

⊕	Power Dome
⊖	Power Pole
⊕	Phone Pits
⊕	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

OWNER TO PROVIDE CHEMICAL GROUT INJECTION FOR SOIL STABILISATION TO ADJACENT SITE IF REQUIRED (SHOWN HATCHED)

OWNER TO WARRANT STRUCTURAL INTEGRITY OF EXISTING PANEL AND POST RETAINING WALL. BUILDER ACCEPTS NO LIABILITY FOR ANY DAMAGE CAUSED RESULTANT NORMAL BUILDERS ACTIVITIES I.E. VEHICULAR ACCESS, GROUND COMPACTION

ALL RETAINING WALLS TO PROPOSED SITE BY BUILDER

CAGE PROTECTION TO EXISTING VERGE TREE BY OWNER

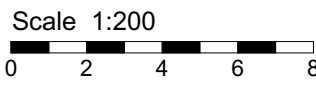
NOTE: REFLUX VALVE TO SEWER

NOTE: REMOVAL OR REPLACEMENT OF EXISTING FENCES TO ACCOMMODATE CONSTRUCTION OF RETAINING WALLS BY OWNER TO BUILDERS SCHEDULE

NOTE: BA20 FORM TO BE COMPLETED BY NEIGHBOURS ON THE NORTHERN AND WESTERN BOUNDARIES DUE TO SITE CUT

DRN	DATE	CHK'D	DESCRIPTION
DAM	08-07-21	GWP	PLANNING
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

These are the plans referred to in our contract	
DATE	
OWNER	BUILDER
OWNER	WITNESS
BPA:	NO
SHEET:	1a of 3



NOTE: STORMWATER DISPOSAL TO SHIRE REQUIREMENTS BY BUILDER TO HOUSE

Soak Well Type	No.	
SW 1500x1200	2	4.2 m3
Total Capacity		4.2 m3
Roof Area GF		253.0 m2
Total Area		253.0 m2
Capacity Required (Area x 0.0130)		3.3 m3
Extra Capacity Provided		1.0 m3

NOTE: STORMWATER DISPOSAL TO SHIRE REQUIREMENTS BY BUILDER TO CP 3

Soak Well Type	No.	
SW 1200x900	2	2.0 m3
Total Capacity		2.0 m3
Roof Area GF		0.0 m2
Paved Area		79.3 m2
Total Area		79.3 m2
Capacity Required (Area x 0.0130)		1.0 m3
Extra Capacity Provided		1.0 m3

