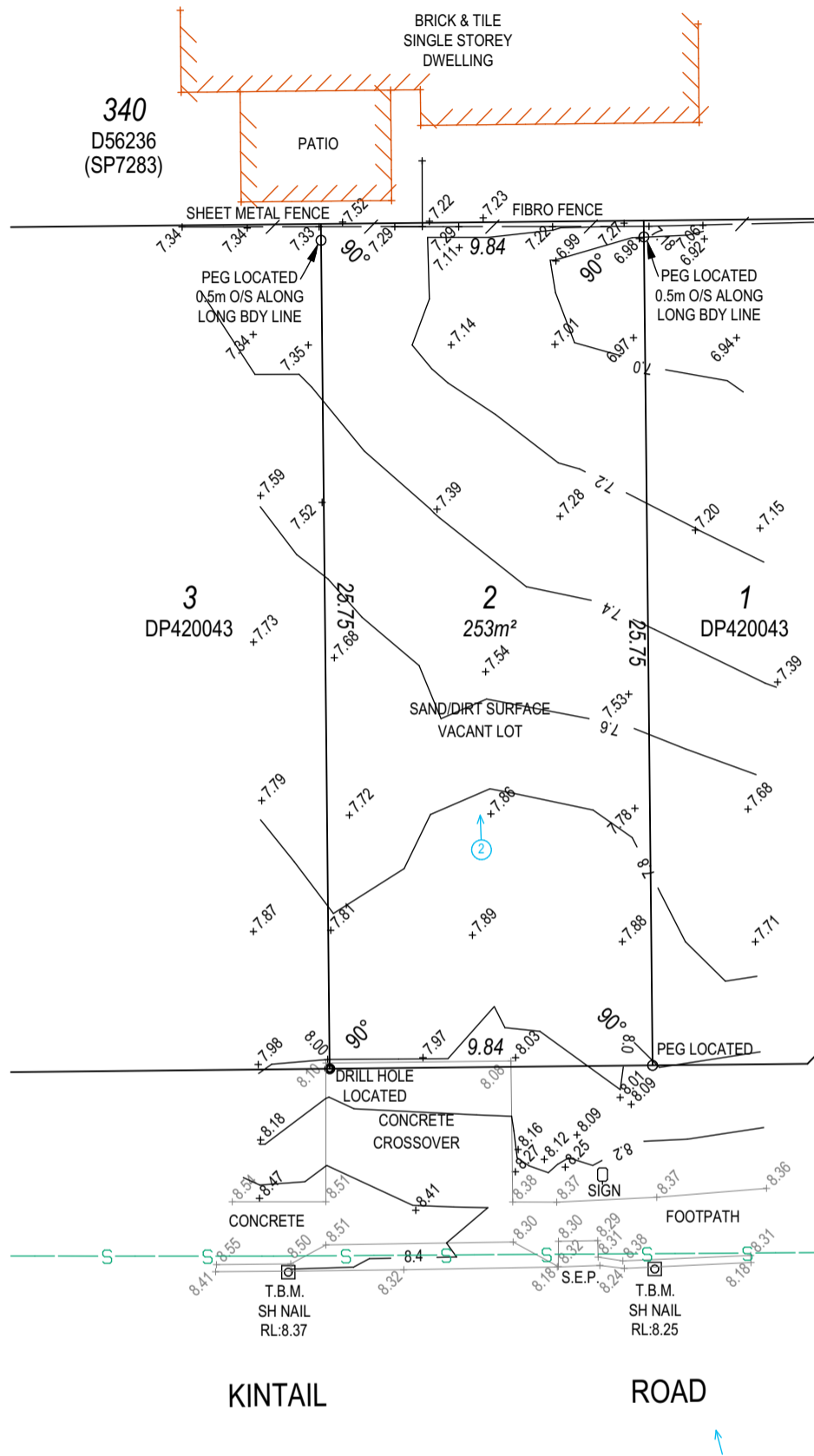


BOUNDARIES NOT RE-ESTABLISHED
RE-ESTABLISHMENT RECOMMENDED

RE-PEG RECOMMENDED
PRIOR TO ANY NEW WORKS

LEGEND

	Approximate Site Extents
	Kerb
	Edge of Driveway/Concrete
	Major Contour (1m)
	Minor Contour (0.2m)
	Building
	Fence Line
	Spot Height
	Photo Position & Direction



NOTES:

1. THE INFORMATION SHOWN ON THIS DRAWING IS FOR FEATURE SURVEY PURPOSES ONLY AND WAS CORRECT AT DATE OF SURVEY.
2. FOR BOUNDARY INFORMATION, EASEMENTS AND OTHER INTERESTS / ENCUMBRANCES REFER TO CERTIFICATE OF TITLES AND PLAN / DIAGRAM.
3. BOUNDARIES ARE INDICATIVE ONLY AND SUBJECT TO A RE-ESTABLISHMENT SURVEY.
4. SEWER / DRAINAGE LOCATION MAY VARY FROM SCHEMATIC PRESENTATION, CLEARANCES TO BE CHECKED ON SITE.
5. SERVICES INFORMATION TO BE CONFIRMED WITH RELEVANT AUTHORITIES. FOR UNDERGROUND SERVICES CONTACT "DIAL BEFORE YOU DIG" FOR CONFIRMATION OF THOSE SERVICES.
6. AHD CONNECTION DETERMINED FROM CONNECTIONS MADE TO SEWER MANHOLE M2269.



SCALE: 1:200 @ A3
ALL DISTANCES ARE IN METRES

 NORTH	SURVEYOR: MT
	SURVEY DATE: 26/03/2021
	FILE: 21192A.see
	HOR. DATUM: ARBITRARY
	VERT. DATUM: AHD71
DRAWN: BC	CHECKED: MT/AIR

JUROVICH SURVEYING

ABN 60 146 230 944
3/47 Monash Ave Como, WA 6152
PO BOX 3066 SHELLEY, WA 6148
(08) 9368 6225
info@jurovichsurveying.com.au
www.jurovichsurveying.com.au

FEATURE AND LEVEL SURVEY LOT 2 ON DP420043 2 / 85 KINTAIL ROAD, APPLECROSS CITY OF MELVILLE			
CLIENT : AMIN NABIPOUR			
A3 SCALE : 1 : 200	JS JOB No : 21192	DWG Name : 21192-01	REV A



