

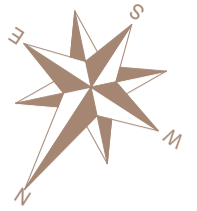
+	SEC Dome
⊕	Power Pole
⊞	Phone Pits
⊞	Water Conn.
⊞	Top Pillar/Post
⊞	Top Wall
⊞	Top Retaining
⊞	Top Fence

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LOT MISCLOSE
0.003 m
SOIL DESCRIPTION
Sand High Grass Cover
NOTE:
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

AREAS		
ID	Area	Perimeter
1st floor		
UPPER FLOOR	82.21	37.44
BALCONY 1	26.48	22.94
	108.69 m²	60.38 m
Ground floor		
GROUND FLOOR	198.12	70.60
ALFRESCO	17.31	17.54
BALCONY 2	9.25	13.58
	224.68 m²	101.72 m
Sub Floor		
GARAGE / STORE	43.58	26.76
UNDERCROFT / ENTRY	20.60	22.14
PORCH	3.12	7.38
	67.30 m²	56.28 m
	400.67 m²	218.38 m

(OPEN SPACE 54.4%)

Notes:
 * All paving by client after handover
 * Stormwater by client to builder's schedule

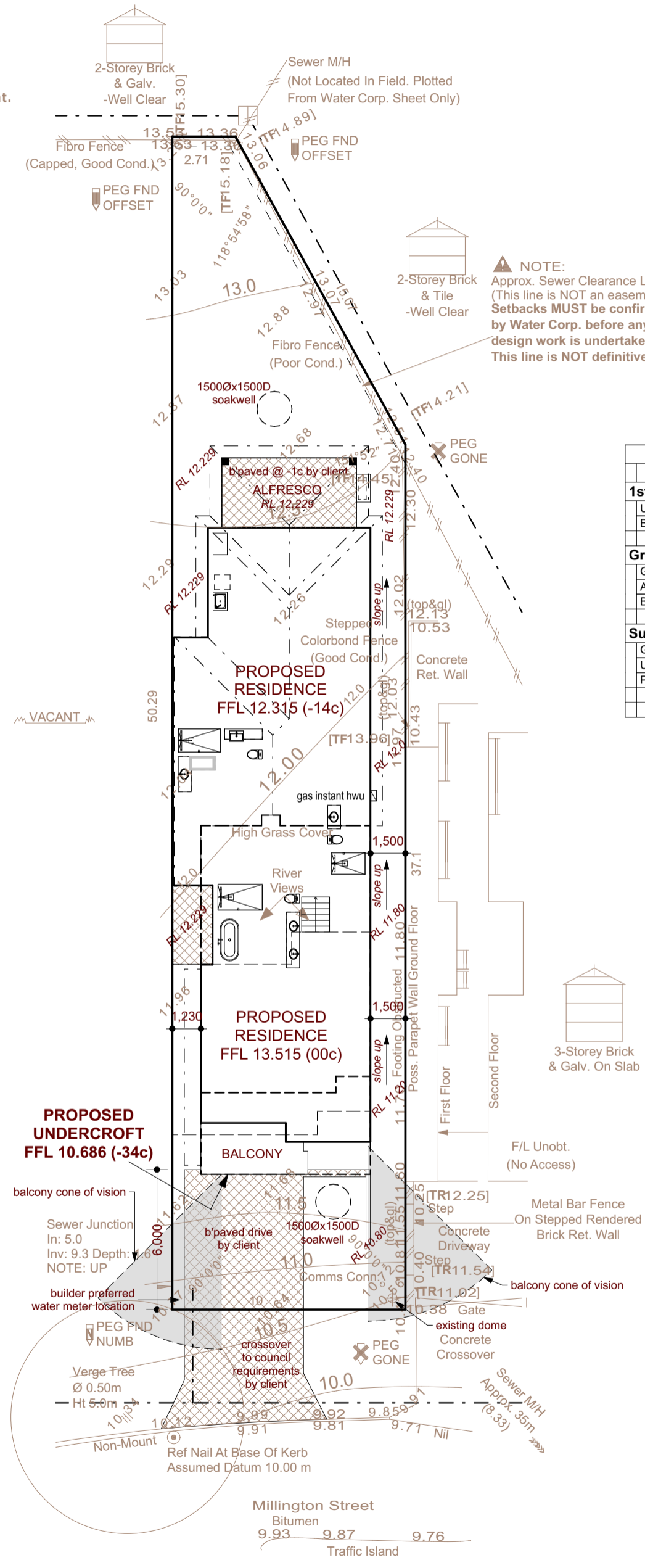
Site Classification:
 (refer Eng. details)
 N1 Wind classification
 TC2.5 Terrain Category
 FS Shielding
 T0 Topography
 R3 Corrosion Classification

