

29 RISELEY STREET

RENOVATION & EXTENSION

GENERAL NOTES

'A-SERIES' DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION.

'A-SERIES' DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER & TIMBER FRAME SUPPLIERS DRAWINGS.

OWNER TO BE NOTIFIED OF ANY DISCREPANCY AND/OR OMISSION PRIOR TO CONSTRUCTION FOR DETERMINATION.

THE CONTRACTOR SHALL PROVIDE FOR APPROVAL ALL MATERIAL SAMPLES AS REQUIRED.

THE CONTRACTOR SHALL COORDINATE ALL SUB-CONTRACTORS, INCLUDING ANY FURTHER DESIGN DEVELOPMENT AND DOCUMENTATION REQUIRED FOR SPECIALIST TRADES AND SERVICE INSTALLATIONS.

THE CONTRACTOR SHALL COORDINATE AND MAKE NECESSARY ALLOWANCE FOR ALL DUCTS, SERVICE PENETRATIONS, AND SERVICE ROUTES AND MAKE GOOD WHERE NECESSARY TO MAINTAIN THE INTEGRITY AND FINISH OF THE BUILDING

SITE CLASSIFICATION
SITE GROUND CONDITIONS = 'CLASS A'
BUILDING CLASS = 1
CLIMATE ZONE = 5
WIND LOADING = N2

STRUCTURAL DESIGN
ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS, AND TIMBER FRAME MANUFACTURER SHOP DRAWINGS. CONTRACTOR & SUB-CONTRACTORS TO FAMILIARISE THEMSELVES WITH ALL DOCUMENTATION AND NOTE ANY DISCREPANCIES AND CLARIFICATIONS PRIOR TO COMMENCING WORKS

DIMENSIONAL SET OUT
DO NOT SCALE FROM DRAWINGS
ALL DIMENSIONS, UNLESS NOTED, ARE IN MM
DIMENSIONS TYPICALLY TO STRUCTURE E.G. STUDWORK / FOAM.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONAL SET-OUT, LEVELS, AND ANGLES, ON SITE PRIOR TO COMMENCING WORKS.
IF IN DOUBT, SEEK ADVICE PRIOR TO UNDERTAKING WORK

CODES AND STANDARDS
CONTRACTOR TO ONLY USE MATERIALS AND CARRY OUT WORKS IN ACCORDANCE WITH LATEST NATIONAL CONSTRUCTION CODES, BUILDING CODE OF AUSTRALIA, AND RELEVANT AUSTRALIAN STANDARDS

DILAPIDATION SURVEY
CONTRACTOR TO PREPARE A COMPREHENSIVE DILAPIDATION SURVEY OF EXISTING ADJOINING PROPERTIES AND STRUCTURES PRIOR TO COMMENCING WORKS ON SITE. CONTRACTOR TO NOTIFY IMMEDIATELY AND SEEK FURTHER GUIDANCE PRIOR TO COMMENCING WORKS IF ANY STRUCTURES SHOW SIGNS OF PREVIOUS OR POTENTIAL MOVEMENT / DAMAGE

EXISTING SITE SERVICES
CONTRACTOR TO LOCATE, PROTECT/ ISOLATE ALL EXISTING ABOVE AND BELOW GROUND SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS

TERMITE PROTECTION
ALL TERMITE PROTECTION MUST BE PROVIDED IN ACCORDANCE WITH AS 3660.1 - 2014
THE OWNER MUST BE AWARE THAT IT IS THEIR TOTAL RESPONSIBILITY TO ARRANGE THE APPROPRIATE INSPECTION OF THE BUILDING TO ASCERTAIN THE PRESENCE OF TERMITES.
THE CONTROLS INSTALLED ARE REQUIRED TO BE CHECKED ANNUALLY.
ON CONVEYANCE OF THE PROPERTY THE PURCHASERS MUST BE MADE AWARE OF THE BARRIERS INSTALLED TO PREVENT THE ENTRY OF TERMITES.

THE BUILDER AND OWNER SHALL AGREE:

- CHOOSE AN APPROPRIATE OPTION FOR TERMITE CONTROL IN ACCORDANCE WITH THE CODE. THE BUILDER IS RESPONSIBLE TO MAKE ALL OPTIONS AVAILABLE TO THE OWNER.
- THE OWNER AND THE BUILDER SHALL RECORD IN WRITING THE DETERMINED OPTION FOR THE BUILDING, AND BE SIGNED BY BOTH PARTIES.
- THE BUILDER SHALL PROVIDE THE LOCAL AUTHORITY A COPY OF THE AGREEMENT FOR THE PREFERRED TERMITE CONTROL.

PLUMBING & DRAINAGE
CONTRACTOR TO DESIGN AND SET-OUT DRAINAGE SYSTEM. DESIGN TO CONFORM TO RELEVANT CODES OF PRACTICE AND AUSTRALIAN STANDARDS, INCLUDING LOCATION OF SOIL STACKS, VENT PIPES, PIPE RUNS AND ACCESS / MAINTENANCE LOCATIONS PRIOR TO COMMENCING WORK ON SITE
ACCESS LOCATIONS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION

LINTELS

WALL OPENINGS IN TIMBER FRAME TO BE SUPPORTED WITH LINTELS AS NOTED AND APPROVED BY STRUCTURAL ENGINEER
REFER TO STRUCTURAL ENGINEER DOCUMENTATION FOR FINAL SPECIFICATION OF CONCRETE AND STEEL LINTELS

ROOF & FLOOR BEAMS

ROOF AND FLOOR BEAMS AS DETAILED REFLECT DESIGN INTENT.
REFER TO STRUCTURAL ENGINEER DOCUMENTATION AND TIMBER FRAME MANUFACTURER SHOP DRAWINGS FOR FINAL DETAILS AND SIZING OF ROOF AND FLOOR BEAM DETAILS.

ROOF FRAMING TO BE DESIGNED IN ACCORDANCE WITH AS1684 / AS1720 AND DESIGNED FOR N1 WIND LOADS IN ACCORDANCE WITH AS1120.2.
ALL FIXINGS & TIE DOWN CONNECTIONS TO ROOF FRAMING TO IN ACCORDANCE WITH AS1684.

ANY CHANGES TO DEPTH AND SET-OUT OF JOISTS/ TRUSSES TO BE CHECKED WITH OWNER TO ENSURE REQUIRED FLOOR / ROOF LEVELS ARE MAINTAINED.

CONTRACTOR TO ENSURE ALL STRUCTURAL ELEMENTS ARE INSTALLED TO RELEVANT CODES OF PRACTICE AND AUSTRALIAN STANDARDS AND INSTALLED AS PER STRUCTURAL ENGINEER / TIMBER FRAME SUPPLIER / MATERIAL SUPPLIERS RECOMMENDATIONS

ROOF SERVICE PENETRATIONS

ROOF MOUNTED VENTS, PIPEWORK, SERVICES AND PENETRATIONS SHOWN INDICATIVELY ON ROOF PLAN. CONTRACTOR TO COORDINATE AND LOCATE FINAL POSITIONS IN ACCORDANCE WITH RELEVANT STANDARDS.

ALL VENTS, SERVICES AND FLUES PENETRATING THE ROOF COVERING ARE TO BE FLASHED WITH COLOUR MATCHED DEKITE OR EQUAL COLLARS/ FLASHINGS TO ENSURE WEATHER TIGHT SEAL AND INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS

ROOF FLASHINGS

PROVIDE 2-PART APRON FLASHINGS WITH MIN 150 LAP/UPSTAND, TO ENSURE WEATHER TIGHT SEAL AT ALL ROOF JUNCTIONS.
MIN 150 UPSTAND TO ALL PARAPET EDGES AND INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS

ROOF SEALING STRIPS

PROVIDE CLOSED CELL SEALING / INFILL STRIPS TO ROOF AS REQUIRED TO ENSURE WEATHER TIGHT SEAL AT EDGES AND INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS

ELECTRICAL SERVICES

ALL RECESSED LED DOWNLIGHTS IN CEILING VOID - KEEP GIMBLE MIN 200MM CLEAR OF INSULATION OR FIT WITH GUARD AND KEEP MIN 30MM CLEAR
SMOKE DETECTORS TO BE HARD WIRED AND FITTED WITH BATTERY BACK UP IN ACCORDANCE WITH AS3786

BCA SECTION J COMPLIANCE

ALL EXTERNAL ELEMENTS OF BUILDING TO COMPLY WITH SECTION J BASED ON THE DEEMED TO SATISFY PROVISIONS OF THE BCA.
REFER TO SUBMITTED ENERGY ASSESSMENT FOR DETAILS.
CONTRACTOR TO PROVIDE NECESSARY DOCUMENTATION FOR AS-INSTALLED CONSTRUCTION MATERIALS.