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DRAWING NAME: DEMO PLAN	SHEET No: 1 OF 6	REVISION: J	JOB No: 21-0745
OWNER	DATE	CLIENT: NABIPOUR	
OWNER	DATE	ADDRESS: LOT 2 (#85) KINTAIL ROAD, APPLECROSS	
DESIGNER	DATE	CITY OF MELVILLE	
	DRAWN BY: BLEND	DATE DRAWN: JUN 2021	SCALE:

NOTE: TO SCALE ON A3 SHEET

LEGEND

- Approximate Site Extents
- Kerb
- Edge of Driveway/Concrete
- Major Contour (1m)
- Minor Contour (0.2m)
- ▨ Building
- - - Fence Line
- + Spot Height
- ① → Photo Position & Direction

BOUNDARIES NOT RE-ESTABLISHED
RE-ESTABLISHMENT RECOMMENDED

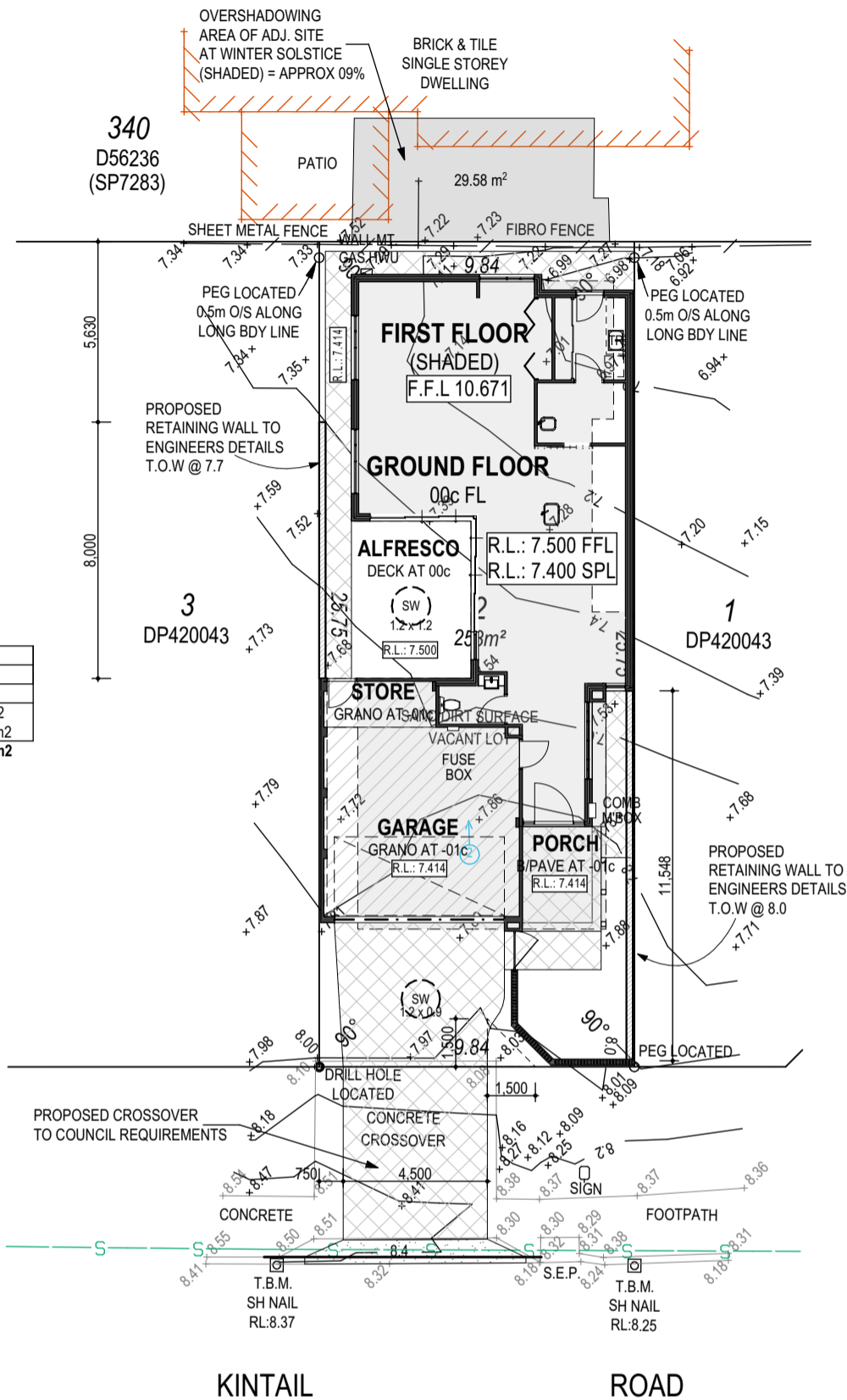
SITE COVERAGE

ZONED	R40
% ALLOWED	55%
SITE AREA	253.41m ²
SITE COV. AREA	149.85m ²
SITE COV. =59.1%	



Soak Well Type	No.	Capacity
SW 1200x900	1	1.0 m3
SW 1200x1200	1	1.4 m3
Total Capacity		2.4 m3
Roof Area GF		19.4 m2
Roof Area UF		163.0 m2
Total Area		182.4 m2
Capacity Required (Area x 0.0125)		2.3 m3
Extra Capacity Provided		0.1 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE



RE-PEG RECOMMENDED
PRIOR TO ANY NEW WORKS

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

TERMITE TREATMENT IS TO BE IN ACCORDANCE WITH NCC REQUIREMENTS

EARTHWORKER NOTE:
F.L. MAY VARY +/- 40mm

PLUMBER NOTE:
REFLUX VALVE TO INTERNAL SEWER LINE

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS (SOAKWELLS)

NOTES:

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- AHD CONNECTION DETERMINED FROM CONNECTIONS MADE TO SEWER MANHOLE M2269.



SCALE: 1:200 @ A3
ALL DISTANCES ARE IN METRES

 NORTH	SURVEYOR: MT	 JUROVICH SURVEYING ABN 60 146 230 944 3/47 Monash Ave Como, WA 6152 PO BOX 3066 SHELLEY, WA 6148 (08) 9368 6225 info@jurovichsurveying.com.au www.jurovichsurveying.com.au	FEATURE AND LEVEL SURVEY LOT 2 ON DP420043 2 / 85 KINTAIL ROAD, APPLECROSS CITY OF MELVILLE			
	SURVEY DATE: 26/03/2021		CLIENT: AMIN NABIPOUR			
	FILE: 21192A.see		A3 SCALE: 1:200	JS JOB No: 21192	DWG Name: 21192-01	REV A
	HOR. DATUM: ARBITRARY					
VERT. DATUM: AHD71						
DRAWN: BC	CHECKED: MT/AIR					



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DRAWING NAME: SITE PLAN	SHEET No: 2 OF 6	REVISION: J	JOB No: 21-0745	NOTE: TO SCALE ON A3 SHEET
OWNER	DATE	CLIENT: NABIPOUR		
OWNER	DATE	ADDRESS: LOT 2 (#85) KINTAIL ROAD, APPLECROSS CITY OF MELVILLE		
DESIGNER	DATE	DRAWN BY: BLEND	DATE DRAWN: JUN 2021	

SURVEYOR'S CERTIFICATE - Reg 54
L. WHITEHURST
 hereby certify that this plan is accurate and is a correct representation of the -
 (a) * survey; and / or
 (b) * calculations from measurements recorded in the field records,
 (* delete if inapplicable)
 undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.