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

NOTE:
RESTRICTIVE COVENANT. REFER TO SEC 136D T.L.A. SEE DOCUMENT T12294-1947

SSL1 MISCLOSE
0.003m

SSL2 MISCLOSE
0.003m

CP3 MISCLOSE
0.006m

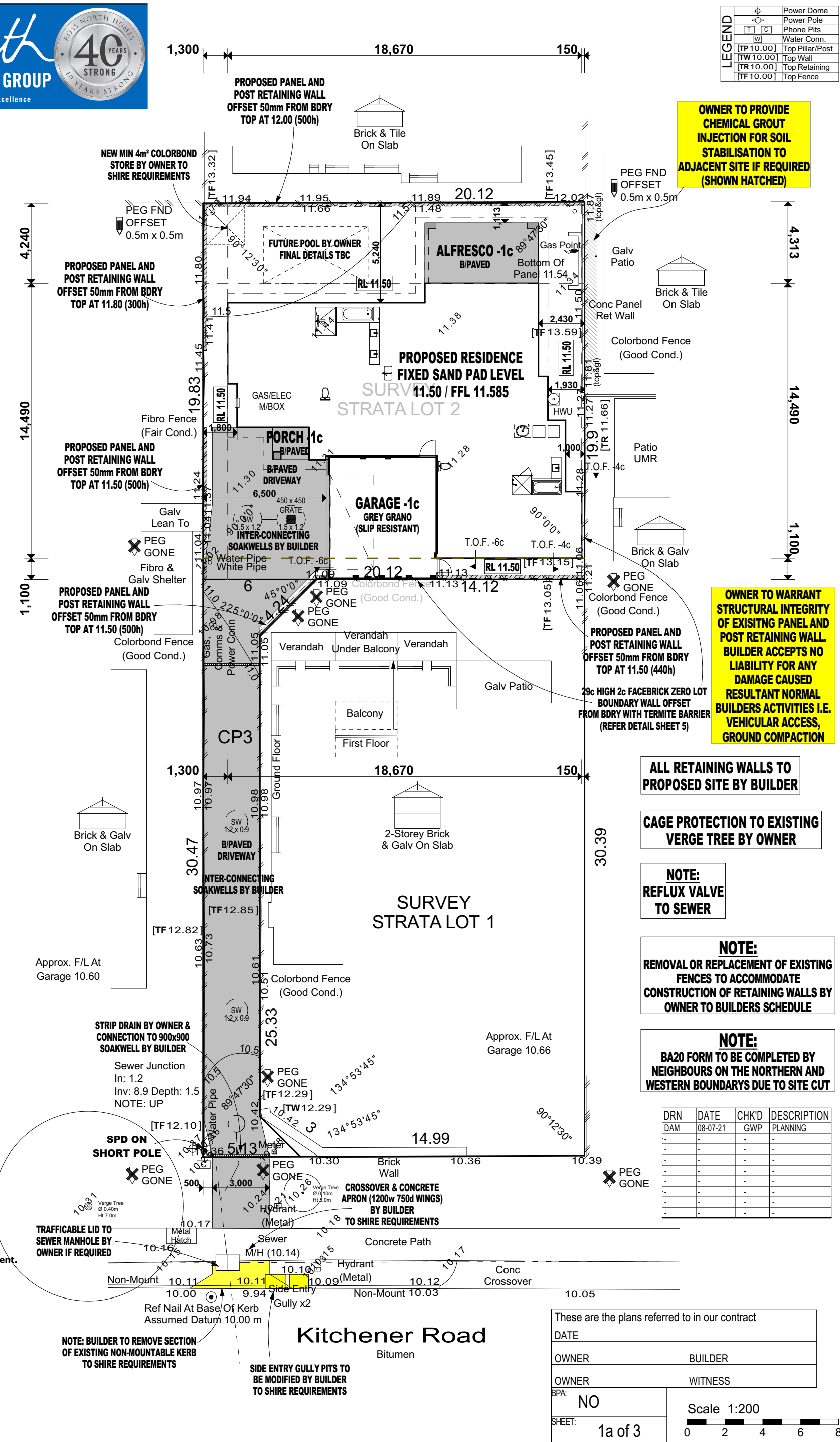
WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-peged and line pegs placed.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