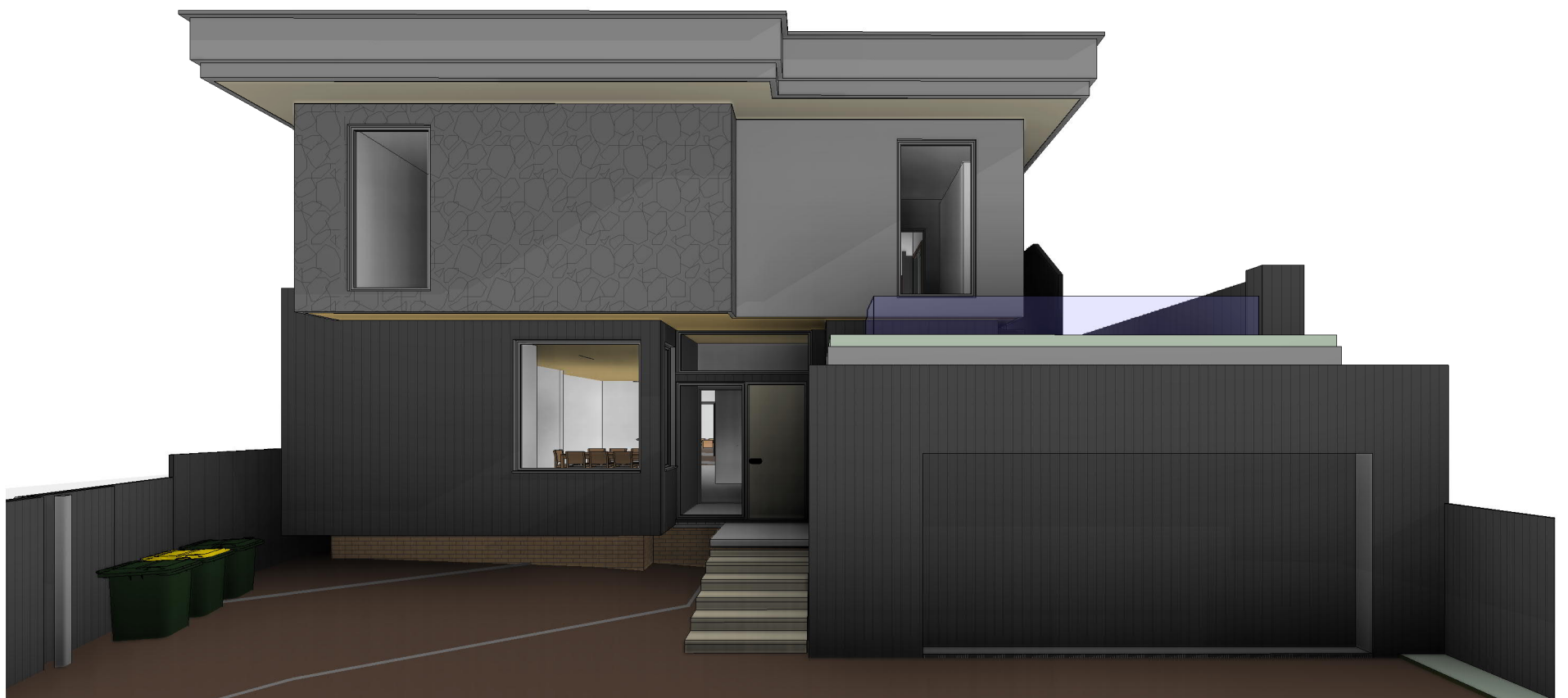
ABBREVIATIONS ON DRAWINGS:

N.G.L - DENOTES NATURAL GROUND LEVEL
F.F.L - FINISH FLOOR LEVEL (in Metres)
A.F.L - ABOVE FLOOR LEVEL (in Millimetres)
C.L - CEILING LEVEL (in Metres)

FLOOR FINISH SCHEDULE

ROOM	AREA	FLOOR FINISH
ALFRESCO	34.00 m ²	
BATH	5.08 m ²	
BATHROOM	5.92 m ²	
BED 1	21.83 m ²	
BED 2	15.76 m ²	
BED 3	15.72 m ²	
BED 4	9.31 m ²	
DECK	42.16 m ²	
DINING	16.96 m ²	
DUCT	0.34 m ²	
DUCT	0.57 m ²	
ENSUITE	7.37 m ²	
ENTRY	3.98 m ²	
GAMES	12.14 m ²	
GARAGE	58.66 m ²	
GUEST BED	9.51 m ²	
HALL	2.89 m ²	
KITCHEN	33.73 m ²	
LANDING	10.26 m ²	
LAUNDRY	8.05 m ²	
LINEN	0.45 m ²	
LINEN	0.67 m ²	
LINEN	0.72 m ²	
LINEN	1.13 m ²	
LIVING	35.03 m ²	
OFFICE / STUDIO	10.16 m ²	
PWD	2.16 m ²	
RETREAT	12.63 m ²	
ROBE	0.72 m ²	
ROBE 2	1.38 m ²	
ROBE 3	1.38 m ²	
ROBE 4	1.43 m ²	
Room	0.82 m ²	
RUMPUS	27.83 m ²	
STAIRS	8.98 m ²	
STAIRS	13.96 m ²	
STORE	0.73 m ²	
STORE	1.65 m ²	
VANITY	3.60 m ²	
WC	3.21 m ²	
WIR	12.65 m ²	
TOTALS:	455.51 m ²	

No	DRAWING	REV
A0.01	COVER	A
A0.02	PERSPECTIVE VIEWS	A
A0.FS	FEATURE SURVEY	
A1.01	PROPOSED SITE PLAN	A
A2.01	GROUND FLOOR PLAN - EXISTING & MODIFICATION	A
A2.02	GROUND FLOOR PLAN - PROPOSED	A
A3.00	FIRST FLOOR PLAN	A
A4.15	ROOF PLAN	A
A5.01	NORTH-EAST (STREET) ELEVATION	A
A5.02	NORTH WEST ELEVATION	A
A5.03	SOUTH-EAST ELEVATION	A
A6.00	SECTIONS A & B	A
A6.01	SECTIONS C & D	A
A6.02	SECTIONS E & F	A



A ISSUED FOR DA 30 JUNE 21

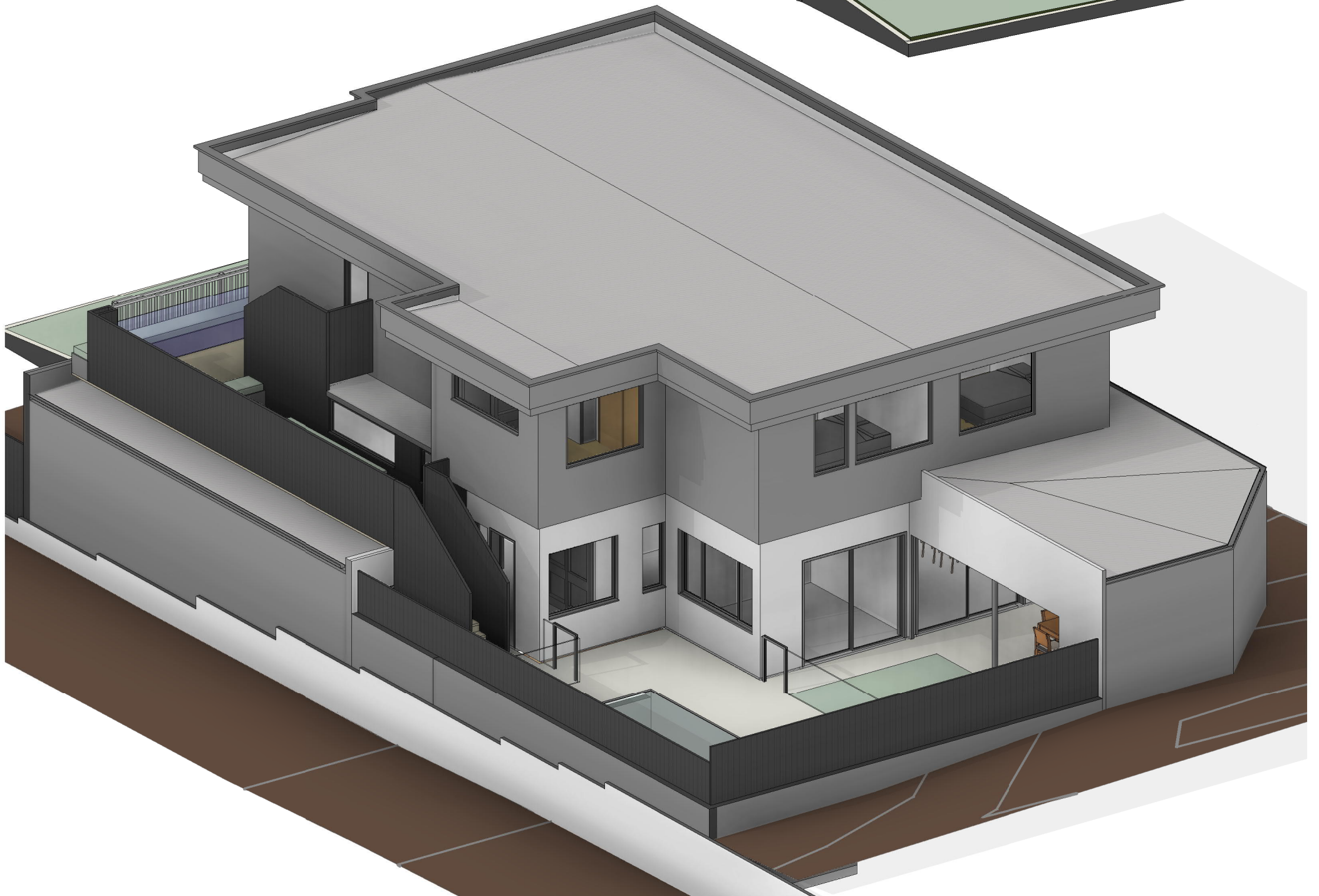
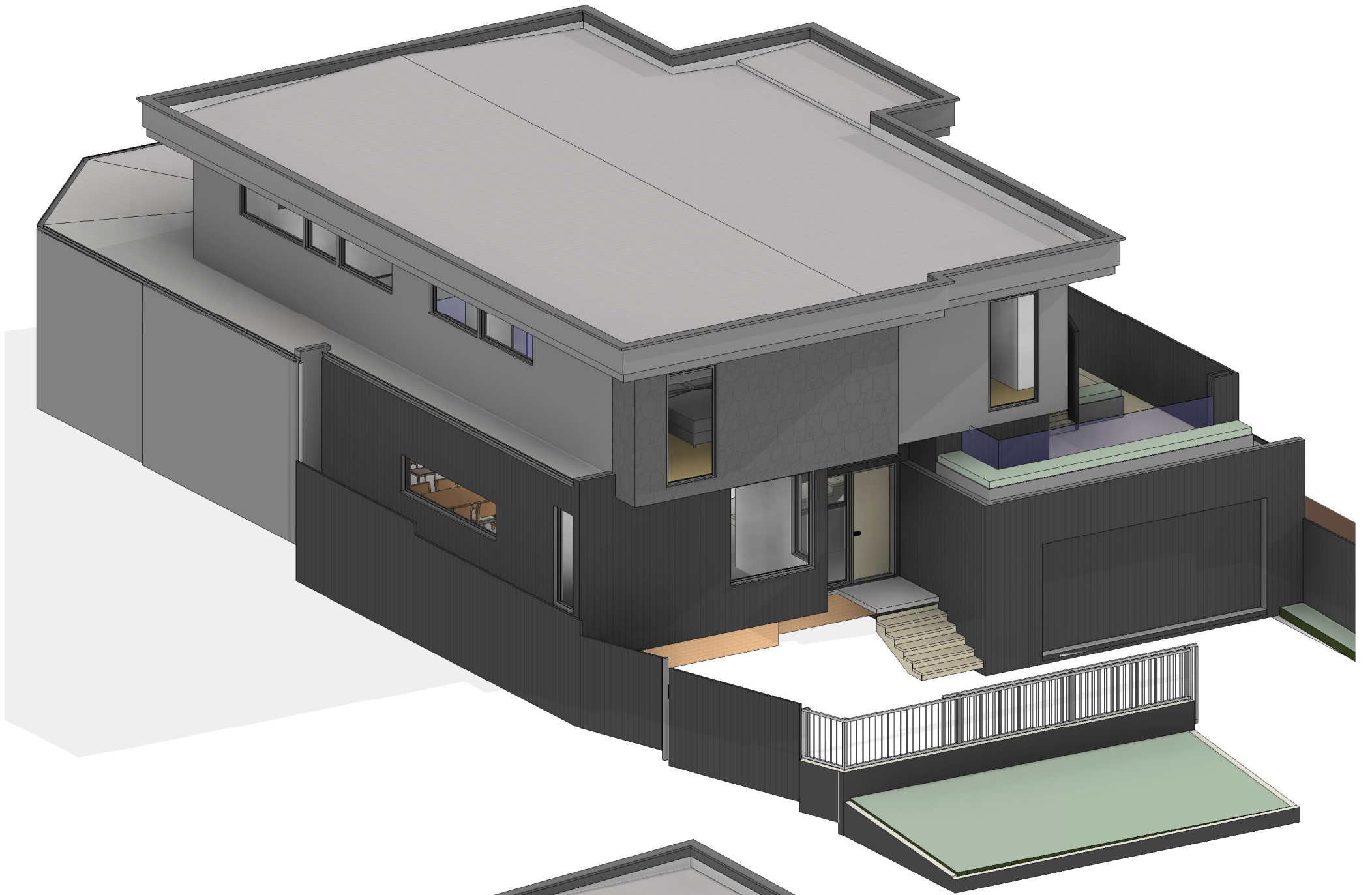
REV	DESCRIPTION	DATE
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PROJECT: 29 RISELEY STREET, ARDROSS

