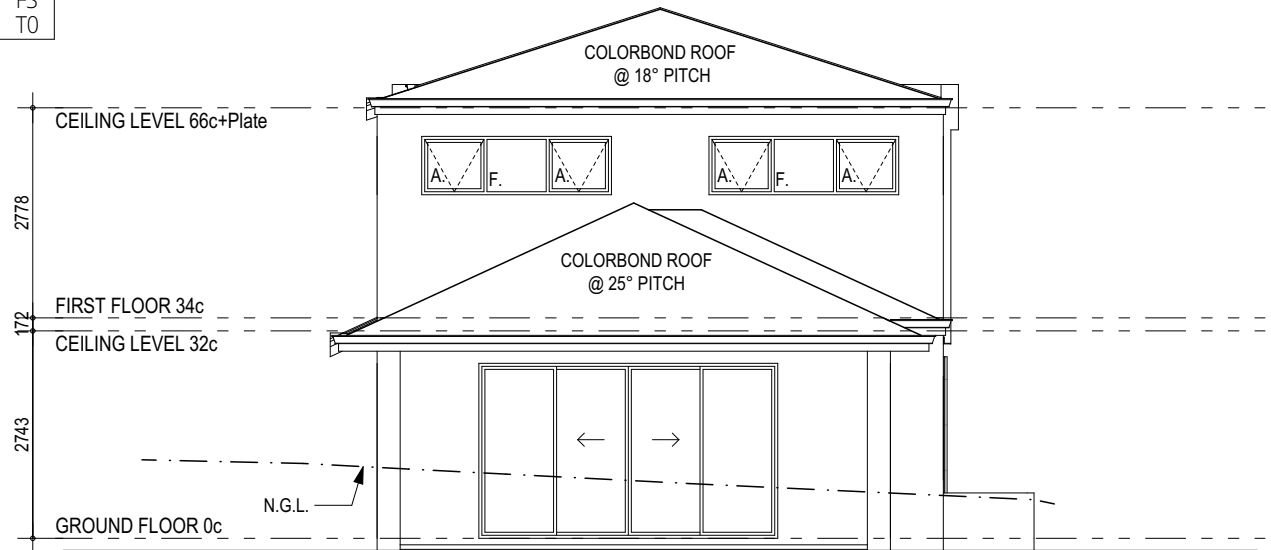
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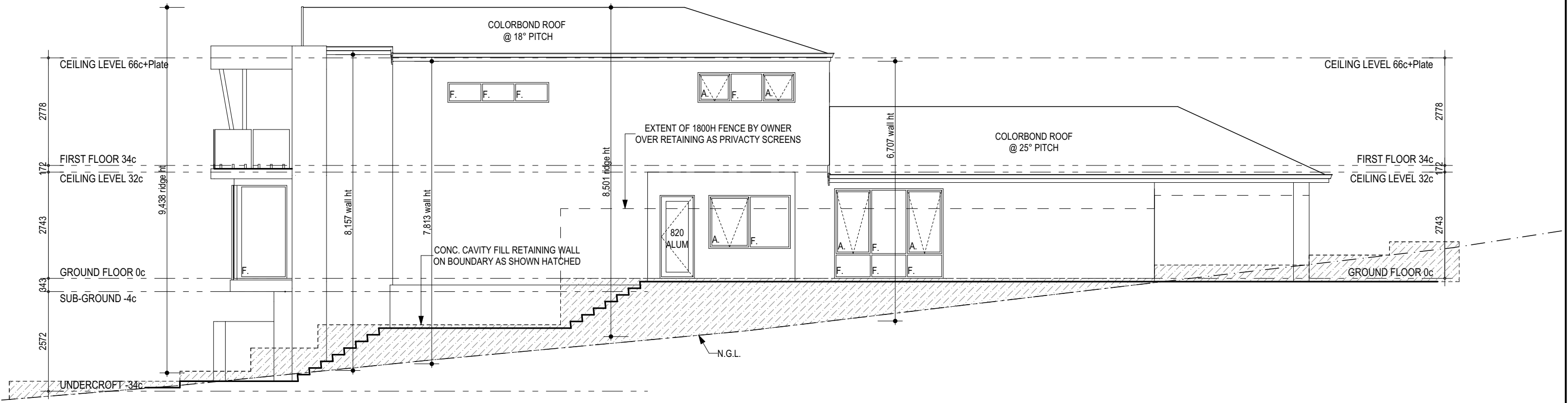
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ELEVATION C