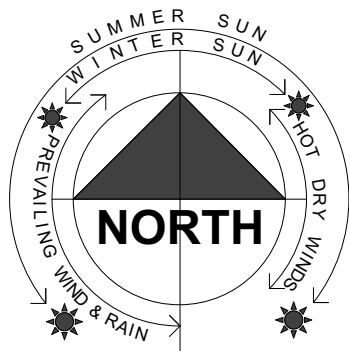
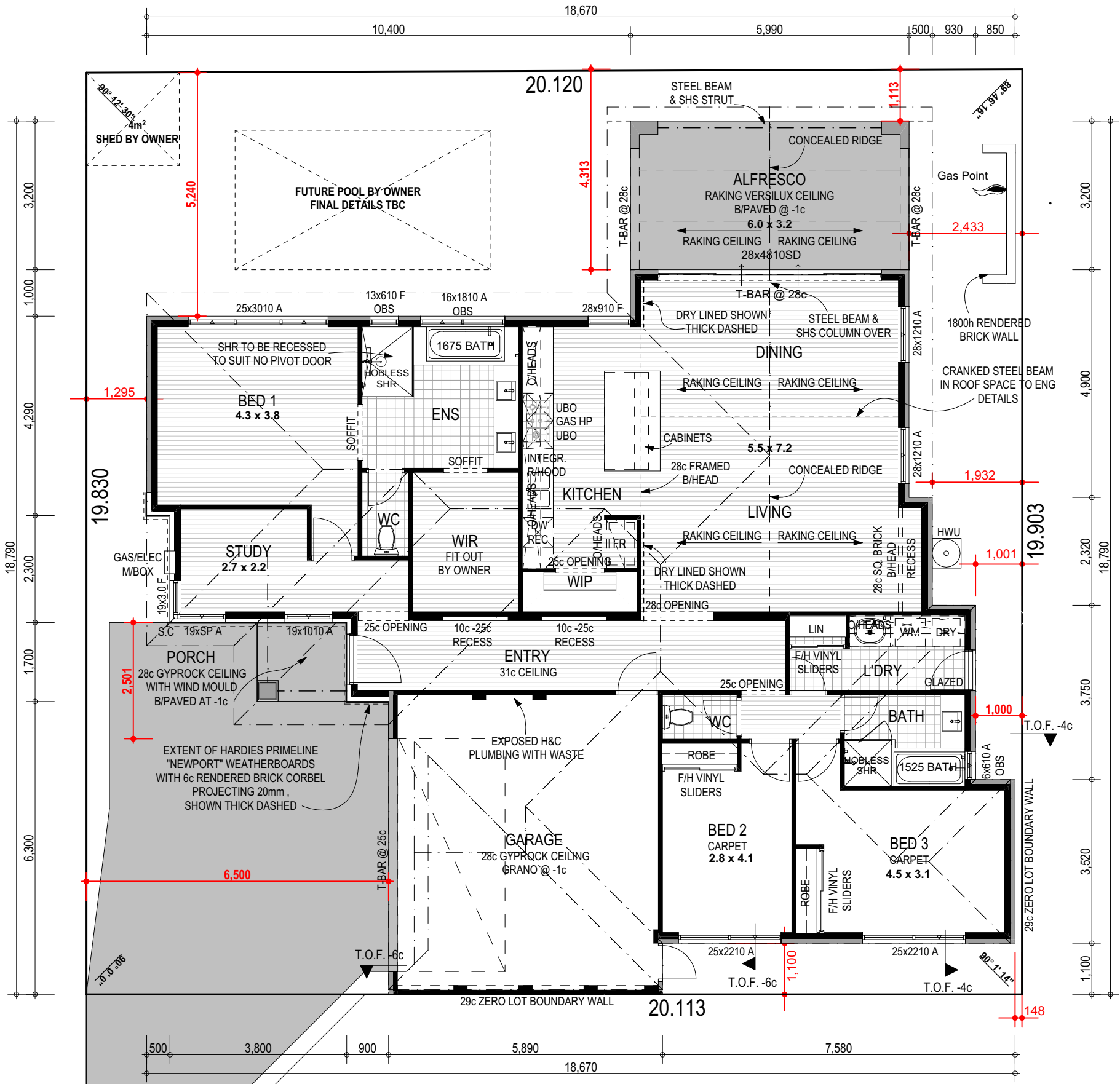
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JOB #	500811	GPS Lat:	-32.035952	Long:	115.811501
CLIENT	Williams	ORDER #	34866		
ADDRESS	#105A Kitchener Road	LOT	Survey Strata Lot 2 (SP 83523)		
SUBURB	Alfred Cove		Original Lot 186 (Plan 5272)		
LGA	CITY OF MELVILLE	AREA	400m ²	VOL.	4000 FOL.722
DRAWN	J. Jee	DATE	26 May 21	SSA	No

ROADS	Bitumen
KERBS	Non-Mount
FOOTPATH	Concrete
SOIL	Sand
DRAINAGE	Good
VEGETATION	Light Grass Cover

ELEC.	U/Ground
COMMS.	Yes
WATER	Yes
GAS	Check Alinta
SEWER	Yes
COASTAL	No

(Approximate Only Confirm With Shire)



SITE COVERAGE	
ZONED	R20
% ALLOWED	50%
SITE AREA	399.64m ²
SITE COV. AREA	212.62m ²
SITE COV. = 53.2%	
COMMON AREA (98m ² / 2)	49m ²
SITE AREA + COMMON AREA	449m ²
ADJUSTED SITE COVERAGE = 47.39%	
OUTDOOR LIVING REQUIREMENTS	
	REQUIRED ACHIEVED
OUTDOOR LIVING	30.0m ² 107.0m ²
UNCOVERED AREA	20.0m ² 87.0m ²