DRAWING: COVER

DATE: MARCH 21

DRG No: A0.01



A ISSUED FOR DA 30 JUNE 21

REV	DESCRIPTION	DATE
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PROJECT:	29 RISELEY STREET, ARDROSS
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DRAWING:	PERSPECTIVE VIEWS
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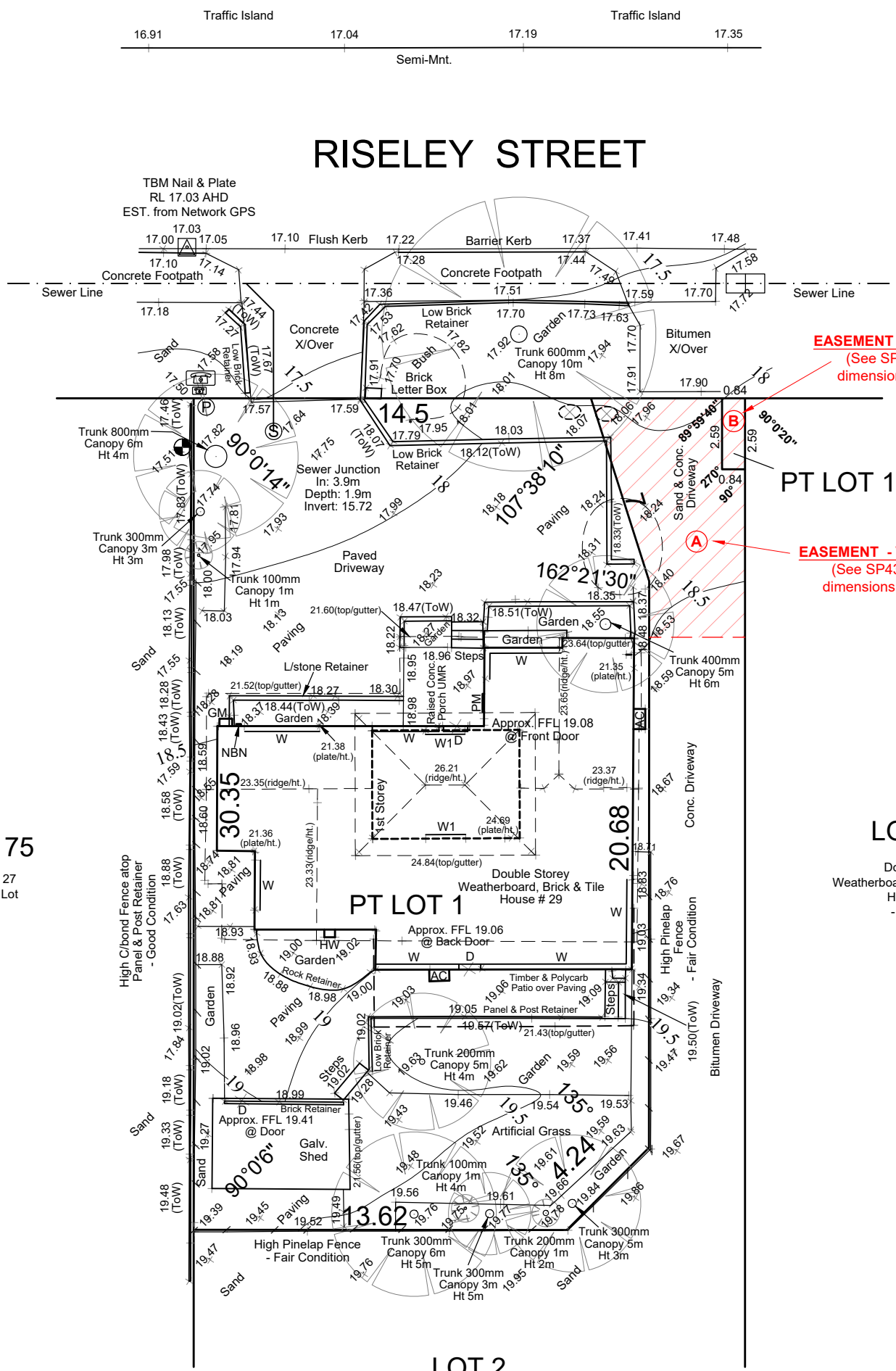
DATE:	MARCH 21
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DRG No:	A0.02
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A3

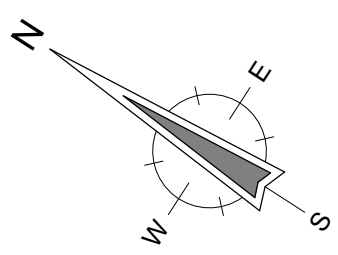
CLIENTS DETAILS:
De Beaux Builders
 LEVEL DATUM: AHD (Approx.)
 DWG REF: Riseley 29 F - v1.0

LEGEND
 WATER METER, SEWER AC, TELSTRANBN PIT, POWER DOME, TREE (TO SCALE), WINDOW, W1 1ST FLOOR WINDOW, DOOR, SEWER CONN., TEMP. BENCHMARK, PM POWER METER, GM GAS METER, AC AIRCON UNIT, SAPPLING

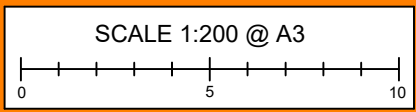


EASEMENT - Vehicle Access
 (See SP43363 for full dimensions and details).

EASEMENT - Vehicle Access
 (See SP43363 for full dimensions and details).