ELEVATION D

ELEVATIONS 2 OF 2
1:100

SH STANNARD HOMES
VISION SPECIFICATION

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PROPOSED RESIDENCE FOR
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INDIVIDUAL TWO STOREY			
DRAWN GP	AMENDMENTS AMD-001-00-00-000	VARIATION V0-000-00-00-000	SHEET 05 OF 13
DATE 28-05-2021			JOB No 5224



RESOLVE
RESOLVE GROUP PTY LTD

Memorandum

To	City of Melville	Pages	6 Pages
cc	Stannard Homes		
Subject	Lot 700 #40B Doney Street, Alfred Cove WA 6154 (Written Justification R-Codes)		
From	Kieran Hunt – Resolve Group		
Date	16 th June 2021		

To whom it may concern,

In accordance with Clause 3.3 ‘Supporting Information Requirements’ of the R-Codes, where a proposal seeks to apply one or more design principles, written justification is to be provided indicating how the proposal meets the design principles and objectives of the R-Codes. Accordingly, written justification is required in accordance with the Design Principles of Clause 5.1.6 Building height, Clause 5.3.7 Site works, Clause 5.3.8 Retaining walls and Clause 5.4.1 Visual privacy.

Methodology

State Planning Policy 3.1 – Residential Design Codes

3.3 Supporting information requirements

*The following additional supporting information shall be provided under certain planning circumstances to enable proper assessment by the **decision-maker**.*

3.3.1

*Where a component of the proposal proposes to apply one or more **design principle(s)**, it is necessary to assess that component of the design against the relevant design principle(s). Additional supporting information shall include:*

- (a) identification of all design elements that are not **deemed-to-comply**; and*
- (b) written justification as to how the application/ proposal meets the design principles and objectives of the R-Codes and any relevant **scheme and local planning policy** objectives and requirements.*

Relevant Design Principle

<p>5.1.6 Building height</p> <p>P6 Building height that creates no adverse impact on the amenity of adjoining properties or the streetscape, including road reserves and public open space reserves; and where appropriate maintains:</p> <ul style="list-style-type: none"> adequate access to direct sun into buildings and appurtenant open spaces; adequate daylight to major openings into habitable rooms; and access to views of significance. 	<p>C6 Buildings which comply with Table 3 for category B area buildings, except where stated otherwise in the scheme, the relevant local planning policy, structure plan or local development plan (refer Figure Series 7).</p>
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<p>5.7.2</p> <p>(a) 1 storey</p> <p>(i) <i>Building Height (inclusive of wall and roof height; including to top of a parapet) - 6.0 metres maximum height.</i></p> <p>(b) 2 storeys</p> <p>(i) <i>Building Height - 8.5 metres maximum height.</i></p> <p>(ii) <i>Wall Height (to level of roof) - 6.0 metres maximum height.</i></p> <p>(iii) <i>Wall Height (to top of a parapet) - 7.0 metres maximum height.</i></p>	<p>All buildings shall comply with each of the following maximum heights, as applicable to the building —</p>
--	---

2.1 Permitted building height

2.1.1 General Residential and Mixed Use zone

R-Code Range	Eaves	External Wall (Concealed Roof)	Overall
R12.5 – R40	8.0 metres	9.0 metres	10.5 metres
R50 and above	For singles house and grouped dwellings - As per R-Codes Volume 1 Table 3 Column C; For multiple dwellings as per R-Codes Volume 2 Tables 2.1 Primary controls table and 2.2 Indicative building height		