General Notes:
 * Stormwater disposal to council requirements
 * Sand pad level may vary 100mm either way due to on site restrictions

Stepped footing Note:
 Refer to Elevations for more stepped footing info.

Paver Note:
 A header course is to be provided on the boundary line in all instances where the driveway paving is angled to the road alignment

B.A.L Designation:
 Prone N/A

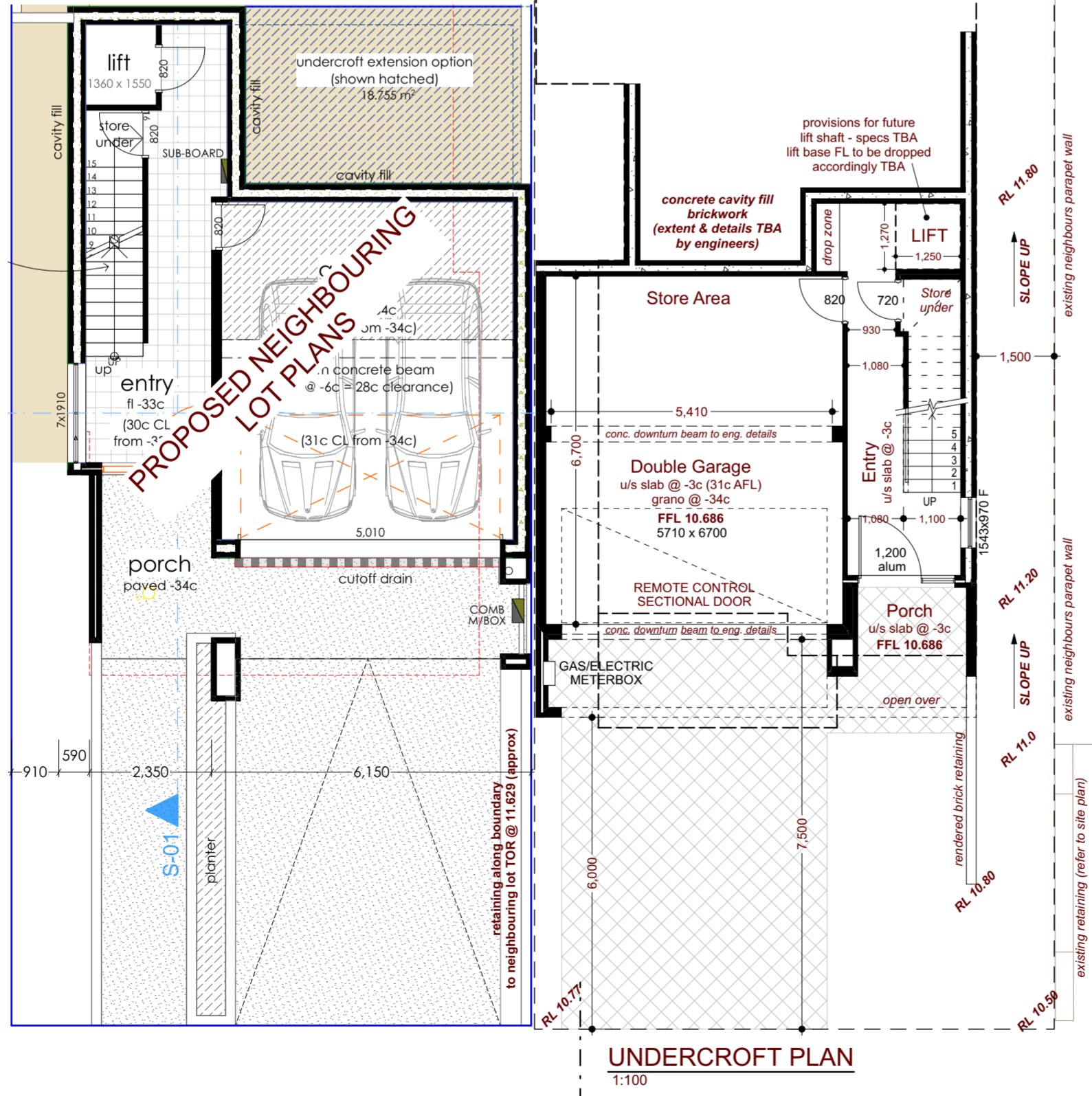


SITE PLAN
 1:200

DANMAR HOMES

Registered Builder No. 9032 ABN 38 059 497 773
 Level 1/470 Scarborough Beach Road
 Osborne Park WA 6017
 P.O.Box 1814, Osborne Park DC WA 6916
 Tel (08) 9445 7833 Fax (08) 9445 7933
 www.danmarhomes.com

J/No: 10396 Date: 23/06/21 Drawn: BHD



UNDERCROFT PLAN
1:100

ID	Area	Perimeter
1st floor		
UPPER FLOOR	82.21	37.44
BALCONY 1	26.48	22.94
	108.69 m²	60.38 m
Ground floor		
GROUND FLOOR	198.12	70.60
ALFRESCO	17.31	17.54
BALCONY 2	9.25	13.58
	224.68 m²	101.72 m
Sub Floor		
GARAGE / STORE	43.58	26.76
UNDERCROFT / ENTRY	20.60	22.14
PORCH	3.12	7.38
	67.30 m²	56.28 m
	400.67 m²	218.38 m

This plan forms part of the documents as noted below	
Contract:	<input checked="" type="checkbox"/> Variations
Final Plans:	<input type="checkbox"/> N1 Wind Classification
Client:	TCC2.5 Terrain Category
Date:	FS Shading
Builder:	T0 Topography
	RA Corrosion Classification
	B.A.L. Designation:
	Prone NA
	Note: Dimensions on plan do not allow for plaster/flooring finish.

House type: Special
 Proposed residence
 Client: Johnston
 Lot No: 89 (#2B)
 Millington
 ARDROSS