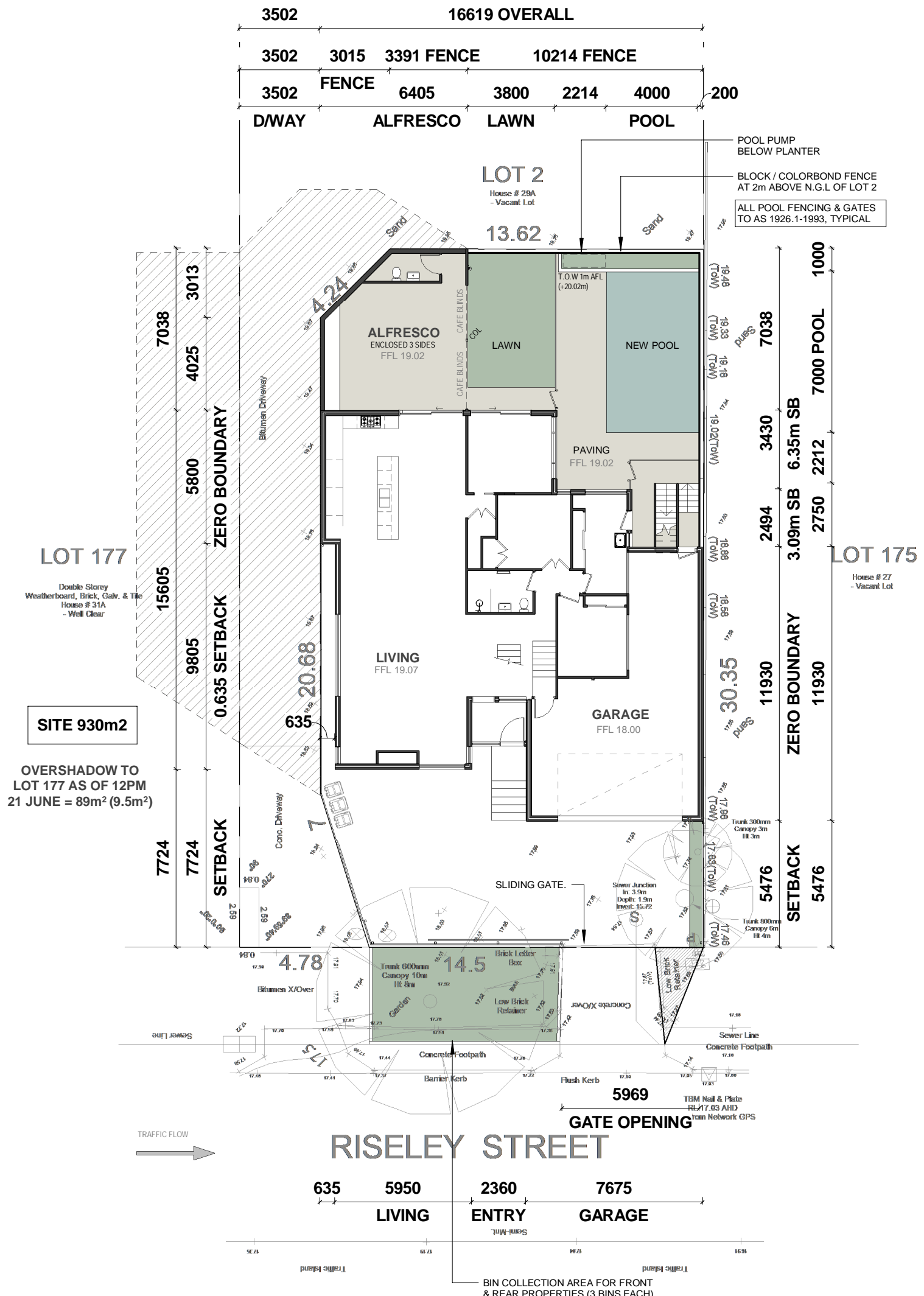
T: (08) 6144 0000 F: (08) 6144 0099
 59 SCARBOROUGH BEACH RD,
 SCARBOROUGH WA 6019
 Email: info@visionsc.com.au
 www.visionsurveys.com.au



PLAN / DIAG / SP	SP 43363	TELSTRA	YES
ELECTRICITY	UNDERGROUND	SEWERAGE	YES
WATER	YES	DRAINAGE	GOOD
GAS	YES	VEG. / SOIL	AS DESCRIBED

IMPORTANT NOTES:
 THE BOUNDARY CANNOT BE VERIFIED DUE TO LACK OF SURVEY MARKS/ PEGS. ALL BUILDING DIMENSIONS & FEATURES ARE APPROXIMATE ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCING, RETAINING WALLS AND OTHER TYPICAL FEATURES LOCATED ON THE BOUNDARY WHICH MAY OR MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED.
 BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS/ ARCHITECTS, THE BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS MEASURED TO EXISTING STRUCTURES AND FENCING. VISION SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE OF THIS SURVEY.
 THIS PLAN IS INTENDED FOR THE DEPT OF PLANNING & INFRASTRUCTURE ONLY.
 SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.
 CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



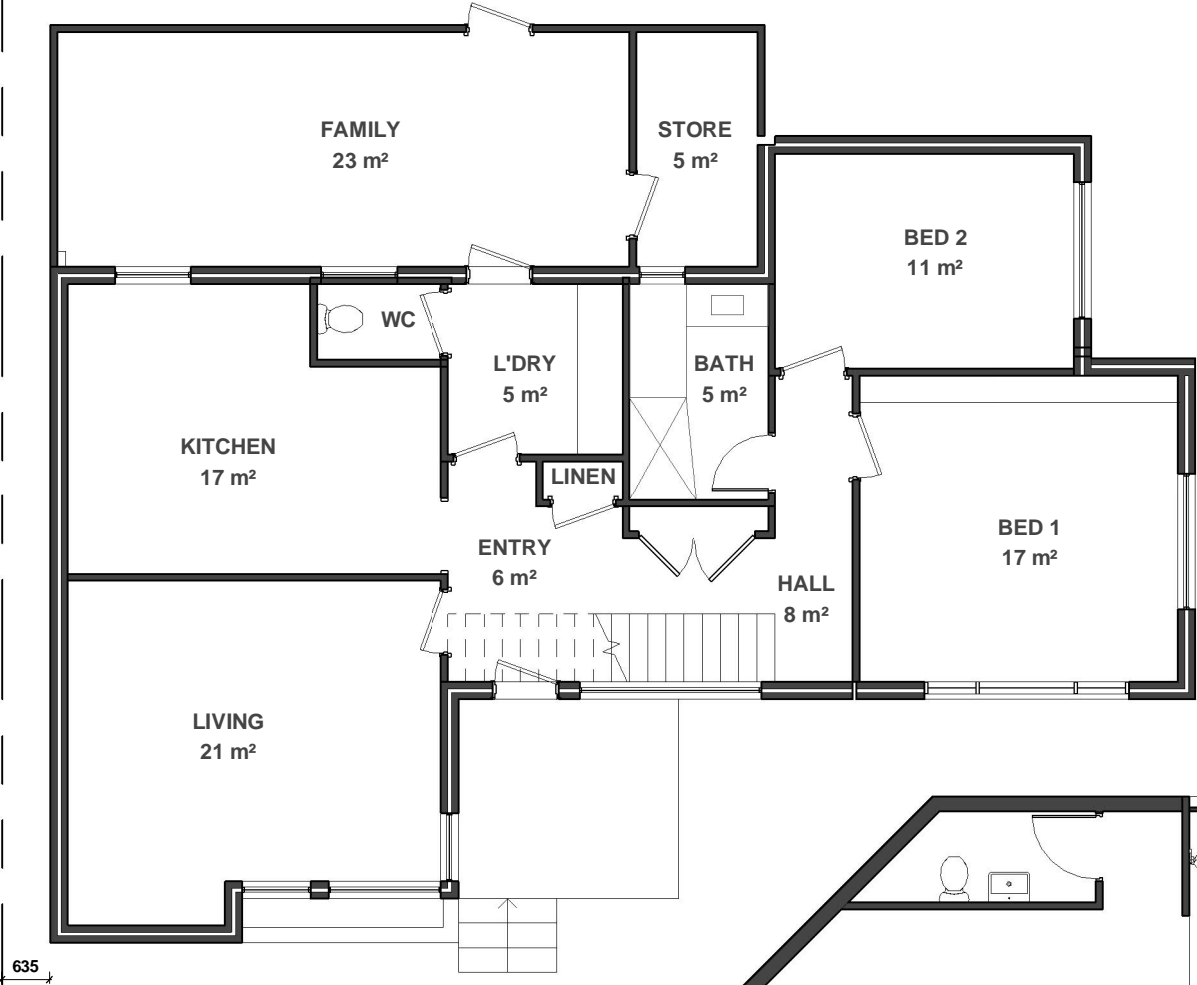


PROPOSED SITE PLAN
Scale 1 : 200

PROPOSED OPEN SPACE:
LOT SIZE: 493 m²
EXISTING OPEN SPACE: 350 m² (71%)
PROPOSED OPEN SPACE: 210 m² (42.5%)

PROPOSED GROSS AREA		
NAME	AREA	PERIMETER
GROUND FLOOR	238.79 m ²	71.357 m
FIRST FLOOR	180.22 m ²	58.526 m
TOTALS	419.01 m²	

12132



GROUND FLOOR PLAN - EXISTING
Scale 1 : 100

PLAN LEGEND:

- GREY LINES DENOTE EXISTING ELEMENTS TO REMAIN.
- - - RED DASHED LINES DENOTE EXISTING ELEMENTS TO BE REMOVED.
- BLACK LINES DENOTE NEW ELEMENTS.