Design principles	Deemed-to-comply
<i>Development demonstrates compliance with the following design principles (P)</i>	<i>Development satisfies the following deemed-to-comply requirements (C)</i>
<p>5.3.7 Site works</p> <p>P7.1 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.</p> <p>P7.2 Where excavation/fill is necessary, all finished levels respecting the natural ground level at the lot boundary of the site and as viewed from the street.</p>	<p>C7.1 Excavation or filling between the street and building, or within 3m of the street alignment, whichever is the lesser, shall not exceed 0.5m, except where necessary to provide for pedestrian or vehicle access, drainage works or natural light for a dwelling.</p> <p>C7.2 Excavation or filling within a site and behind a street setback line limited by compliance with building height limits and building setback requirements.</p> <p>C7.3 Subject to subclause C7.2 above, all excavation or filling behind a street setback line and within 1m of a lot boundary, not more than 0.5m above the natural ground level at the lot boundary except where otherwise stated in the scheme, local planning policy, structure plan or local development plan.</p>
<p>5.3.8 Retaining walls</p> <p>P8 Retaining walls that result in land which can be effectively used for the benefit of residents and do not detrimentally affect adjoining properties and are designed, engineered and landscaped having due regard to clauses 5.3.7 and 5.4.1.</p>	<p>C8 Retaining walls greater than 0.5m in height set back from lot boundaries in accordance with the setback provisions of Table 1. Retaining walls 0.5m or less in height may be located up to the lot boundary</p>

Design principles	Deemed-to-comply														
<p>Development demonstrates compliance with the following design principles (P)</p>	<p>Development satisfies the following deemed-to-comply requirements (C)</p>														
<p>5.4.1 Visual privacy</p> <p>P1.1 Minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:</p> <ul style="list-style-type: none"> • building layout and location; • design of major openings; • landscape screening of outdoor active habitable spaces; and/or • location of screening devices. <p>P1.2 Maximum visual privacy to side and rear boundaries through measures such as:</p> <ul style="list-style-type: none"> • offsetting the location of ground and first floor windows so that viewing is oblique rather than direct; • building to the boundary where appropriate; • setting back the first floor from the side boundary; • providing higher or opaque and fixed windows; and/or • screen devices (including landscaping, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters). 	<p>C1.1 Major openings and unenclosed outdoor active habitable spaces, which have a floor level of more than 0.5m above natural ground level and overlook any part of any other residential property behind its street setback line are:</p> <ol style="list-style-type: none"> set back, in direct line of sight within the cone of vision, from the lot boundary, a minimum distance as prescribed in the table below (refer Figure Series 10): <table border="1" style="margin-left: 20px;"> <thead> <tr> <th rowspan="2">Types of habitable rooms/ active habitable spaces</th> <th colspan="2">Location</th> </tr> <tr> <th>Setback for areas coded R50 or lower</th> <th>Setback for areas coded higher than R50</th> </tr> </thead> <tbody> <tr> <td>Major openings to bedrooms and studies</td> <td>4.5m</td> <td>3m</td> </tr> <tr> <td>Major openings to habitable rooms other than bedrooms and studies</td> <td>6m</td> <td>4.5m</td> </tr> <tr> <td>Unenclosed outdoor active habitable spaces</td> <td>7.5m</td> <td>6m</td> </tr> </tbody> </table> <ol style="list-style-type: none"> are provided with permanent screening to restrict views within the cone of vision from any major opening or an unenclosed outdoor active habitable space. <p>C1.2 Screening devices such as obscure glazing, timber screens, external blinds, window hoods and shutters are to be at least 1.6m in height, at least 75 per cent obscure, permanently fixed, made of durable material and restrict view in the direction of overlooking into any adjoining property.</p> <p>Note:</p> <ol style="list-style-type: none"> Where the subject site and an affected adjoining site are subject to a different R-Code the setback distance is determined by reference to the lower density code. Line of sight setback distances shall be measured by application of the cone of vision set out in Figure Series 10. Line of sight setback distances include the width of any adjoining right-of-way, communal street or battleaxe leg or the like. These provisions apply to adjoining sites only where that land is zoned to allow for residential development. 	Types of habitable rooms/ active habitable spaces	Location		Setback for areas coded R50 or lower	Setback for areas coded higher than R50	Major openings to bedrooms and studies	4.5m	3m	Major openings to habitable rooms other than bedrooms and studies	6m	4.5m	Unenclosed outdoor active habitable spaces	7.5m	6m
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<p>5.4.2 Solar access for adjoining sites</p> <p>P2.1 Effective solar access for the proposed development and protection of the solar access.</p> <p>P2.2 Development designed to protect solar access for neighbouring properties taking account the potential to overshadow existing:</p> <ul style="list-style-type: none"> • outdoor living areas; • north facing major openings to habitable rooms, within 15 degrees of north in each direction; or • roof mounted solar collectors. 	<p>C2.1 Notwithstanding the lot boundary setbacks in clause 5.1.3, development in climatic zones 4, 5 and 6 of the State shall be so designed that its shadow cast at midday, 21 June onto any other adjoining property does not exceed the following limits:</p> <ul style="list-style-type: none"> • on adjoining properties coded R25 and lower – 25 per cent of the site area; • on adjoining properties coded R30 to R40 inclusive – 35 per cent of the site area; • on adjoining properties coded higher than R40 – 50 per cent of the site area. <p>C2.2 Where a development site shares its southern boundary with a lot, and that lot is bound to the north by another lot(s), the limit of shading for the development site set out in clause 5.4.2 C2.1 shall be reduced proportionate to the percentage of the affected property's northern boundary that the development site abuts (refer to Figure 11b).</p> <p>Note: With regard to clause 5.4.2 C2.1 site area refers to the surface of the adjoining lot and is measured without regard to any building on it but taking into account its natural ground levels.</p>														
<p>Design principles</p> <p>Development demonstrates compliance with the following design principles (P)</p>	<p>Deemed-to-comply</p> <p>Development satisfies the following deemed-to-comply requirements (C)</p>														