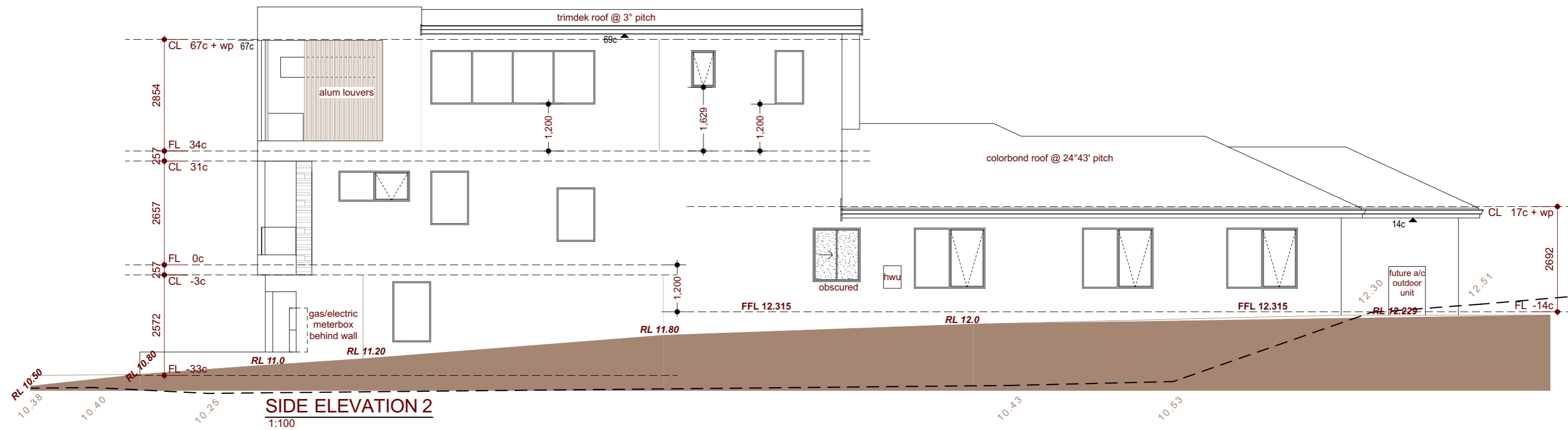
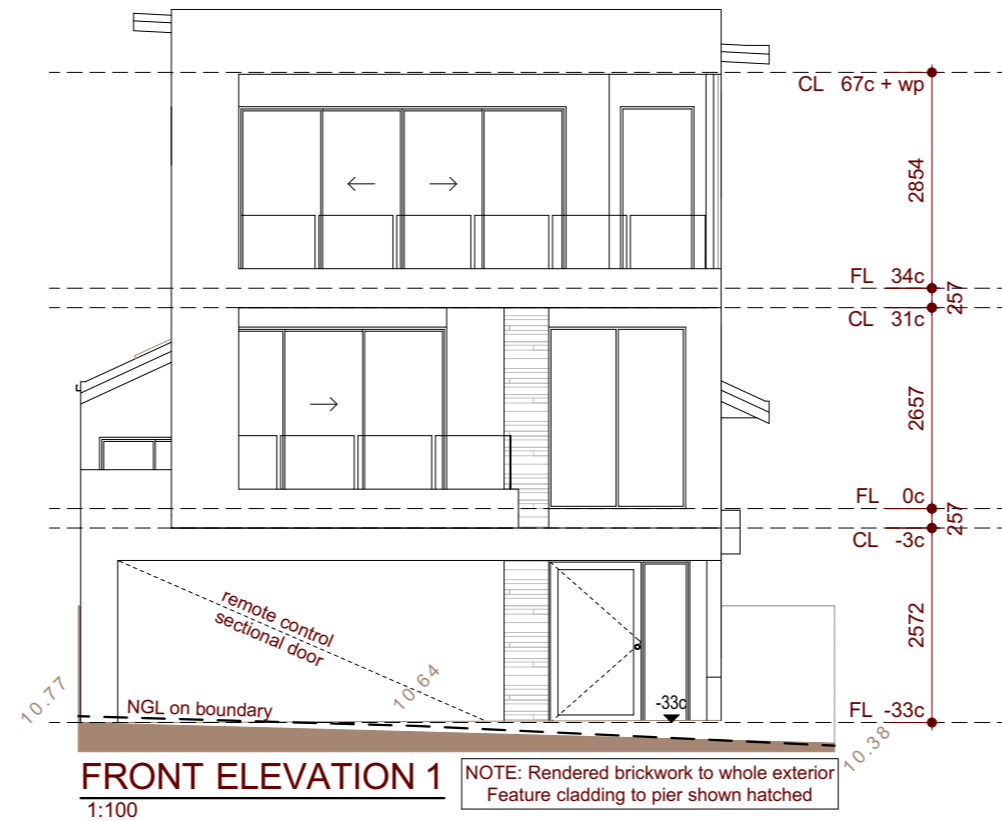
Scale as shown on A2