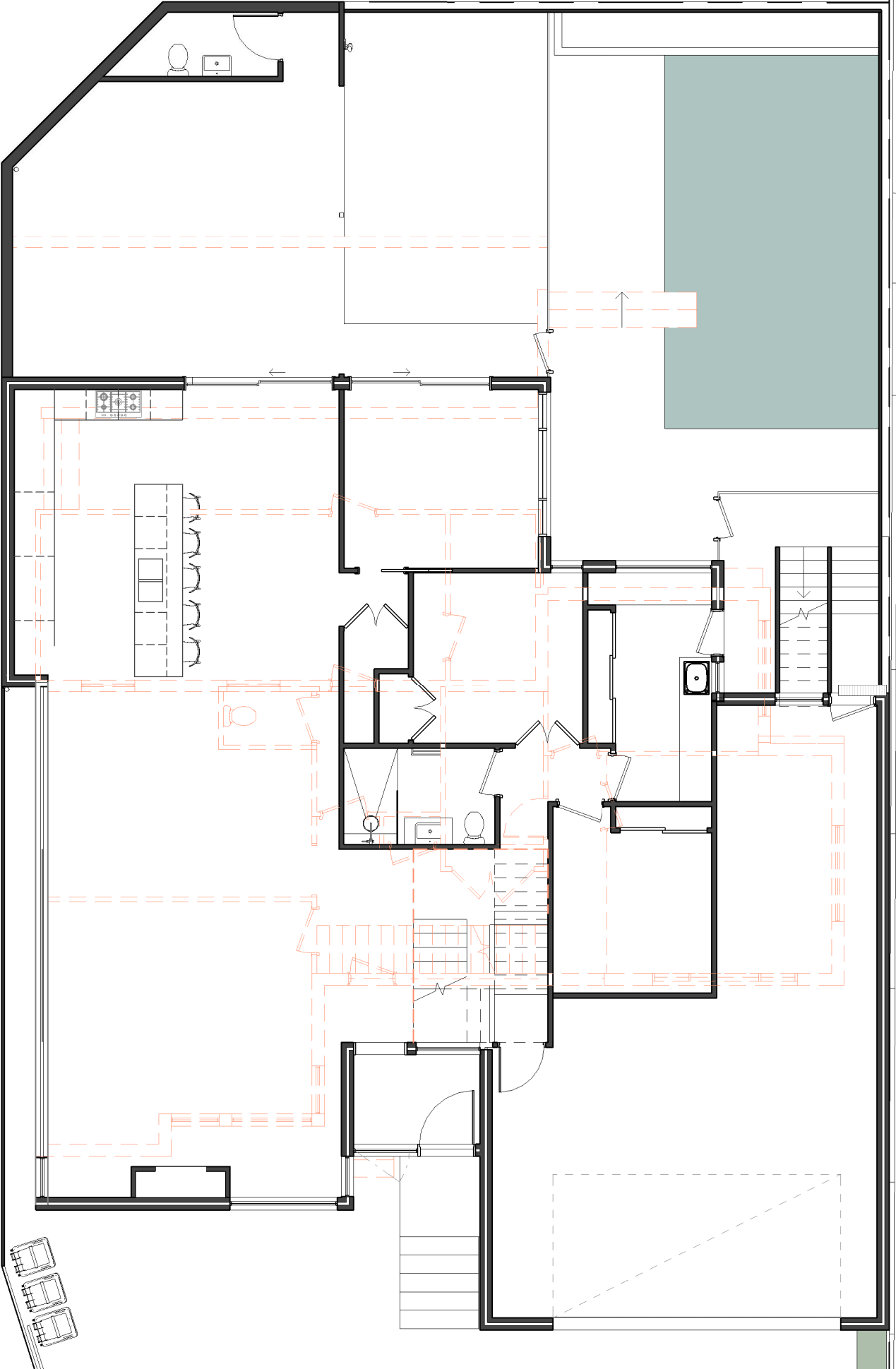
EXISTING GROSS AREA		
NAME	AREA	PERIMETER
EX GROUND FLOOR	138.52 m ²	54.541 m
EX. FIRST FLOOR	21.85 m ²	18.946 m
TOTALS	160.37 m ²	

PROPOSED GROSS AREA		
NAME	AREA	PERIMETER
GROUND FLOOR	238.79 m ²	71.357 m
FIRST FLOOR	180.22 m ²	58.526 m
TOTALS	419.01 m ²	

5800 ZERO BOUNDARY
3m ABOVE NATURAL GROUND LEVEL

8805 - EXISTING WALL TO REMAIN

1000

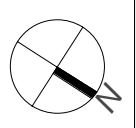


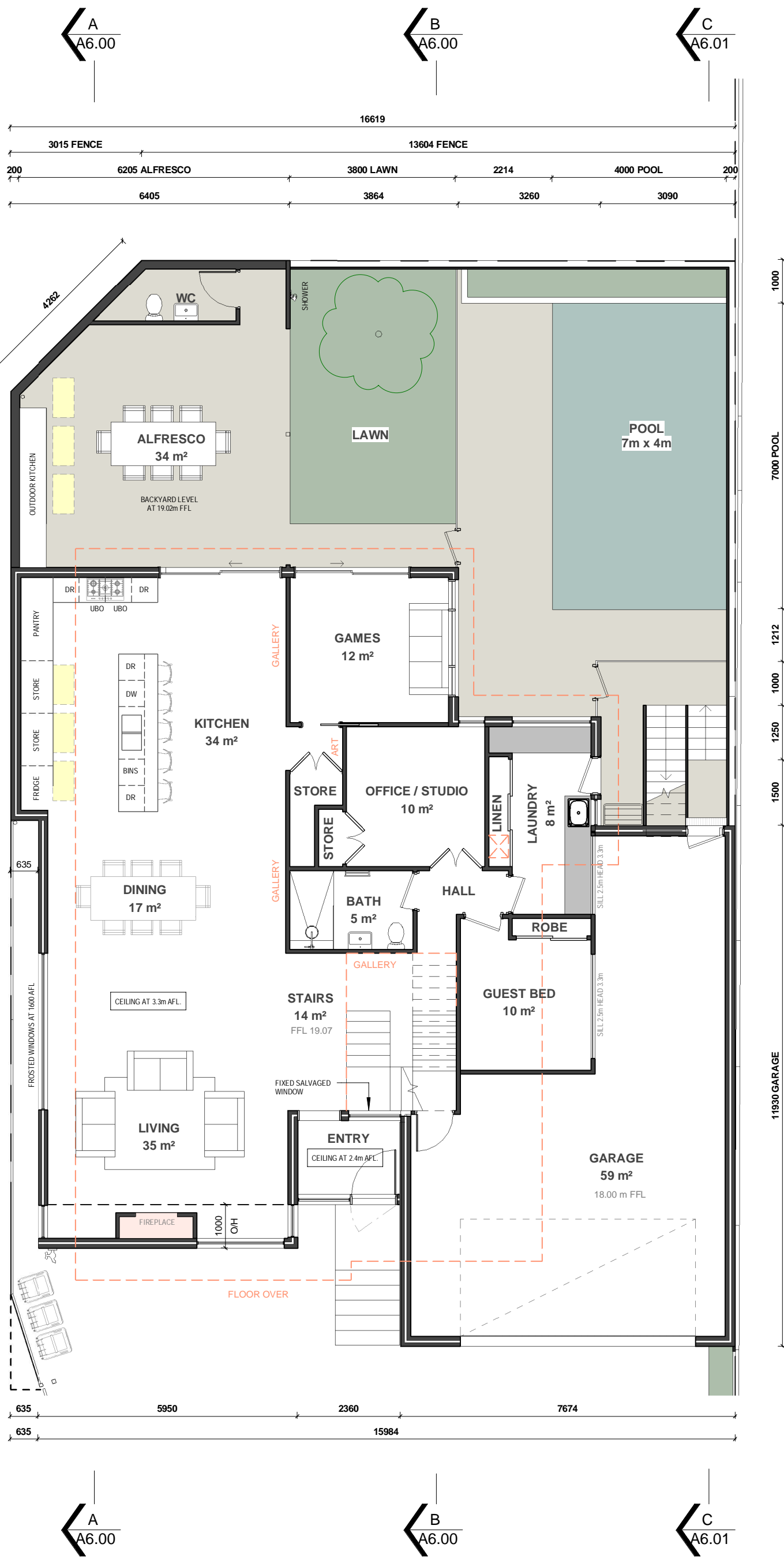
GROUND FLOOR PLAN - MODIFICATION
Scale 1 : 100

A ISSUED FOR DA 30 JUNE 21

REV	DESCRIPTION	DATE

A3	PROJECT: 29 RISELEY STREET, ARDROSS	DATE: MARCH 21	DRG No: A2.01
	DRAWING: GROUND FLOOR PLAN - EXISTING & MODIFICATION		





GROUND FLOOR PLAN

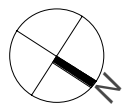
Scale 1 : 100

A ISSUED FOR DA 30 JUNE 21

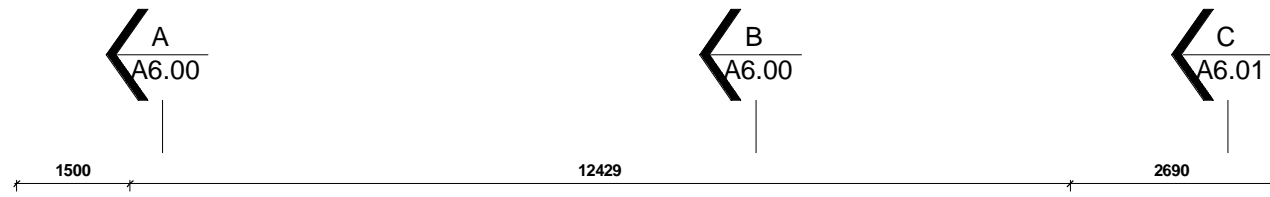
REV	DESCRIPTION	DATE
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PROJECT: 29 RISELEY STREET, ARDROSS
DRAWING: GROUND FLOOR PLAN - PROPOSED