Zoning

The subject site is zoned Residential R20.

Identification of Variation

Building Height

The proposed dwelling will have a maximum eave height of 8.28m in lieu of 8.0m in accordance with the City of Melville, Local Planning Policy (LPP1.9).

Site Works and Retaining Walls

The proposed retaining walls and site works (excavation and fill) exceed 500mm along the southern lot boundary.

Visual Privacy

The proposed dwelling seeks to vary the visual privacy setback requirements of the Residential Design Codes as follows:

- The Bedroom 1 major opening has been setback 2.1m from the southern boundary instead of 4.5m;
- The balcony has been setback 1.3m from the northern boundary and 2.10m from the southern boundary in lieu of 7.5m behind the street setback area of the adjoining properties.

Justification

Building Height

We believe that compliance is met through the Design Principles of Clause 5.1.6 Building height, as follows:

- The wall height non-compliance is due to the natural ground levels of the subject site with a change in level of 6m across the site. This directly contributes to an increase in building height at the front of the property when measured from natural ground level;
- The building height variations are only minor and considered appropriate in the context of the development. The height and scale of the proposed dwelling is consistent with the built form of the locality with the majority of new dwellings being typically two storey constructions with a undercroft garage. The proposed dwelling is consistent with the current and desired streetscape character of the local area;
- The building height variations will not significantly impact the amenity of the adjoining properties in respect to the potential impacts of building bulk and overshadowing;
- The proposed design with the undercroft garage takes advantage of the site conditions and reduces the potential greater impact on the natural ground level;
- The height variation will not restrict access to direct sunlight, natural ventilation or views of significance to the adjoining properties.

Site Works and Retaining Walls

We believe that compliance is met through the Design Principles of Clause 5.3.7 Site Works and Clause 5.3.8 Retaining Walls, as follows:

- The site works and retaining walls are required to effectively develop the subject site given the change in level of 6m across the site. The proposed dwelling has used a finished floor level of 13.00 AHD which is considered appropriate given the site has a high point of 15.50 AHD and a low point of 9.50 AHD;
- The proposed development provides a similar amount of cut and fill to achieve the desired floor levels on site;
- The nil setback retaining walls are required to make effective use of space given the narrow shape of the subject site;
- The retaining wall height variation is a direct result of the natural ground levels of the subject site and adjoining property. The proposed retaining is required to provide a suitably level building pad for the proposed dwelling; and
- The extent of site works and retaining walls are not unreasonable given the natural ground levels of the subject site and adjoining properties. There is a precedent within the locality for retaining and site works in excess of the deemed to comply requirements given the topography of the area.