Licensed Surveyor Date

LOGGED DATE FEE PAID ASSESS No.

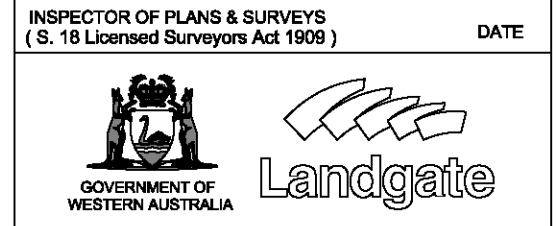
I.S.C. EXAMINED DATE

WESTERN AUSTRALIAN PLANNING COMMISSION FILE 159660

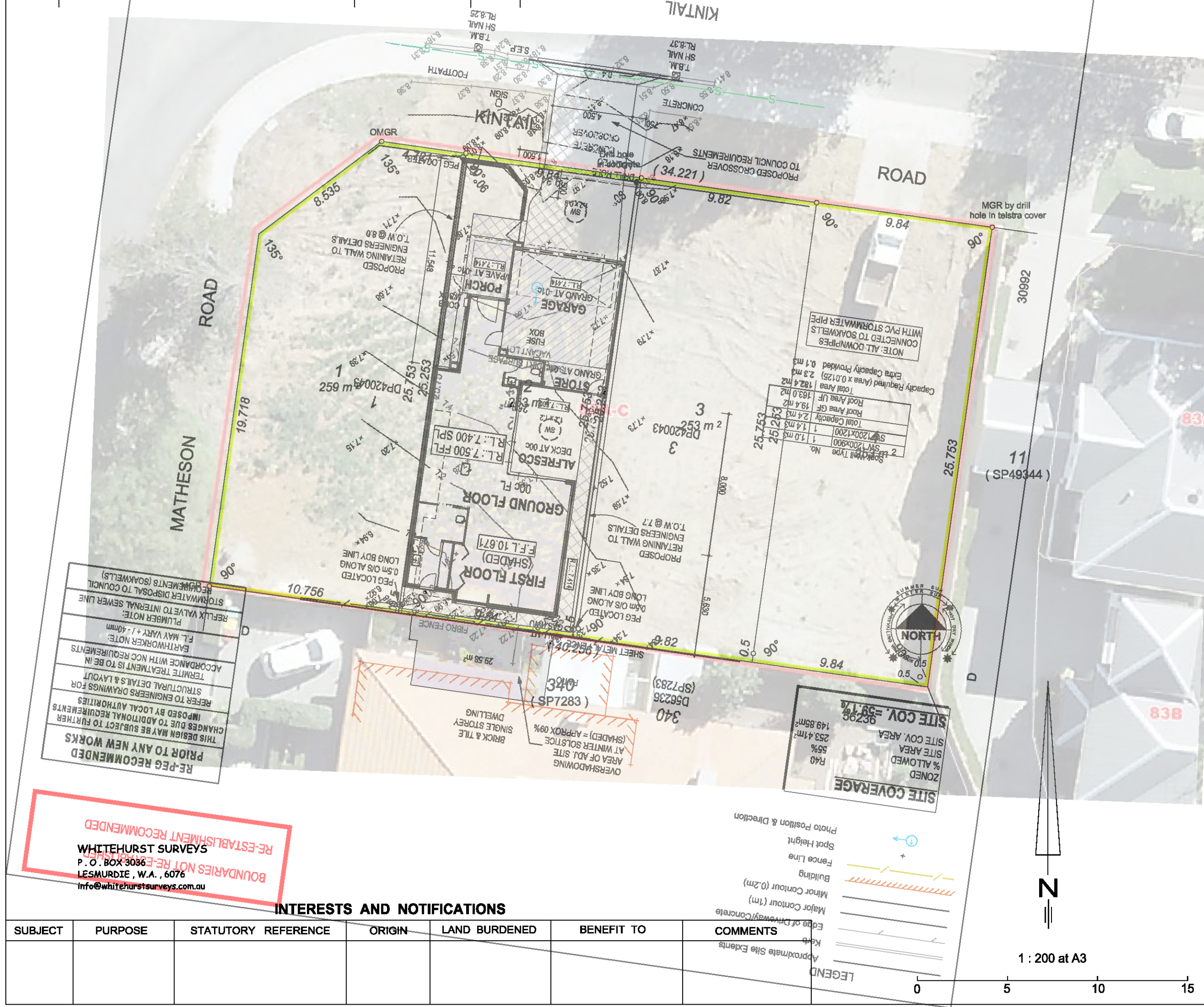
DELEGATED UNDER SEC 16 OF THE P & D ACT 2005 DATE IN ORDER FOR DEALINGS

SUBJECT TO FOR INSPECTOR OF PLANS & SURVEYS DATE

APPROVED INSPECTOR OF PLANS & SURVEYS (S. 18 Licensed Surveyors Act 1909) DATE



DEPOSITED PLAN
420043
 SHEET 1 OF 1
 VERSION 1

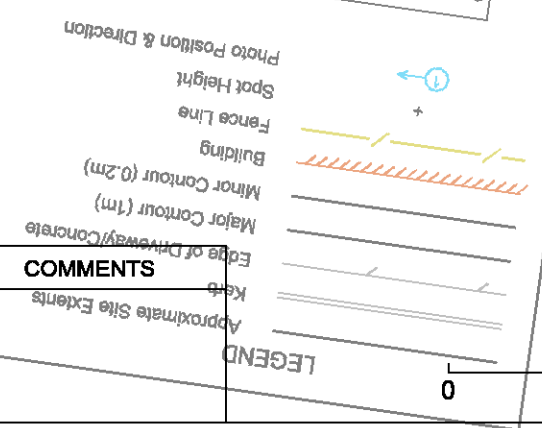


RE-REG RECOMMENDED
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BOUNDARIES NOT RE-ESTABLISHMENT RECOMMENDED
 WHITEHURST SURVEYS
 P. O. BOX 3036
 LESMURDIE, W.A., 6076
 info@whitehurstsurveys.com.au

INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS

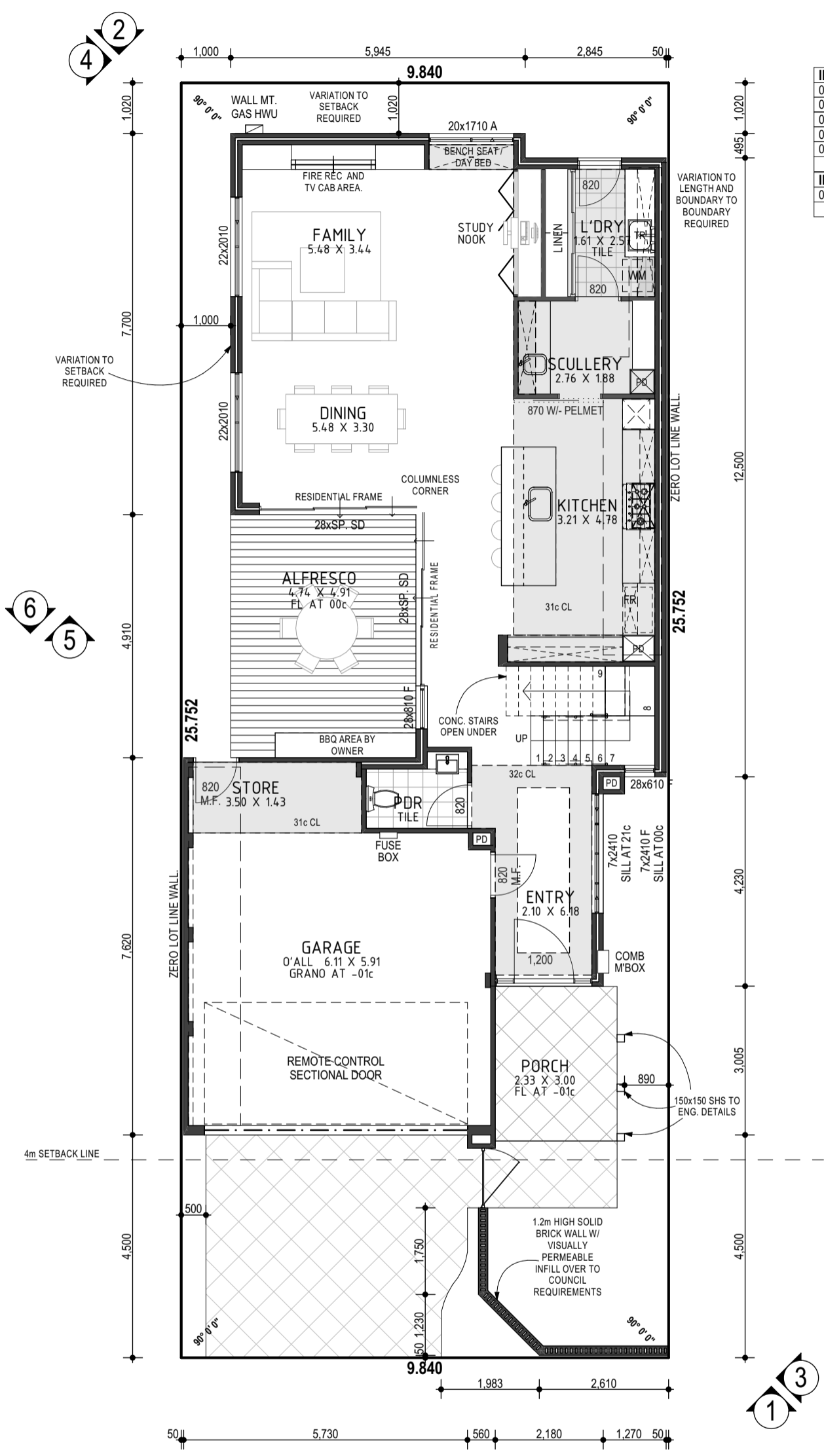


1 : 200 at A3

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

**G.F CEILINGS THROUGHOUT
34c U.N.O**

ALL INTERNAL DOORS AT 28c U.N.O



ID	AREA	M ²	PERIM.
01	GROUND FLOOR	106.00	54.23
02	GARAGE	37.80	24.60
02	STORE	5.47	10.23
03	PORCH	6.54	10.36
04	ALFRESCO	18.37	17.30
		174.18 m²	116.72 m
ID	AREA	M ²	PERIM.
05	FIRST FLOOR	139.92	66.06
		139.92 m²	66.06 m



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DRAWING NAME: GF FLOOR PLAN	SHEET No: 3 OF 6	REVISION: J	JOB No: 21-0745
OWNER	DATE	CLIENT: NABIPOUR	
OWNER	DATE	ADDRESS: LOT 2 (#85) KINTAIL ROAD, APPLECROSS	
DESIGNER	DATE	CITY OF MELVILLE	
		DRAWN BY: BLEND	DATE DRAWN: JUN 2021
		SCALE: 1:100	