DATE: MARCH 21 **DRG No:** A2.02



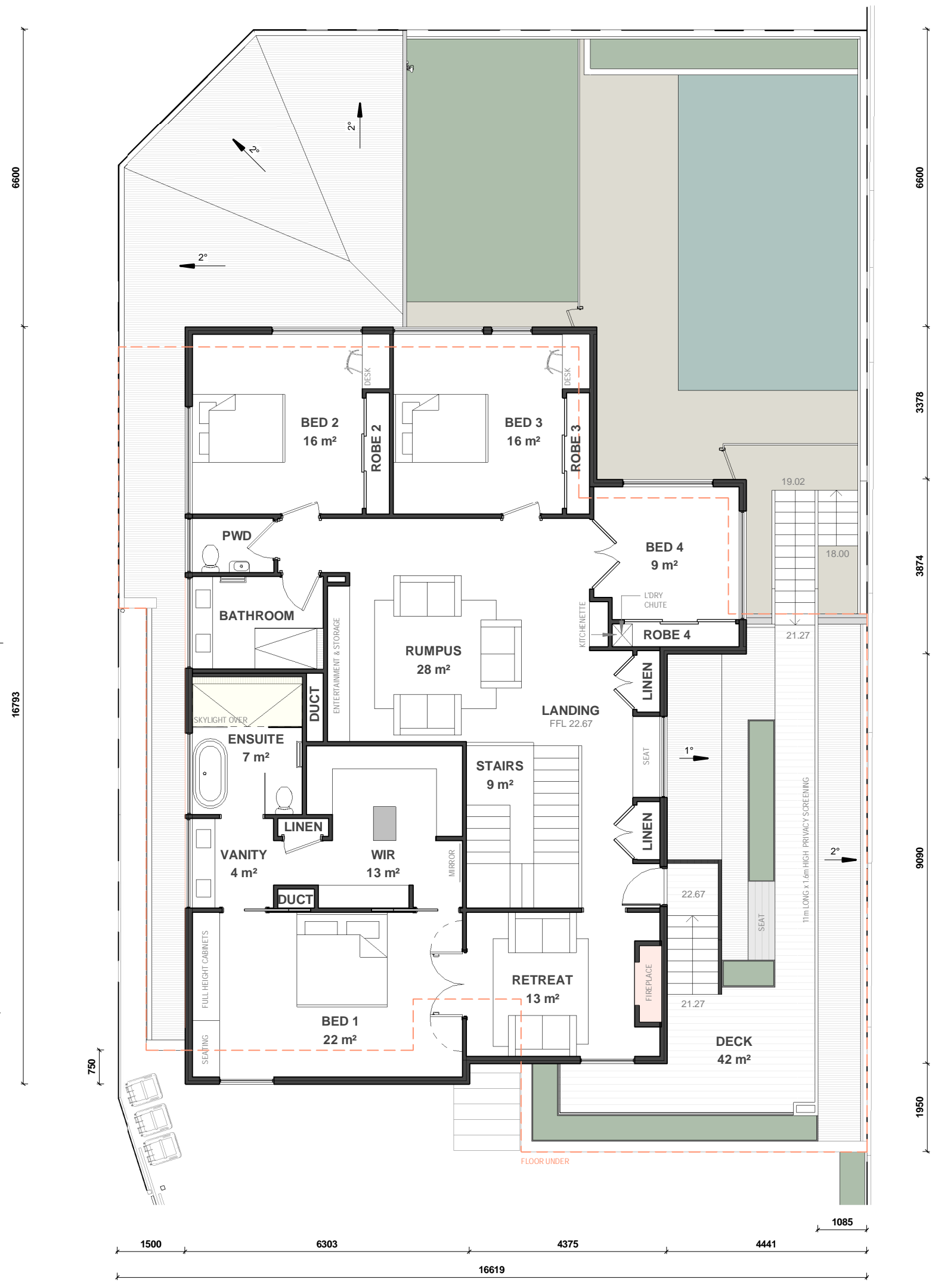
A3



D
A6.01

E
A6.02

F
A6.02



A
A6.00

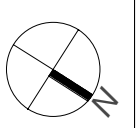
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A6.00

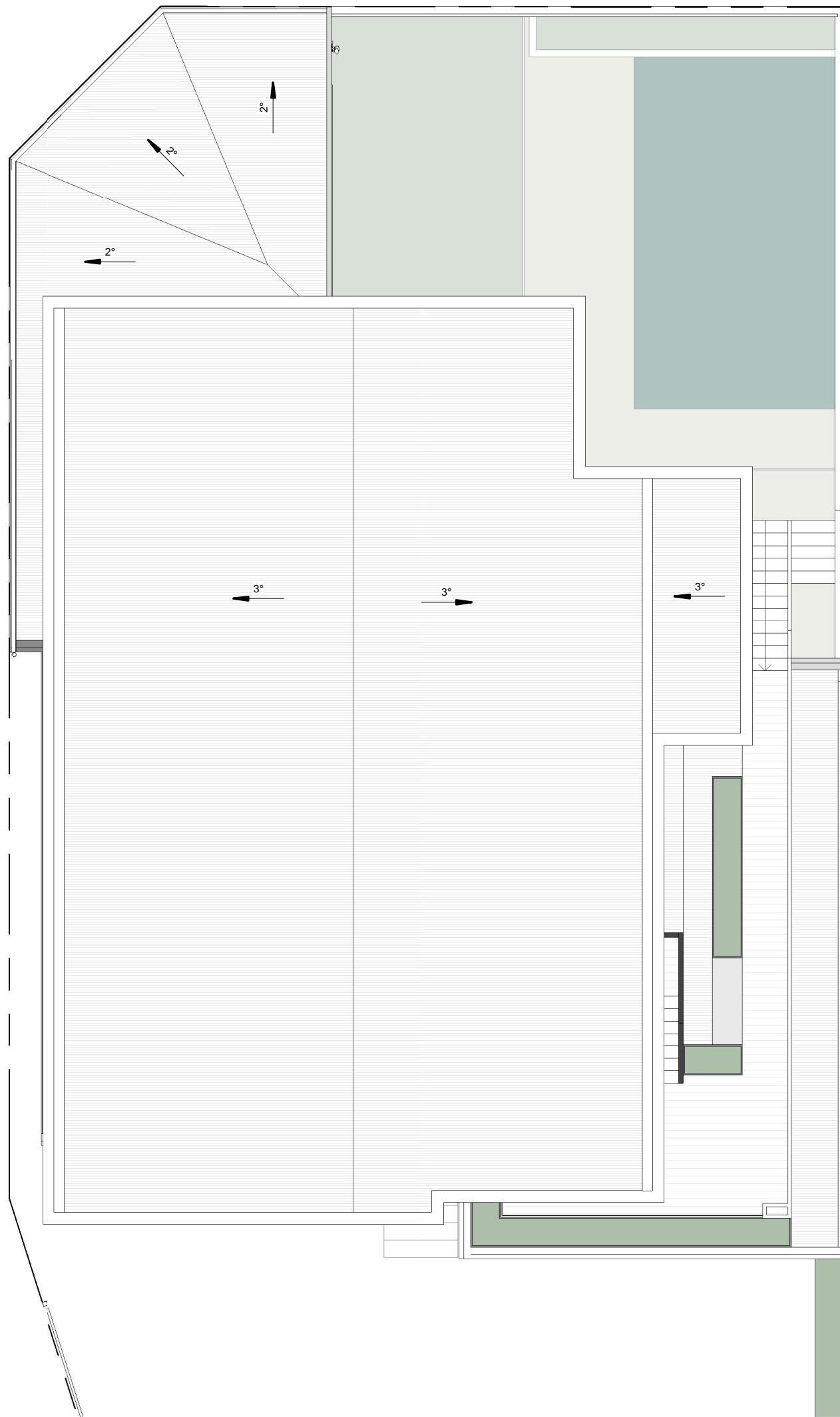
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A6.01

FIRST FLOOR PLAN
Scale 1:100

REV	DESCRIPTION	DATE
A	ISSUED FOR DA	30 JUNE 21

A3	PROJECT:	29 RISELEY STREET, ARDROSS	DATE:	MARCH 21	DRG No:	A3.00
	DRAWING:	FIRST FLOOR PLAN				





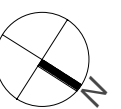
PROPOSED ROOF PLAN
Scale 1 : 100

ROOF SCHEDULE		
SHEETING TYPE	LOCATION	AREA
TRIMDEK COLORBOND	GARAGE	49 m ²
TRIMDEK COLORBOND	INFILL	6 m ²
TRIMDEK COLORBOND	INFILL & ALFRESCO	52 m ²
TRIMDEK COLORBOND	MAIN ROOF	207 m ²
TRIMDEK COLORBOND	MAIN ROOF	9 m ²
TOTAL:		323 m ²