DANMAR HOMES

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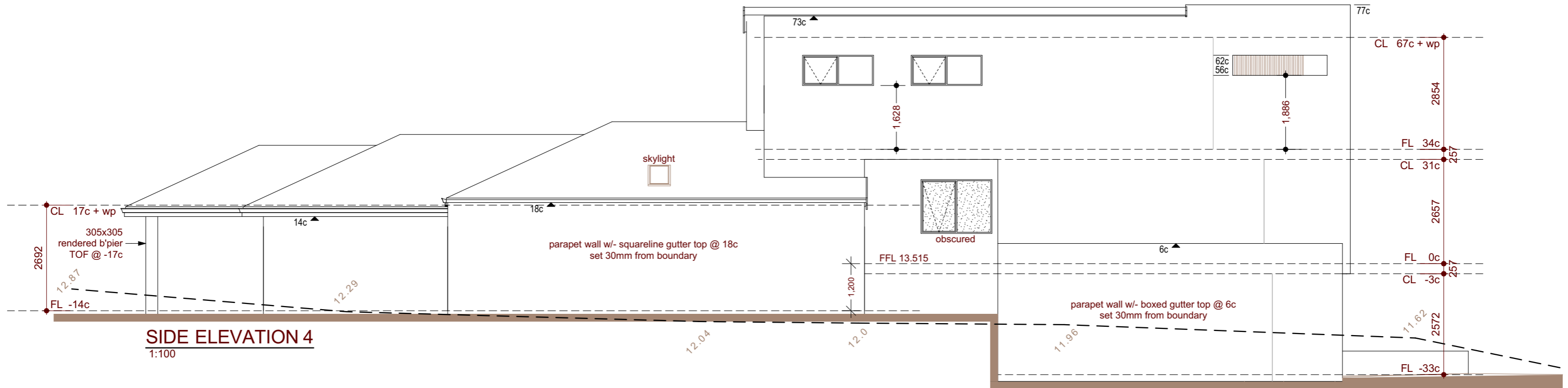
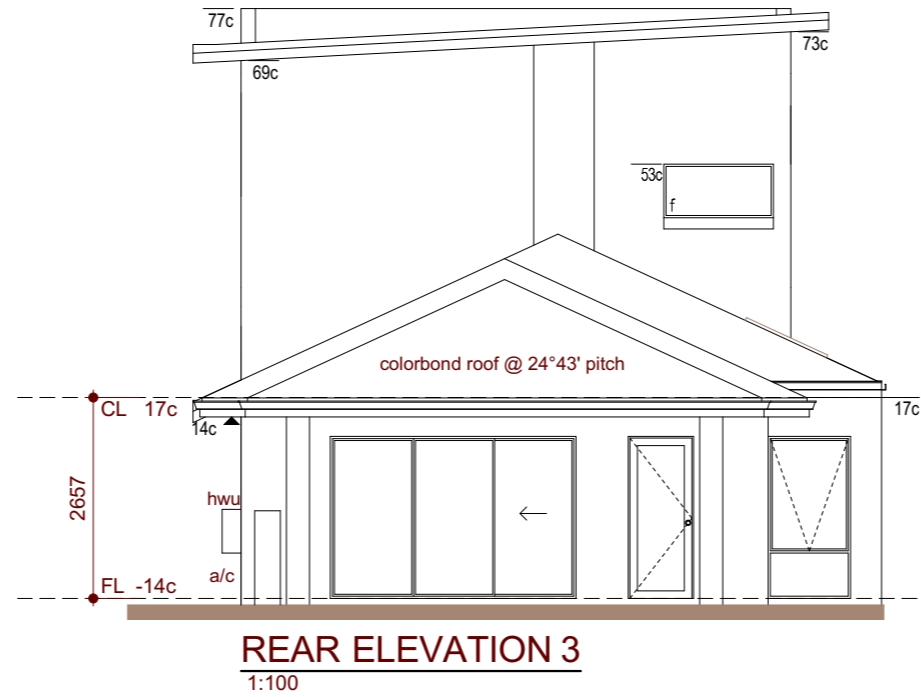
Job No: 10396	Current Date: 23/06/21
Drawn: BHD	Date: 23/06/21
Checked: #Check	Builder: © copyright

Note: Upper floor bedroom windows to be protected in accordance with Part 3.9.2.5