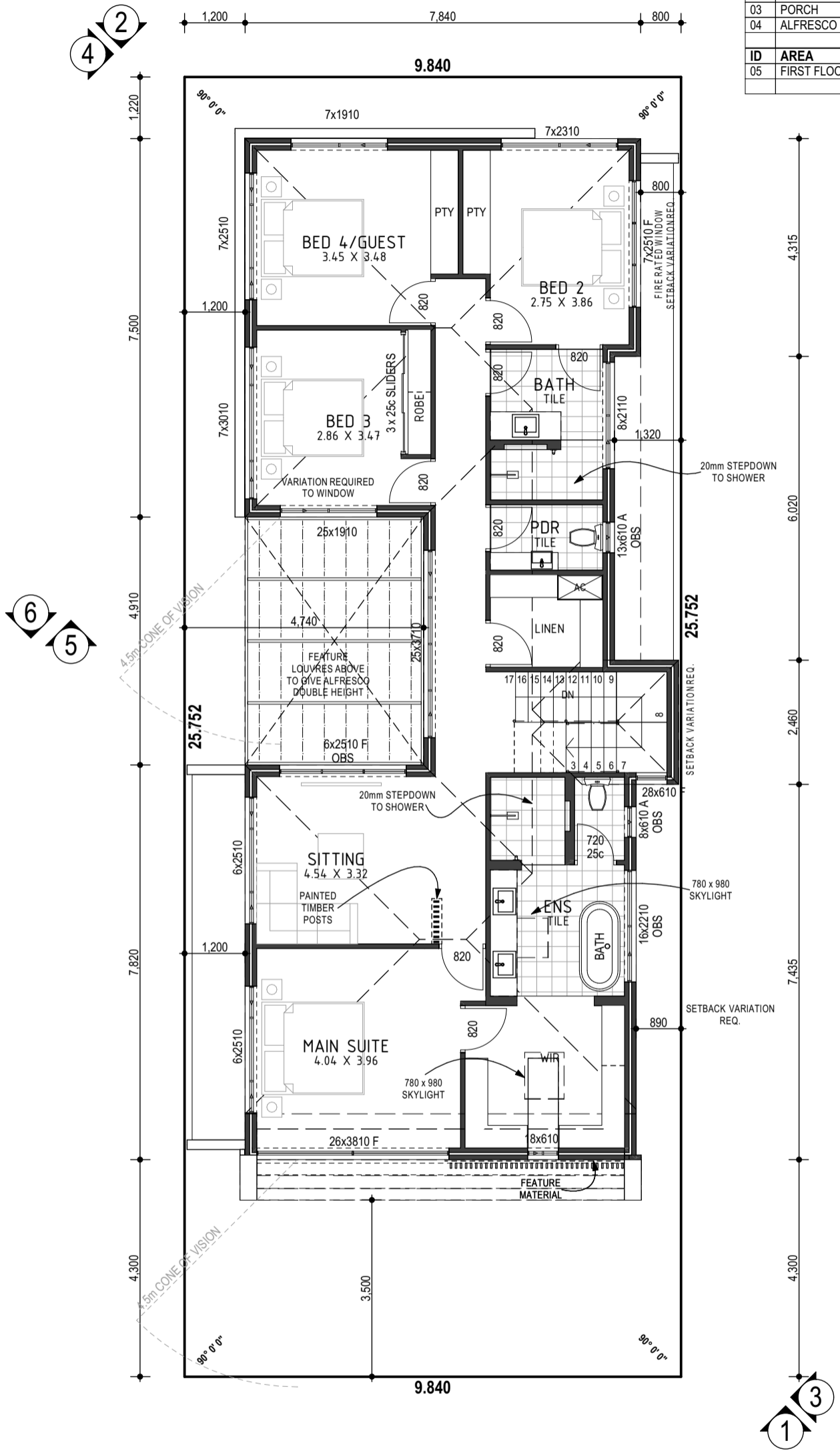
NOTE: TO SCALE ON A3 SHEET

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

UF CEILINGS THROUGHOUT 31c

ALL INTERNAL DOORS AT 28c U.N.O

ID	AREA	M ²	PERIM.
01	GROUND FLOOR	106.00	54.23
02	GARAGE	37.80	24.60
03	STORE	5.47	10.23
04	PORCH	6.54	10.36
	ALFRESCO	18.37	17.30
		174.18 m ²	116.72 m
ID	AREA	M ²	PERIM.
05	FIRST FLOOR	139.92	66.06
		139.92 m ²	66.06 m



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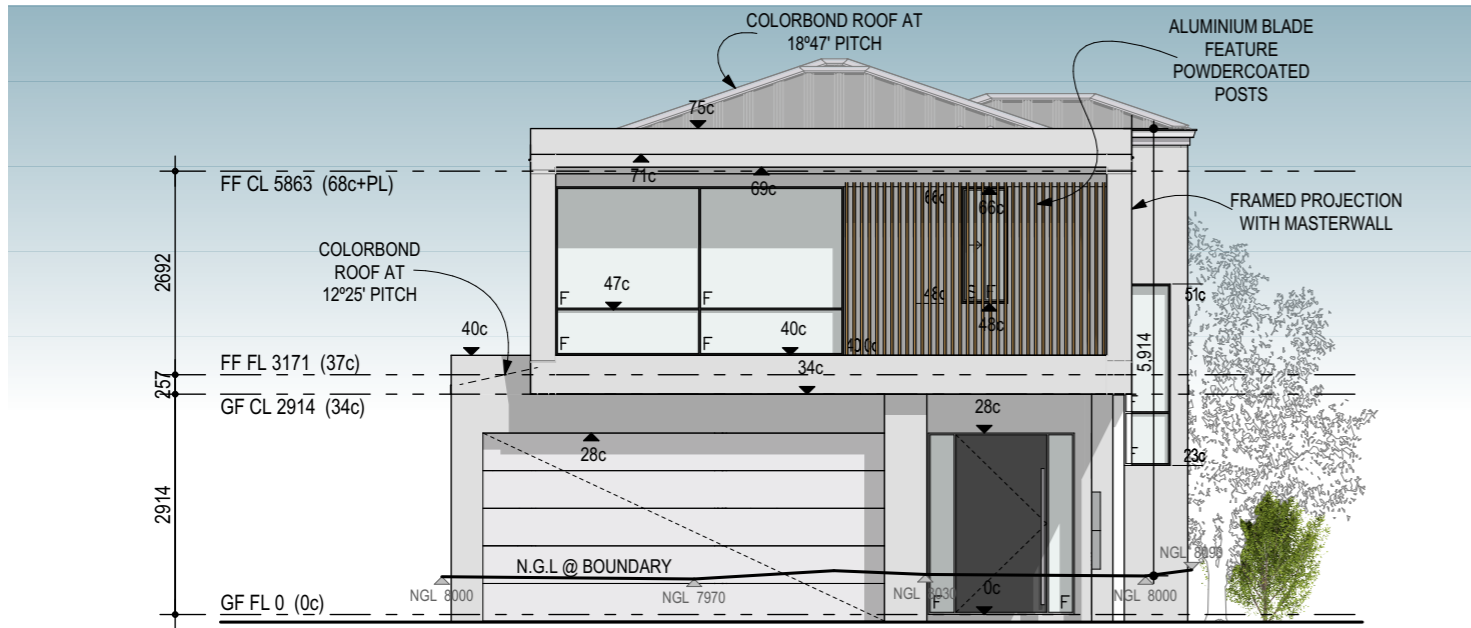
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DRAWING NAME: FF FLOOR PLAN	SHEET No: 4 OF 6	REVISION: J	JOB No: 21-0745
OWNER	DATE	CLIENT: NABIPOUR	
OWNER	DATE	ADDRESS: LOT 2 (#85) KINTAIL ROAD, APPLECROSS	
DESIGNER	DATE	CITY OF MELVILLE	
	DRAWN BY: BLEND	DATE DRAWN: JUN 2021	SCALE: 1:100