A3

A ISSUED FOR DA 30 JUNE 21

REV	DESCRIPTION	DATE
PROJECT: 29 RISELEY STREET, ARDROSS		
DRAWING: ROOF PLAN		
DATE: MARCH 21		DRG No: A4.15

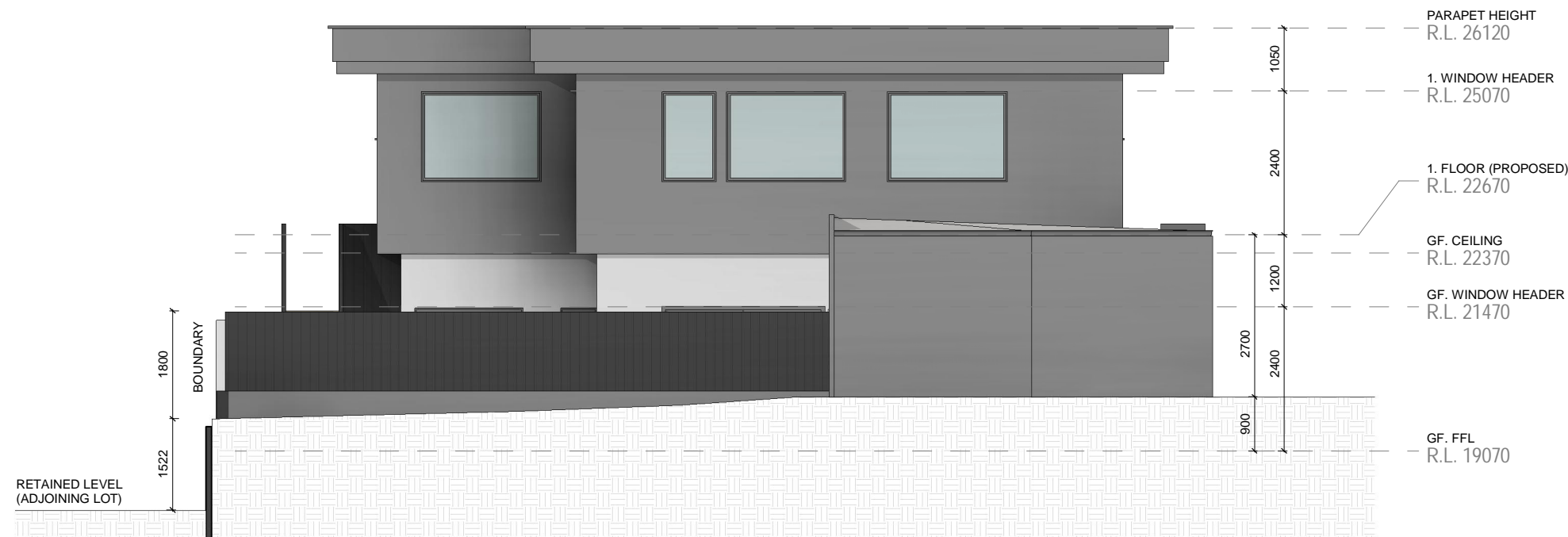




NORTH EAST (STREET) ELEVATION

Scale 1 : 100

NOTE: NO EXISTING STREET TREES SHOWN FOR CLARITY



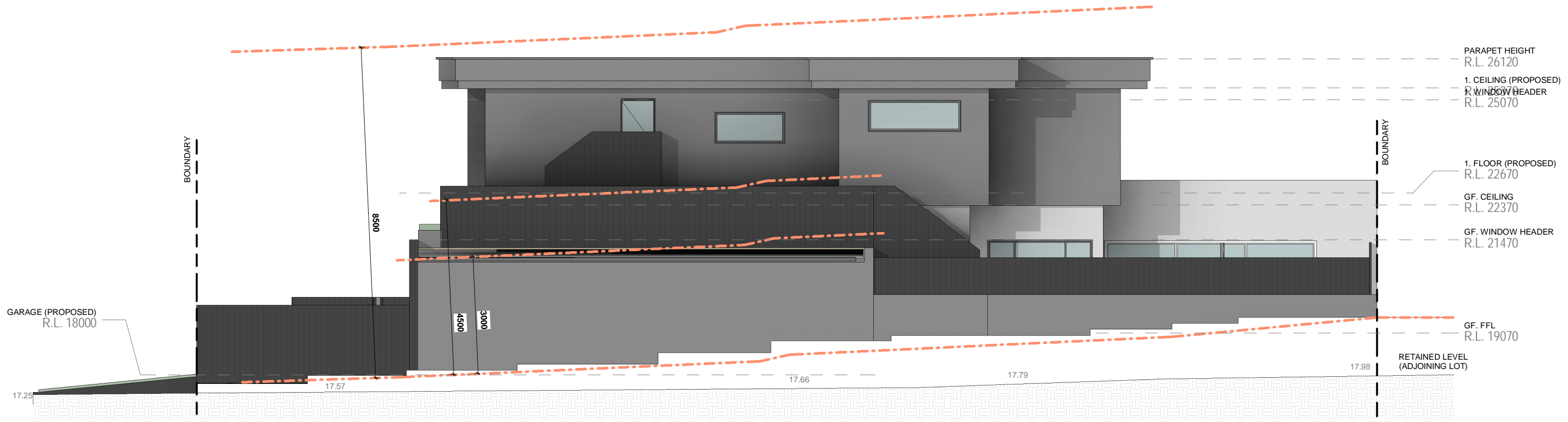
SOUTH WEST ELEVATION

Scale 1 : 100

A3

PROJECT:	29 RISELEY STREET, ARDROSS				
DRAWING:	NORTH- EAST (STREET) ELEVATION	DATE:	MARCH 21	DRG No:	A5.01

A ISSUED FOR DA		30 JUNE 21
REV	DESCRIPTION	DATE



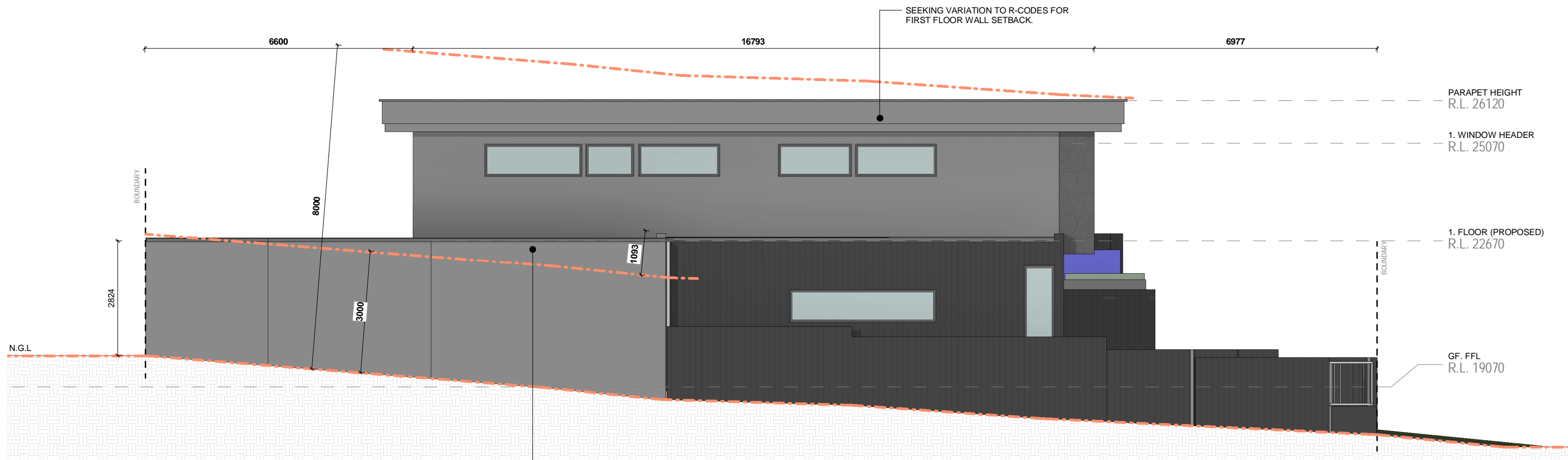
NORTH WEST ELEVATION

Scale 1 : 100

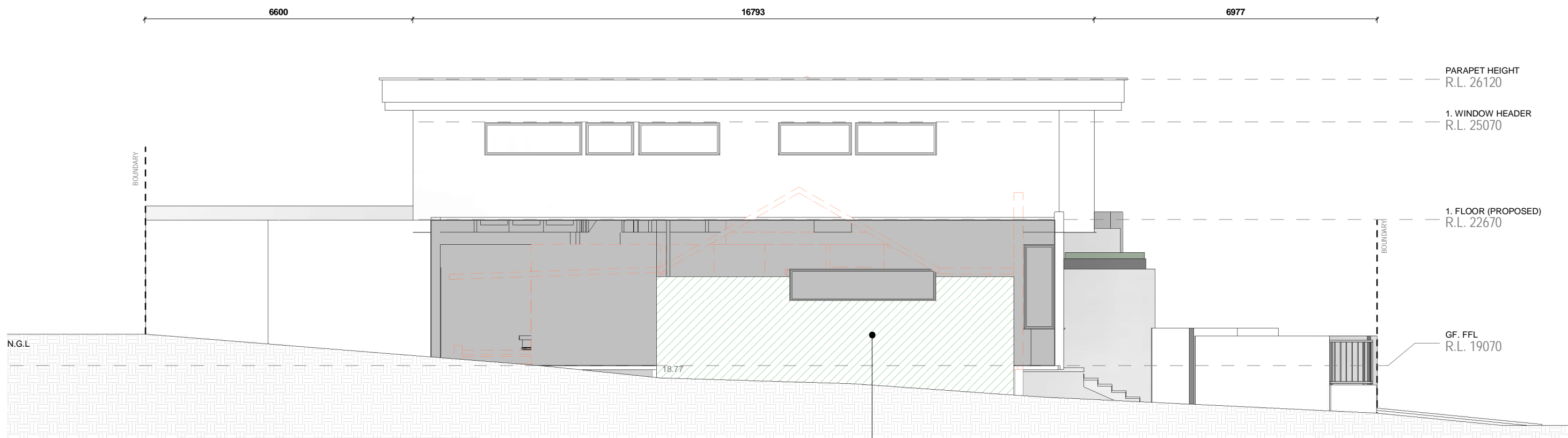
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PROJECT:	29 RISELEY STREET, ARDROSS			
DRAWING:	NORTH WEST ELEVATION		DATE:	MARCH 21
		DRG No:	A5.02	