PROJECT INFO:	
LDP:	N/A
Zoning:	R20
<u>Primary Setbacks:</u>	
Minimum	3m
Maximum	N/A
Average	6m
Estate:	N/A
Guidelines:	N/A
Climate Zone:	13
BPA Zone:	NO
Coastal:	700m from River
Acoustic Req:	N/A

Senior Design & Sales Consultant
 Davide Gullotto
 Mobile: 0412 369 379
 Email: davide@rossnorthgroup.com.au

NOTES:
 - RENDERED BRICKWORK EXTERNALLY THROUGHOUT UNLESS NOTED OTHERWISE
 - ESTABLISHED AREA - SITE SURVEY REQUIRED, LEVELS AND RETAINING TO BE DETERMINED
 - PLANNING REQ. DUE TO STRATA LOT

FLOOR AREAS		
	AREA	PERIMETER
HOUSE	175.17	66.60
GARAGE	38.10	24.86
ALFRESCO	19.17	18.38
PORCH	3.27	7.25
	235.71 m²	117.09 m
	AREA	PERIMETER
ROOF	252.97	75.52

Ross North GROUP
 40 YEARS STRONG
 Ross North Homes
 Custom Design
 Ross North Premium
 Job N°. 8850

PROPOSED NEW HOME:
 For Mr D. & Mrs K. Williams
 At Lot 186 (SSL2/#105) Kitchener Road
 Alfred Cove

V21	These are the plans referred to in our contract
DATE	
OWNER	BUILDER
OWNER	WITNESS

WIND CLASS:	Nxx	DRN		DATE	08-07-21	CHK'D	GWP	DESCRIPTION	PLANNING
SHIELDING:	-	DAM							
BPA:	NO								
SCALE:	1:100								
SHEET:	2 of 3								

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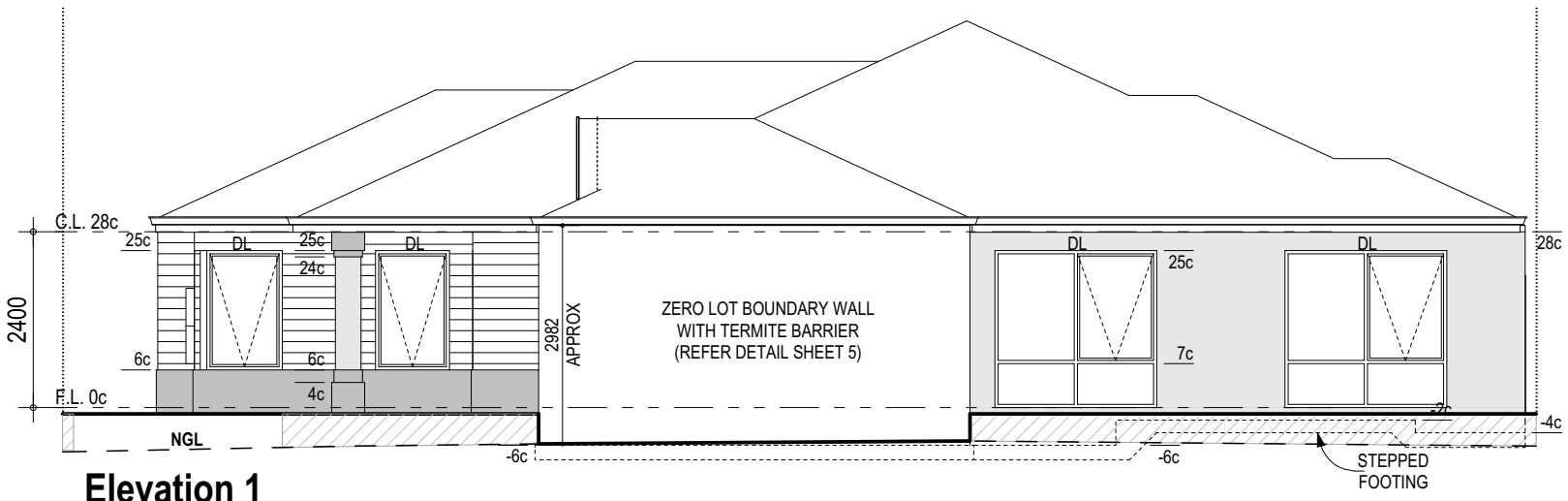
Client to check plans, specifications and addenda carefully.

