

16 June 2021

Chief Executive Officer
City of Melville
Locked Bag 1
BOORAGOON WA 6954

Attention: Mr Peter Prendergast - Manager, Statutory Planning

Dear Peter

**APPLICATION FOR DEVELOPMENT APPROVAL
PROPOSED NEW SINGLE DWELLING (TWO STOREY)
LOT 3 (NO.85) KINTAIL ROAD, APPLECROSS
CITY OF MELVILLE**

We act on behalf of the Timeless Home Designs and the landowners as their consultant town planners and refer to the Application for Development Approval lodged with the City of Melville seeking the City's approval for the construction of a new single dwelling on Lot 3 (No.85) Kintail Road, Applecross.

In assessing the application, we request that the City of Melville give due consideration to the following information prepared in support of the application:

PROPERTY DETAILS & STATUTORY REQUIREMENTS

The subject land is currently being created as part of the subdivision of original Lot 888, which comprised an area of 1,017m² (see Figure 1). This application relates to Lot 3.

It is also noted that plans have been prepared for the construction of a new dwelling on adjoining Lot 2, which will comprise a parapet wall along its eastern boundary (i.e. abutting Lot 3). In addition, is noted that the future dwelling on Lot 2 will comprise two (2) storey and are seeking variations to lot boundary setbacks and various other development standards.

Lot 3 is rectangular in shape, comprises an area of 253m² and contains a fall in natural ground levels (NGL) down the site from approximately 8.0 metres along the land's front boundary to 7.22 metres along the land's rear boundary, which equates to a fall in NGL of 780mm (see site feature survey). In addition, Lot 3 comprises a width of 9.82 metres.

Lot 3 is currently vacant/unused and does not contain any physical improvements or vegetation as a result of the subdivision works. It is significant to note that the verge area abutting the subject land does not comprise a street tree (see Figure 2 – Aerial Site Plan).

The subject land is classified 'Residential' zone under the City of Melville's current operative Local Planning Scheme No.6 (LPS No.6) with a residential density coding of R40. Under the terms of LPS No.6 the development and use of any land classified 'Residential' zone for 'Single House' purposes is listed as a permitted ("P") use.

The subject land has not been identified by the Department of Fire and Emergency Services (DFES) as being located within a bushfire prone area.