A ISSUED FOR DA		30 JUNE 21
REV	DESCRIPTION	DATE



SOUTH EAST ELEVATION
Scale 1 : 100

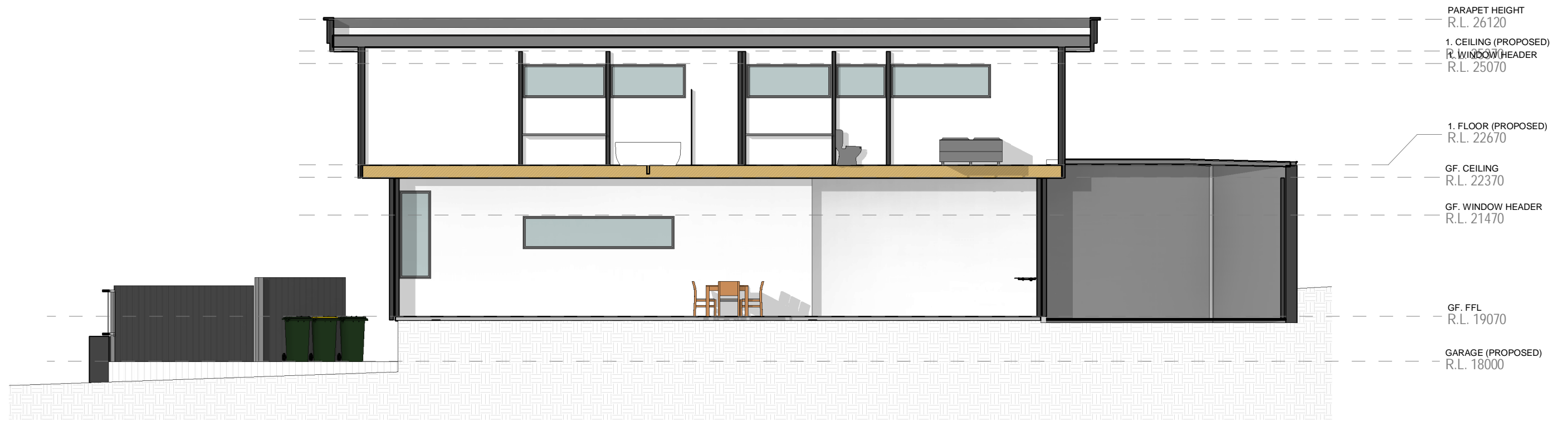


SOUTH EAST ELEVATION - MODIFICATIONS
Scale 1 : 100

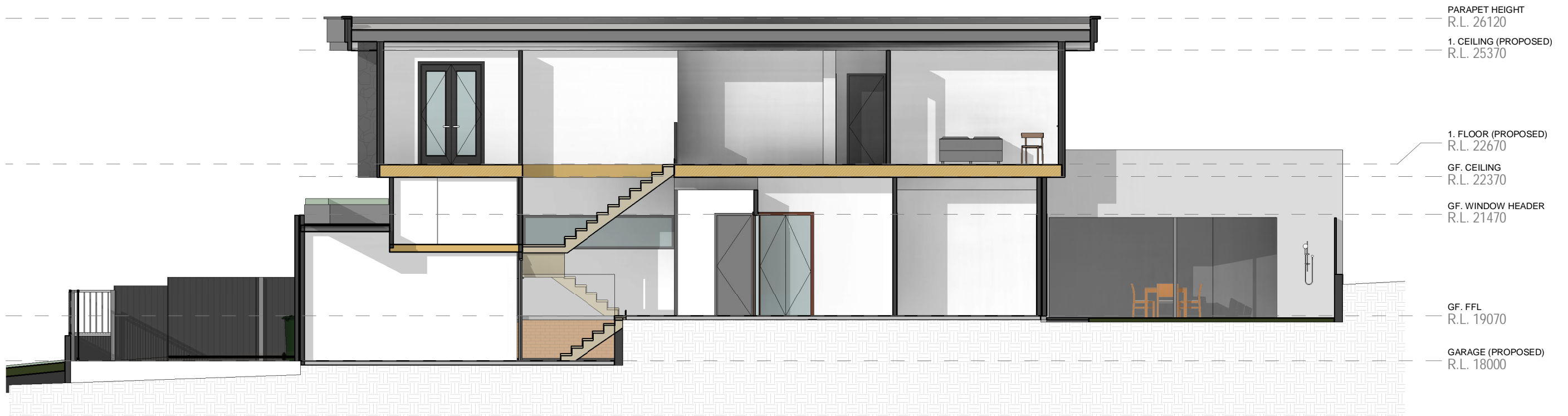
A3

PROJECT:	29 RISELEY STREET, ARDROSS
DRAWING:	SOUTH- EAST ELEVATION
DATE:	MARCH 21
DRG No:	A5.03

A	ISSUED FOR DA	30 JUNE 21
REV	DESCRIPTION	DATE



SECTION A
Scale 1 : 100

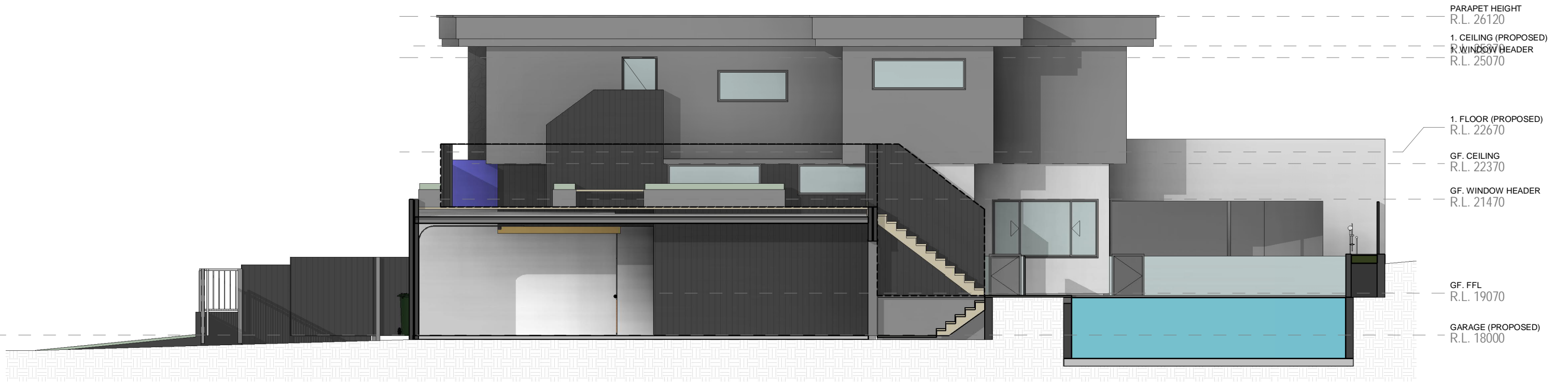


SECTION B
Scale 1 : 100

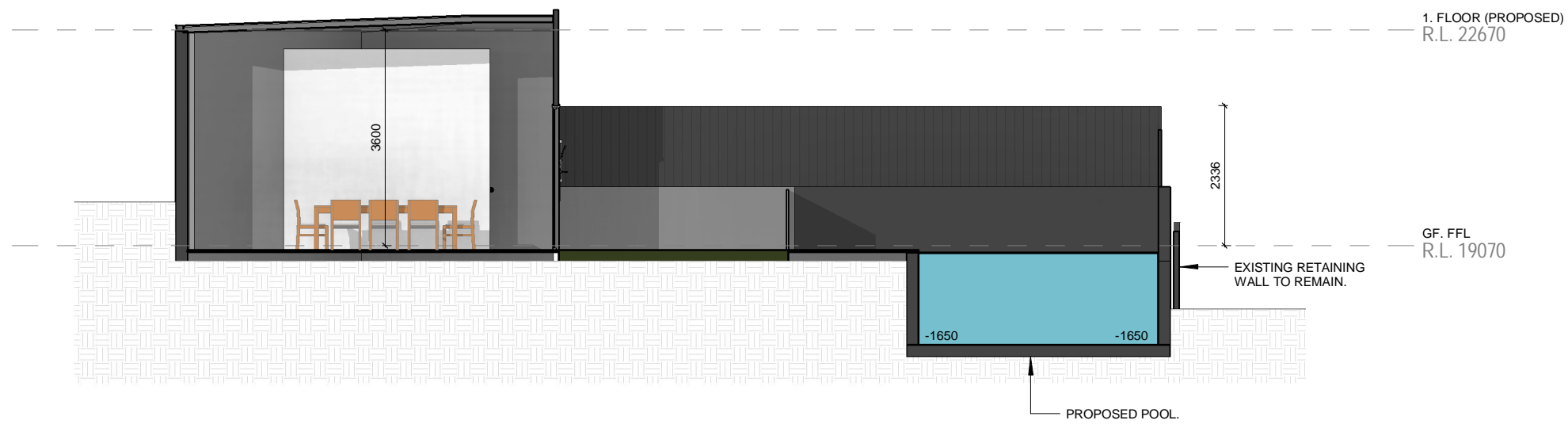
A3

PROJECT:	29 RISELEY STREET, ARDROSS			
DRAWING:	SECTIONS A & B			
DATE:	MARCH 21	DRG No:	A6.00	

A ISSUED FOR DA		30 JUNE 21
REV	DESCRIPTION	DATE



SECTION C
Scale 1 : 100



SECTION D
Scale 1 : 100

A3

PROJECT:	29 RISELEY STREET, ARDROSS			
DRAWING:	SECTIONS C & D		DATE:	MARCH 21
			DRG No:	A6.01

A ISSUED FOR DA		30 JUNE 21
REV	DESCRIPTION	DATE



SECTION E
Scale 1 : 100



SECTION F
Scale 1 : 100

A3

PROJECT:	29 RISELEY STREET, ARDROSS		
DRAWING:	SECTIONS E & F		
DATE:	MARCH 21	DRG No:	A6.02

A ISSUED FOR DA		30 JUNE 21
REV	DESCRIPTION	DATE



30 June 2021

Department of Planning
City of Melville

29 Riseley St, Ardross – Renovation / Extension Design Statement

Dear Planning Department,

This cover letter accompanies our development application for the proposed renovation / extension to the existing dwelling located at 29 Riseley St, Western Australia.

The following letter requests a variation to the following R-Codes:

Boundary Wall Height Variation:

Design Element	R-Code Table 2a	Proposed R-Code Variation	Justification of Variation
South-East Boundary Wall Height	3m average wall height	3.55m average wall height. Refer to drawings A2.02, A3.00 & A5.03.	<ul style="list-style-type: none">Proposed boundary wall is located along the existing driveway.Overshadow from Boundary wall does not impact on adjoining properties.

Boundary Wall Setback Variation:

Design Element	R-Code Table 2a	Proposed R-Code Variation	Justification of Variation
South-East First Floor Wall Setback	2.5m Setback for 8m high walls between 16 – 17m long.	1.5m Setback for walls approximately 8m height x 16.7m long. Refer to drawings A3.00, A4.15 & A5.03.	<ul style="list-style-type: none">Proposed First Floor wall is located along the existing driveway.Overshadow from roof does not impact on adjoining properties. Overshadow equates to 9.5% of adjoining lot.