All dimensions strictly to take preference over scaling. Dimensions shown are for brickwork only & do not include plaster or tile thickness.

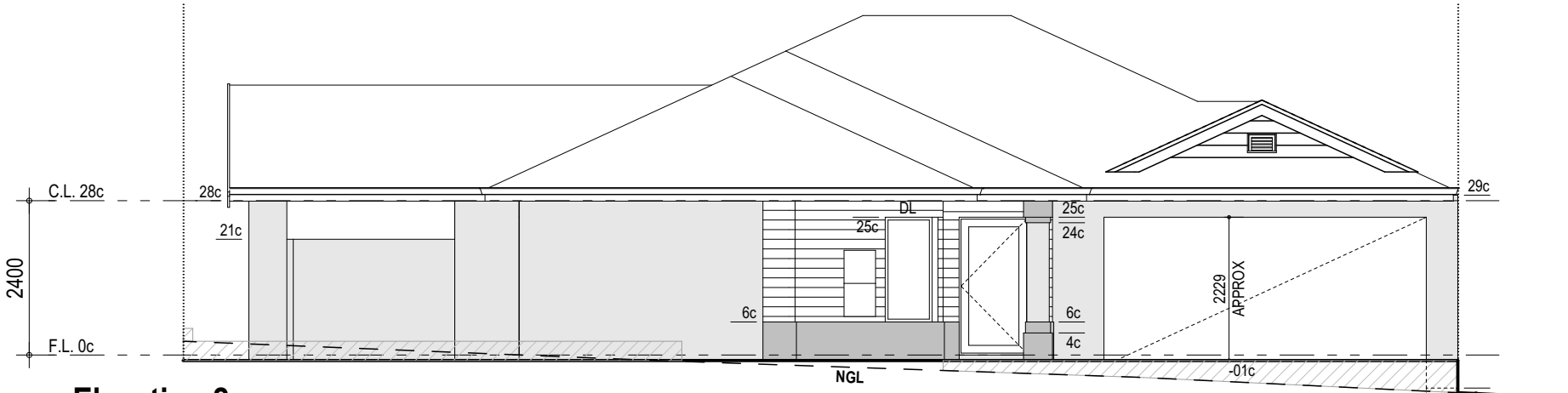
Plumber Note floor wastes to be located as per plumbing plan

Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.

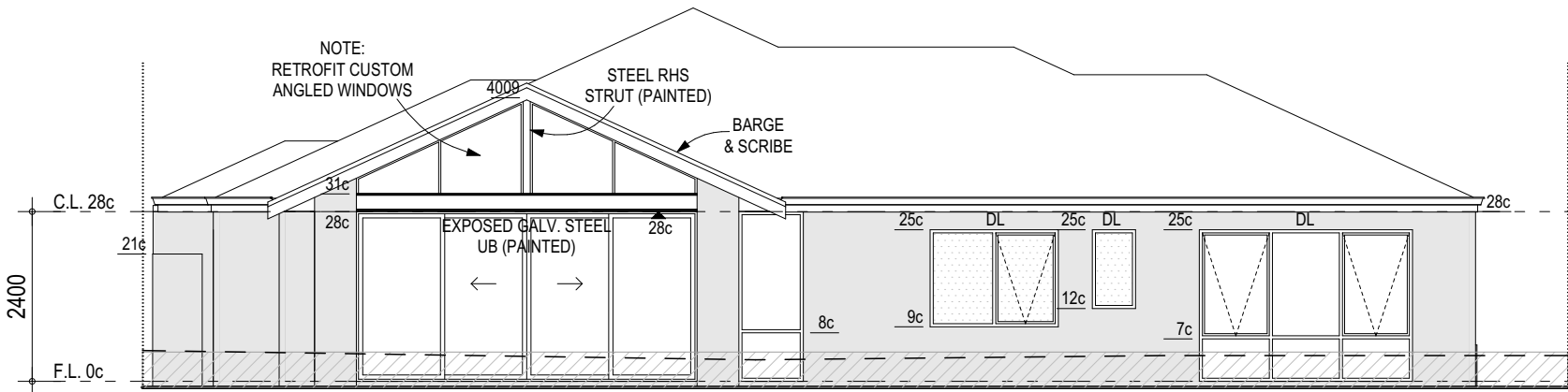
NOTE:
CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684