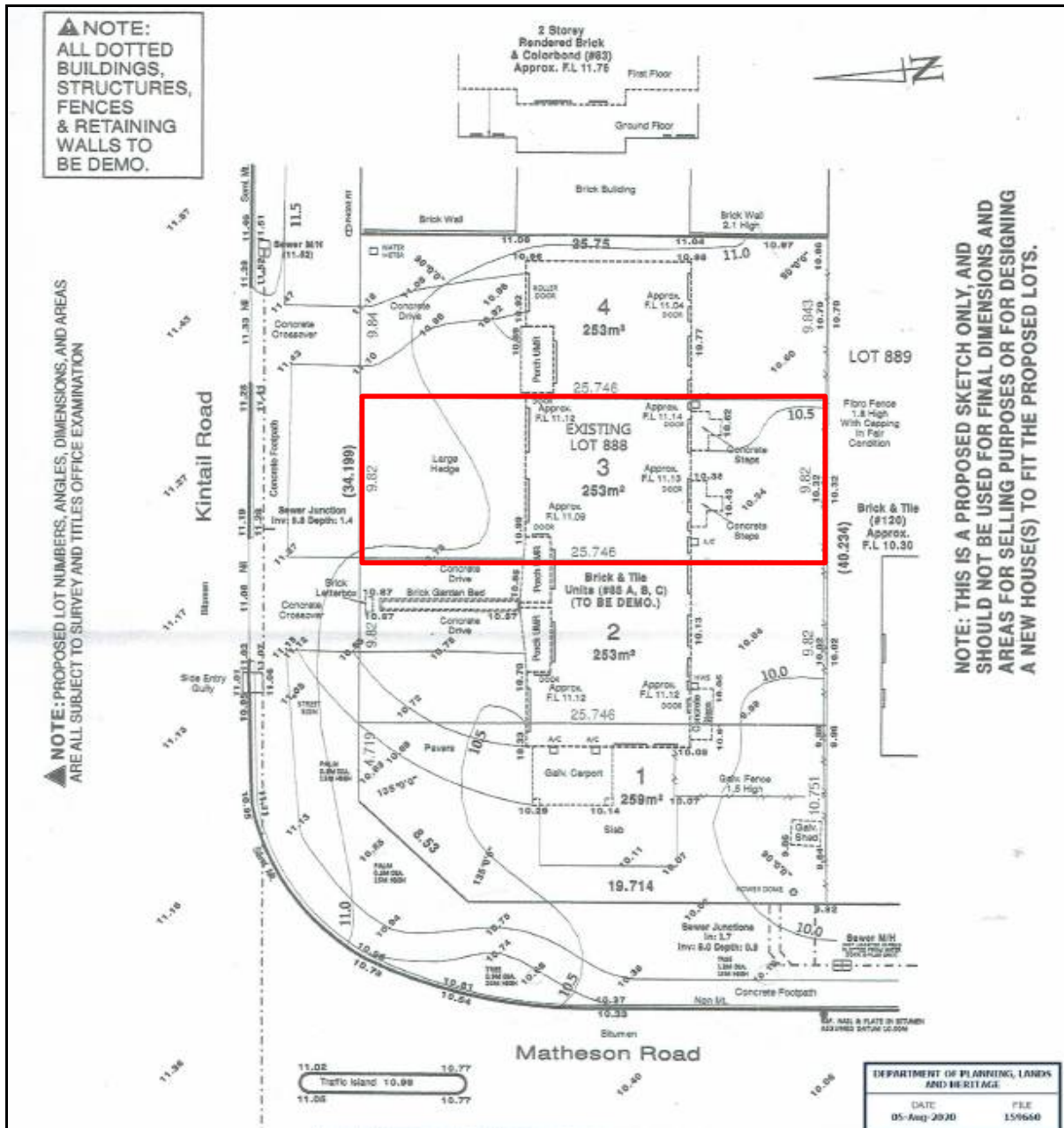


Figure 1 – Subdivision layout.

DEVELOPEMNT STANDARDS

The design of the proposed new dwelling on Lot 3 has been formulated with due regard for the relevant 'deemed to comply requirements' of the Residential Design Codes Volume 1 (R-Codes) and the City of Melville's current operative Local Planning Scheme No.6 (LPS No.6) including any relevant Local Planning Policies with the exception of the following:

- a) R-Code Element 5.1.2 C2.1 ('Street setback');
- b) R-Code Element 5.1.3 C3.1 ('Lot boundary setback');
- c) R-Codes Element 5.1.3 C3.2 ('Buildings on boundary');
- d) R-Code Element 5.1.4 C4 ('Open space');

Planning & Development Consultants

Address: 3/1 Mulgool Road, Malaga WA 6090

Tel: 9249 2158 Mb: 0407384140 Email: carlof@people.net.au

CVF Nominees Pty Ltd ABN: 86 110 067 395

- e) R-Code Element 5.3.7 C7.3 ('Site works'); and
- f) R-Code Element 5.3.8 C8 ('Retaining walls').



Figure 2 – Aerial Site Plan

The following table provides justification for those aspects of the new dwelling on the subject land seeking a variation to the 'deemed to comply requirements' of the relevant planning framework.