<p>Scale as shown on A3</p> <p>DANMAR HOMES</p> <p>Registered Builder No. 9032 ABN 38 059 497 773 Level 1/470 Scarborough Beach Road Osborne Park WA 6017 P.O.Box 1814, Osborne Park DC WA 6916 Tel (08) 9445 7833 Fax (08) 9445 7933 www.danmarhomes.com</p>	<p>House type : Special</p> <p>Proposed residence</p> <p>Client: Johnston</p> <p>Lot No: 89 (#2B) Millington ARDROSS</p>	<p>This plan forms part of the documents as noted below</p> <p>Contract- <input checked="" type="checkbox"/></p> <p>Final Plans- <input type="checkbox"/></p> <p>Client/s:</p> <p>Date:</p> <p>Builder:</p>	<p>Site Classification: (refer Eng. details) N1 Wind classification TC2.5 Terrain Category FS Shielding T0 Topography R3 Corrosion Classification</p> <p>B.A.L Designation: Prone N/A</p> <p>Note: Dimensions on plan do not allow for plastering/flooring finish.</p>	<p>Variations.</p> <table border="1"> <thead> <tr> <th>V/O No.</th> <th>Date/Dwn.</th> <th>Chkd.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	V/O No.	Date/Dwn.	Chkd.																<p>Sheet 3 of 6</p> <p>Job No: 10396</p> <p>Current Date: 23/06/21</p> <table border="1"> <thead> <tr> <th>Drawn</th> <th>Date</th> <th>Chkd.</th> </tr> </thead> <tbody> <tr> <td>BHD</td> <td>23/06/21</td> <td>#Check</td> </tr> </tbody> </table> <p>© copyright</p>	Drawn	Date	Chkd.	BHD	23/06/21	#Check
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LEGEND	Symbol	Description
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	⊖	Power Pole
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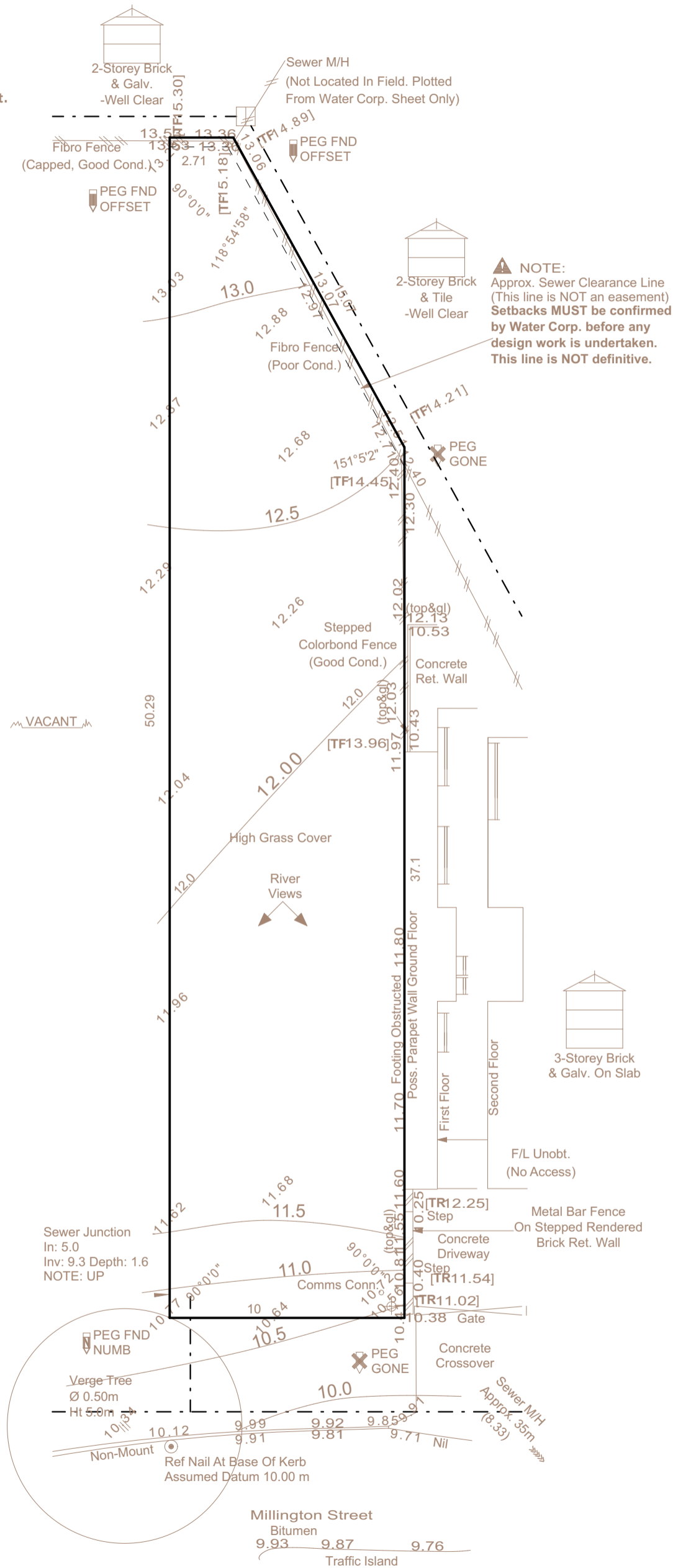
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LOT MISCLOSE	0.003 m
SOIL DESCRIPTION	Sand High Grass Cover
NOTE:	TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.



EXISTING SITE PLAN
1:200



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