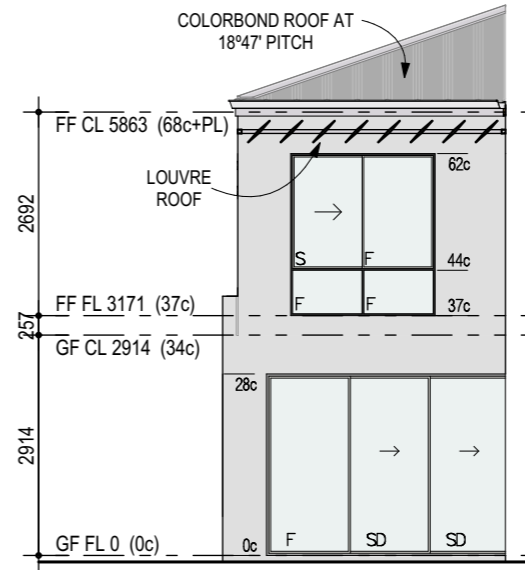
NOTE: TO SCALE ON A3 SHEET

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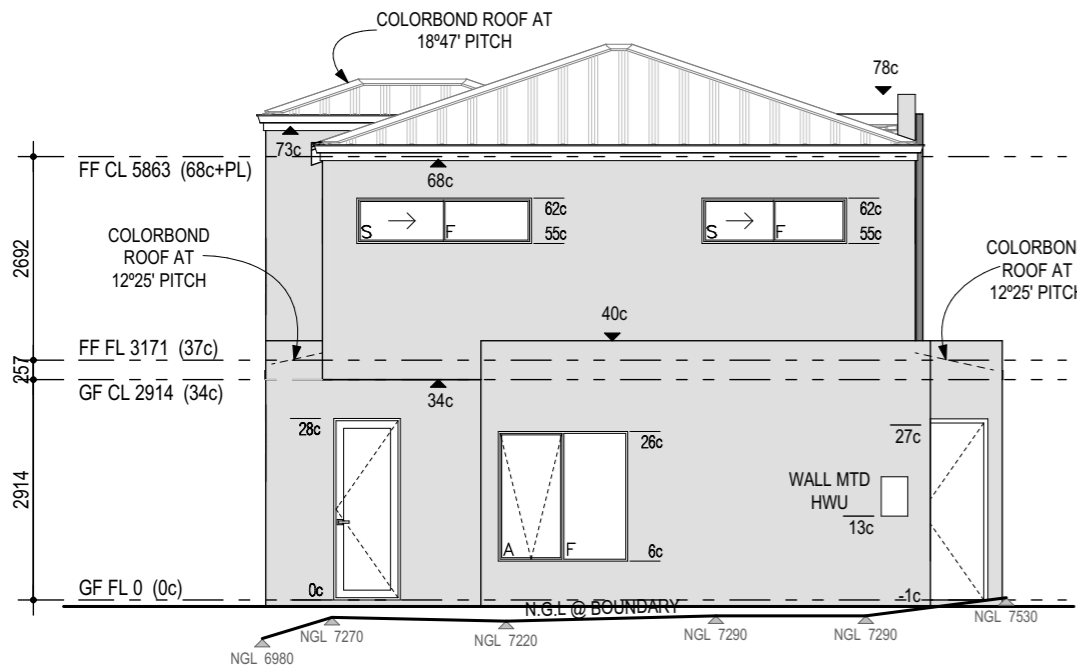