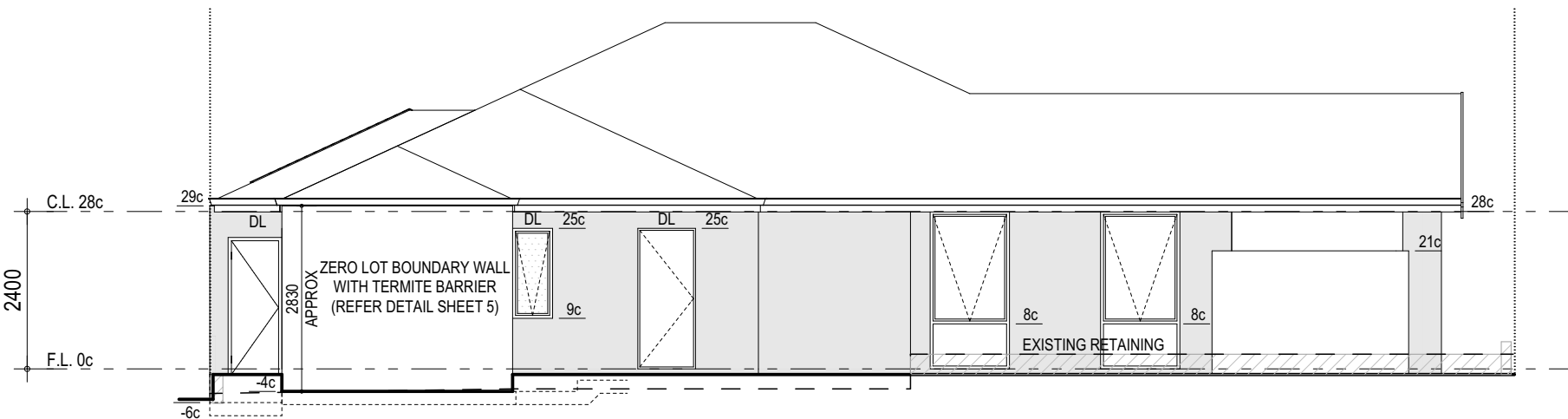
Elevation 1



Elevation 2



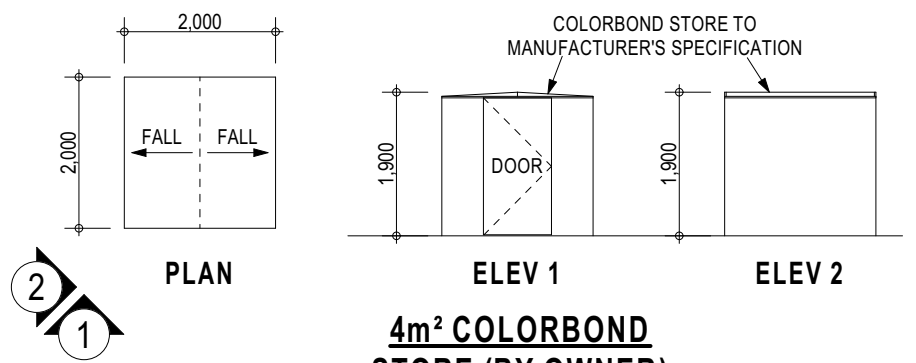
Elevation 3



Elevation 4

ELEVATION LEGEND	
ROOF COVER	COLOURED CORRUGATED STEEL @ APPROX. 25° PITCH
BRICKWORK	2c FACE BRICK
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	WEATHERBOARD CLADDING
	FOOTING AS PER ENGINEERS (SHOWN DASHED)
DL	DOUBLE LINTELS

	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE



**4m² COLORBOND
STORE (BY OWNER)**
Scale 1:100



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Custom Design
Ross North Premium
Job N°. **8850**

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Alfred Cove

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OWNER BUILDER
OWNER WITNESS

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SHIELDING: -		DAM	08-07-21	GWP	PLANNING
BPA:	NO				
SCALE:	1:100				
SHEET:	3 of 3				

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