Visual Privacy

We believe that compliance is met through the Design Principles of Clause 5.4.1 Visual privacy, as follows:

- The overlooking cone of vision from the major opening to Bedroom 1 will be overlooking a vacant property and therefore it is difficult to determine if there will be any direct overlooking of active habitable spaces. However, based on the similar characteristics of both the subject and adjoining property it is expected that the area would potentially be a nil setback garage wall;
- The overlooking cone of vision from the front balcony will impact 38sqm of the northern property and 34sqm of the southern property behind the 6m primary street setback.
- The areas subject to overlooking to the southern property is the vacant block and the previous assessment of the bedroom opening will be relevant;

- The areas subject to overlooking to the northern property is typically the garage wall. The cone of vision stops short of any openings as indicated on the site plan. As such, there will be no direct overlooking of active habitable spaces, outdoor living areas, major openings or sensitive areas of the adjoining northern property;
- The upper floor balcony directly fronts the primary street which allows for additional passive surveillance along Doney Street, contributing to the streetscape and improving safety;
- The unenclosed balcony increases direct access to natural light and ventilation, improving the amenity of the upper floor habitable rooms. Additional screening along the sides of the balcony will add unnecessary building bulk to the proposed dwelling; and
- The open balcony is considered a more favorable design given the limited impact on the adjoining properties and the direct benefits to the residential amenity of the proposed dwelling.

In conclusion the proposed development has adhered to the requirements of the R-Codes and to approve such a development would not be against the interests of orderly and proper planning. The dwelling will preserve the amenity of the local area and it is respectfully requested that the application be granted development approval.

If there are any further queries please do not hesitate to contact the undersigned on 9364 3395.

Kind regards,



Kieran Hunt

Appendix A: Subject Site



Figure 1 – Site Location

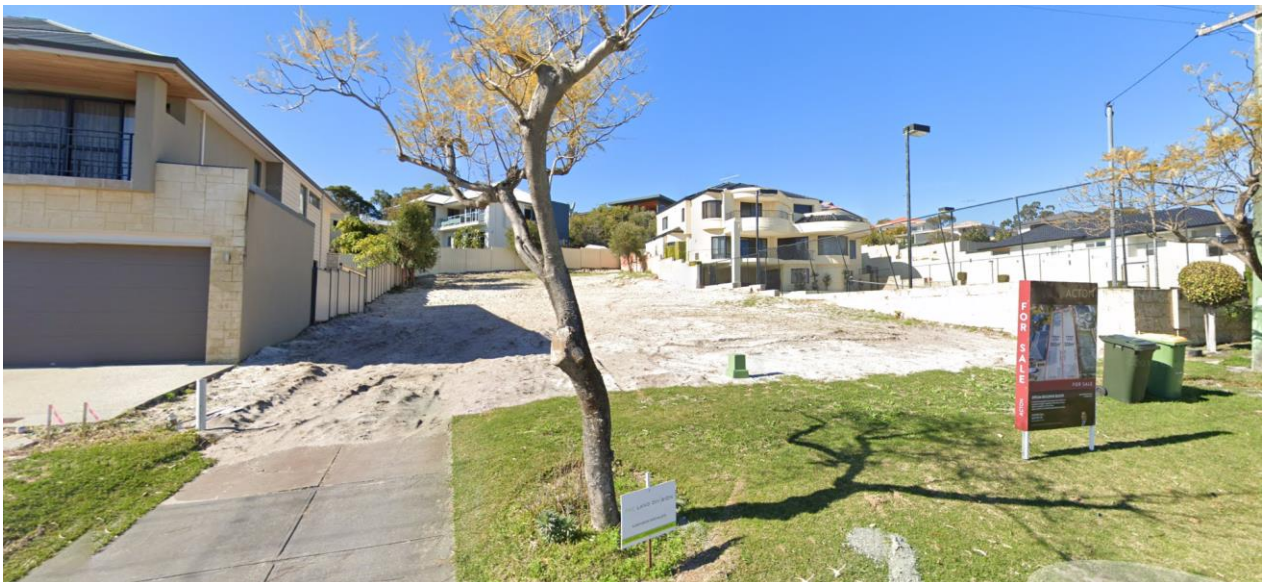


Figure 2 – Street View (Doney Street)