ELEVATION 1

1:100

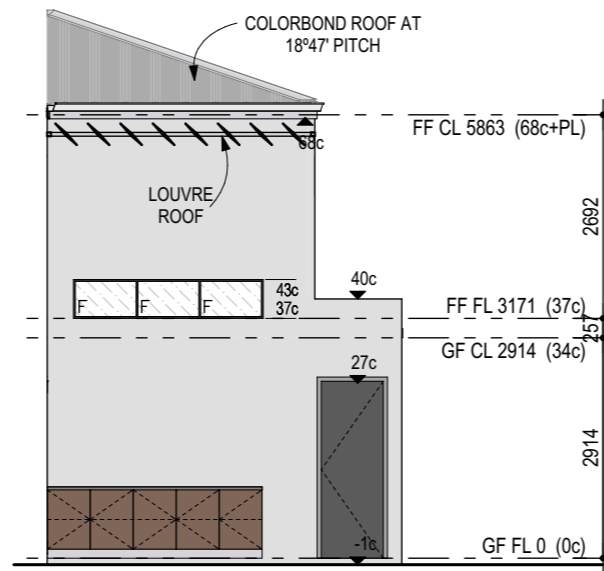


5 ELEVATION 5

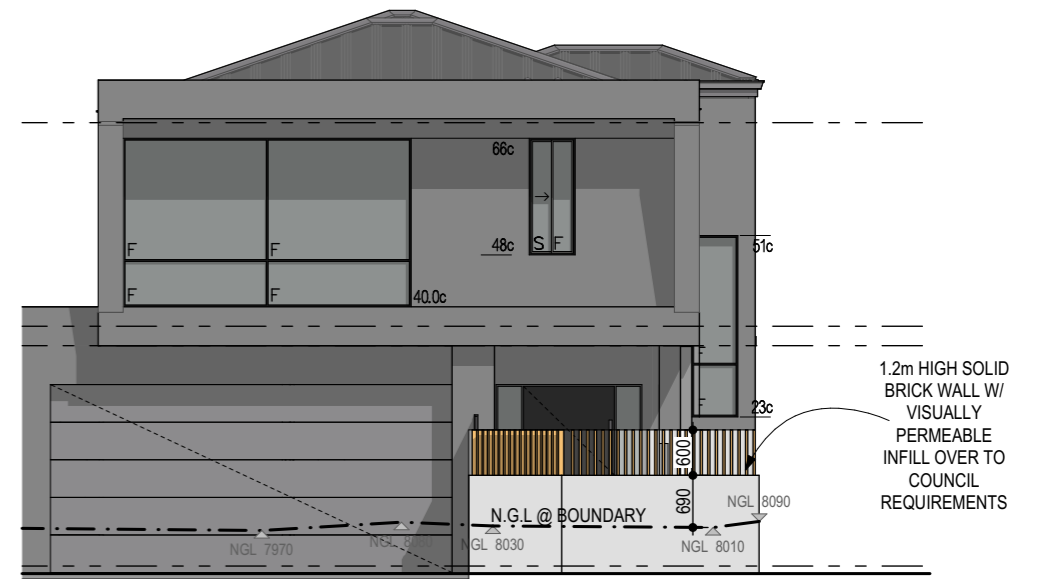


ELEVATION 2

1:100



6 ELEVATION 6



7 ELEVATION 7



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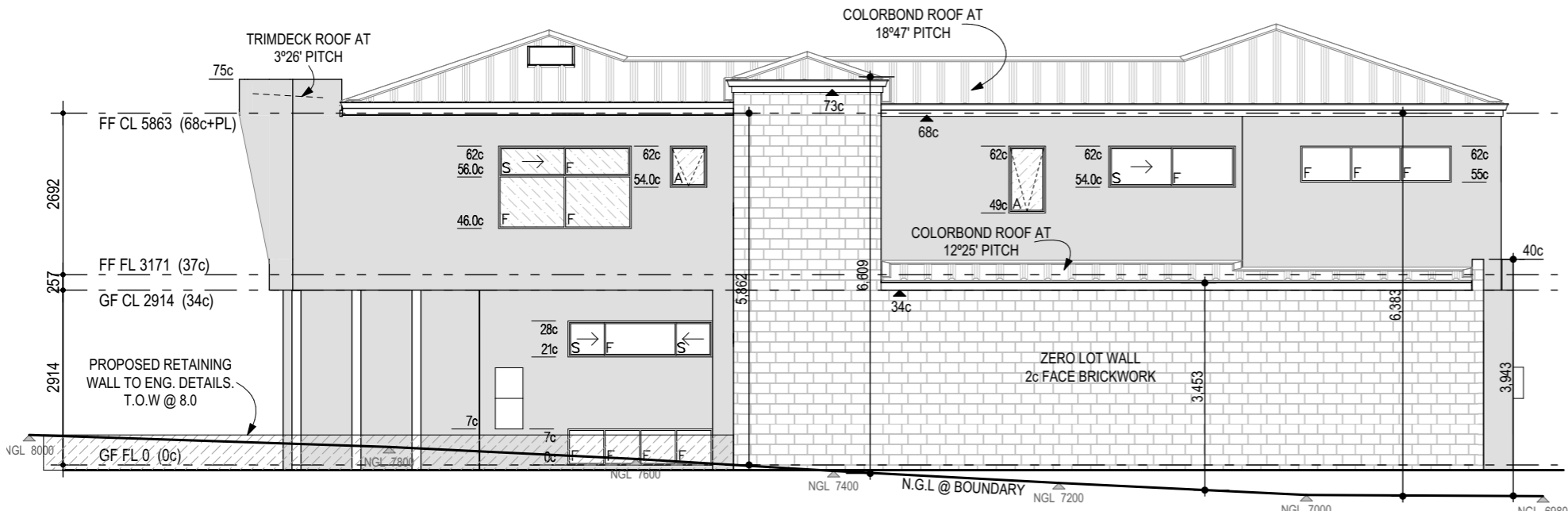
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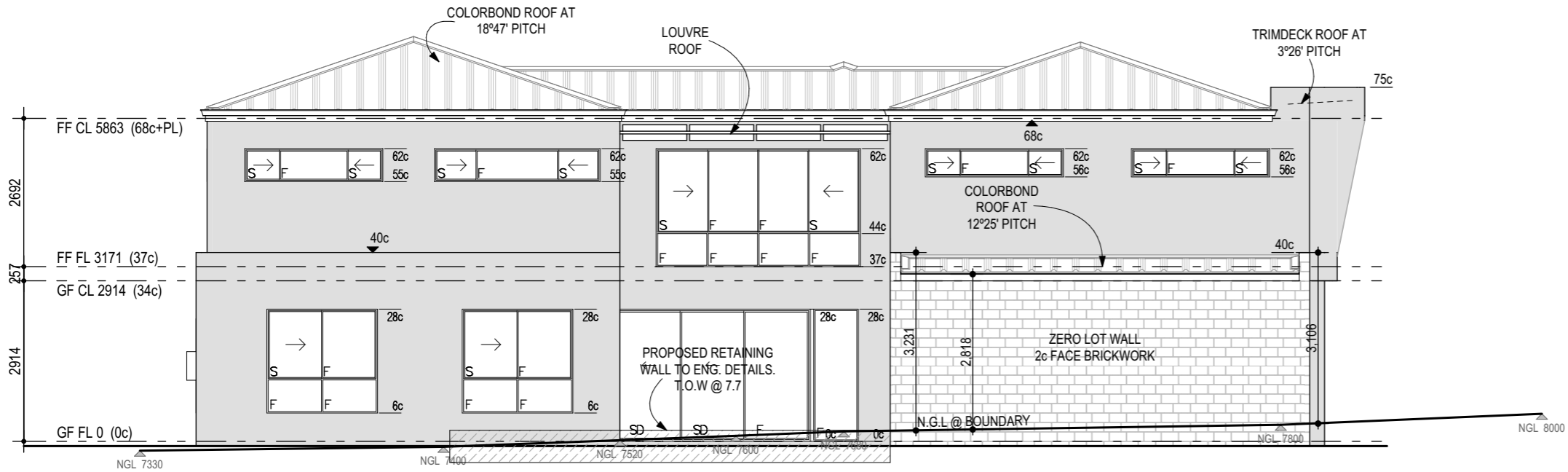
DRAWING NAME: ELEVATIONS 1		SHEET No: 5 OF 6	REVISION: J	JOB No: 21-0745
OWNER	DATE	CLIENT: NABIPOUR		
OWNER	DATE	ADDRESS: LOT 2 (#85) KINTAIL ROAD, APPLECROSS		
DESIGNER	DATE	CITY OF MELVILLE		
		DRAWN BY: BLEND	DATE DRAWN: JUN 2021	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET

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ELEVATION 3
1:100



ELEVATION 4
1:100



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DRAWING NAME: ELEVATIONS 2		SHEET No: 6 OF 6	REVISION: J	JOB No: 21-0745
OWNER	DATE	CLIENT: NABIPOUR		
OWNER	DATE	ADDRESS: LOT 2 (#85) KINTAIL ROAD, APPLECROSS		
DESIGNER	DATE	CITY OF MELVILLE		
		DRAWN BY: BLEND	DATE DRAWN: JUN 2021	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET

Our Reference	21-0745 Rev J
Client:	Nabipour
Site Address:	Lot 2 (#85) Kintail Road, Applecross

5.1.3 Lot boundary setback

Per *R'Codes 5.1.3 Lot boundary setback C3.1*, buildings are to be set back from lot boundaries in accordance with Table 1, Tables 2a and 2b. The ground floor family and dining wall of 7.7m with major openings is proposed with a setback of 1.0m from the eastern boundary with regards to the *5.1.3 Design principles* and the following:

- Solar access and ventilation for the subject and adjoining sites are not adversely affected by the proposed setback
- The reduced setback allows for economical and effective development of the lot, maximising usable site area without negatively effecting the neighbouring lots or the streetscape

5.1.3 Lot boundary setback

Per *R'Codes 5.1.3 Lot boundary setback C3.1*, buildings are to be set back from lot boundaries in accordance with Table 1, Tables 2a and 2b. The ground floor family and study-nook wall of 5.94m with major openings is proposed with a setback of 1.02m from the eastern boundary with regards to the *5.1.3 Design principles* and the following:

- Solar access and ventilation for the subject and adjoining sites are not adversely affected by the proposed setback
- The reduced setback allows for economical and effective development of the lot, maximising usable site area without negatively effecting the neighbouring lots or the streetscape

5.1.3 Lot boundary setback

Per *R'Codes 5.1.3 Lot boundary setback C3.2*, walls may be built up to a lot boundary in accordance with Table 1, Clauses 5.1.2, 5.2.1, and 5.2.2. The ground floor laundry, scullery, kitchen & stairwell zero lot wall of 12.5m length on the western boundary is proposed with a maximum height of 3.453 for the ground floor areas and 6.6m for the stairwell in regard to the *5.1.3 Design principles* and the following:

- Solar access and ventilation for the subject and adjoining sites are not adversely affected by the proposed setback.
- The proposed neighbouring lot has boundary wall that extends the length and height of the affected area which will abut the proposed wall
- The reduced setback allows for economical and effective development of the lot, maximising usable site area without negatively effecting neighbouring lots or the streetscape

5.1.3 Lot Boundary Setback

Per *R'Codes 5.1.3 Lot boundary setback C3.2*, buildings are to be set back from lot boundaries in accordance with Table 1, Tables 2a and 2b. The first floor ensuite & WIR of 7.43m is proposed with a setback of 0.89m from the western boundary with regard to the *5.1.3 Design principles* and the following:

- Solar access and ventilation for the subject and adjoining sites are not adversely affected by the proposed setback.
- With no major openings within the wall, overlooking and visual privacy of the adjoining site will not be adversely impacted by the reduced setback.
- The proposed neighbouring lot has boundary wall that extends the length and height of the affected area
- The reduced setback allows for economical and effective development of the lot, maximising usable site area without negatively effecting neighbouring lots or the streetscape

5.1.3 Lot boundary setback

Per *R'Codes 5.1.3 Lot boundary setback C3.1*, buildings are to be set back from lot boundaries in accordance with Table 1, Tables 2a and 2b. The first-floor bed 2 of 4.315m length is proposed with a setback of 0.8m from the western boundary with regard to the *5.1.3 Design principles* and the following:

- Solar access and ventilation for the subject and adjoining sites are not adversely affected by the proposed setback.
- The major opening to the wall will have obscured glazing therefore overlooking and visual privacy of the adjoining site will not be adversely impacted by the reduced setback.
- The proposed neighbouring lot has boundary wall that extends the length and height of the affected area which will abut
- The reduced setback allows for economical and effective development of the lot, maximising usable site area without negatively effecting neighbouring lots or the streetscape

5.1.3 Lot boundary setback

Per *R'codes 5.1.3 Lot Boundary Setback C3.2*, Walls may be built up to a lot boundary behind the street setback (specified in table 1 and in accordance with clauses 5.1.2, 5.2.1 and 5.2.2), within the follow limits and subject to the overshadowing provisions of clause 5.4.2 and Figure series 11. The zero lot boundary on the eastern and western boundaries are proposed with regard to the *5.1.3 design principles* and the following

- The dual boundary walls allow for economical and effective development of the lot, maximising usable site area without negatively effecting neighbouring lots or the streetscape
- The proposed zero lot walls abut proposed neighbouring zero lot wall which have been approved to have zero lot walls to both sides of their lots so their will be no negative impact on the neighbouring lots

5.1.4 Open space

Per *R'Codes 5.1.4 Open space C4*, open space is to be provided in accordance with Table 1 – for a lot coded R40 is 55% of the lot area. A reduced open space provision of 40.9% in lieu of 45% is proposed with regard to the *5.1.4 design principles* and the following:

- The additional 10.47m² comprises just 4.1% of the site area and adds only a very small amount to the overall building bulk.
- The proposed 40.9% open space is a substantial area for residents to use for outdoor pursuits and more than ample for access within/around the site.
- The site is a short walk to the Jeff Joseph reserve which will allow the residents plenty of room for any outdoor recreation activities
- The proposed extra space does not affect the neighbouring lot adversely with regards to solar access

5.2.2 Garage width

As per *R'Codes* clause 5.2.2 *Garage width*, the garage width should not be more than 50% of the frontage at the setback line as viewed from the street. The Proposed development with a garage width of 6290mm is equal to 63.9% of the frontage at the setback line. We request that this variation be considered with regard to the following:

- The proposed development has been suitably designed to suit the narrow lot. The garage is sized with regard for the minimum size requirements for a double garage as outlined in the Australian Standards.
- Due to the cantilevering upper floor, the front elevation has been designed to ensure that the increased garage width does not dominate the front elevation or impose on the streetscape. The compliant 50% of the frontage at the setback line would allow a garage width of 4920mm, the garage width proposes an additional 13.9% of the frontage. We believe the increase in the allowed garage width will not adversely affect the adjoining properties or impact on the streetscape, however does allow a more reasonable and usable garage size for the development.

5.4.1 Visual privacy

R'Codes 5.4.1 Visual privacy C1.1, Major openings and unenclosed outdoor active habitable spaces, which have a floor level of more than 0.5m above natural ground level and overlook and part of any other residential property behind its street setback line are: setback, in direct line of sight within in the cone of visions, from the lot boundary, a minimum distance as prescribed below. The bedroom 3 major window is proposed with a 4.5m cone of vision arc that intrudes 1.28m. We propose this variation due to the following reasons:

- The proposed residence is making the most of a tight block
- The proposed opening allows for natural light and ventilation to the room.