Table 1 – Written Justification

R-CODE DESIGN ELEMENT & 'DESIGN PRINCIPLES'	PROPOSED VARIATION TO 'DEEMED TO COMPLY REQUIREMENTS'	JUSTIFICATION
<p>R-Code Element 5.1.2 C2.1 – 'Street setback'</p> <p><i>P2.1 Buildings set back from street boundaries an appropriate distance to ensure they:</i></p> <ul style="list-style-type: none"> • contribute to, and are consistent with, an 	<p>The application proposes that the upper floor of the new dwelling on Lot 3 will comprise an average front setback of 3.2 metres in lieu of 4 metres required by the 'deemed to comply requirements' of Element 5.1.2 C2.1 of the R-Codes.</p>	<ol style="list-style-type: none"> 1. The proposed primary street setback variation for the upper floor for the new dwelling will not result in a detrimental impact on the local streetscape or the amenity of any adjoining properties. It should be noted that the minimum front setback for the upper floor and the front setback for the ground floor of the dwelling complies (both average and minimum setbacks) within the R-Codes. 2. The verge area abutting the subject land is approximately 6.4 metres wide, which will assist with providing an increased setback between the new dwelling and the road pavement. Furthermore, this will allow for the front setback and verge areas to be comprehensively landscaped to soften any impact the dwelling may have on the local streetscape. This includes the planting of a mature tree within the front setback to increase tree canopy

established streetscape;

- *provide adequate privacy and open space for dwellings;*
- *accommodate site planning requirements such as parking, landscape and utilities; and*
- *allow safety clearances for easements for essential service corridors.*

coverage and further enhance the dwelling when viewed from the public realm.

3. The proposed new dwelling has been designed to comprise a varying front setback, the inclusion of a major opening, the use of feature panel work and concealing the garage door (via the use of a feature door) to assist with providing an interesting, articulated facade and improve passive surveillance the street.
4. In addition, the dwelling has been designed to cantilever the upper floor forward of the lower level to provide further articulation of the dwelling (see Figure 3).
5. The reduced front setback for the proposed new dwelling will not interfere with the outlook from any existing and/or future dwellings on the adjoining properties over the street.
6. The design of the new dwelling makes effective use of all available space and provides for the creation of adequate internal and external living areas which will benefit the future occupants of the dwelling.
7. The proposed new dwelling will comprise sufficient space to accommodate any required easements within the front street setback area required by any relevant servicing authorities.

Having regard for the above it is contended that the proposed variation to the average front setback for the upper floor of the new dwelling on Lot 3 satisfies the 'design principles criteria' of Element 5.1.2 of the R-Codes, will not have a detrimental impact on the streetscape or the adjoining properties and may therefore be approved by the City.



Figure 3 – the [proposed new dwelling will comprise feature panel work and articulation along the front façade.

<p>R-Code Element 5.1.3 C3.1 – ‘Lot boundary setback’</p> <p><i>P3.1 Buildings set back from lot boundaries or adjacent buildings on the same lot so as to:</i></p> <ul style="list-style-type: none"> • reduce impacts of building bulk on adjoining properties; • provide adequate direct sun and ventilation to the building and open spaces on the site and adjoining properties; and • minimise the extent of overlooking and resultant loss of privacy on adjoining properties. 	<p>The application proposes the following setback variations contrary to the 'deemed to comply requirements' of Element 5.1.3 C3.1 of the R-Codes:</p> <ol style="list-style-type: none"> The bedroom 4 wall (ground floor) will comprise a minimum setback of 1.056 metres from the southern rear boundary in lieu of 1.5 metres; The sitting room recess wall (upper floor) will comprise a minimum setback of 1.73 metre from the western side boundary in lieu of 2.3 metres; The bedroom 2 & 3 wall (upper floor) will comprise a minimum setback of 1.03 metres from the western side boundary in lieu of 1.2 metres; and The angled sitting room wall (upper floor) will comprise a setback ranging from 1.3 metres to 4 metres from the eastern side boundary in lieu of 2.5 metres. 	<ol style="list-style-type: none"> 1. A majority of the setback variations can be attributed to the narrow nature of the subject land (i.e. 9.82 metres) which has resulted in the need for some variations to achieve good/usable internal living spaces for the dwelling. 2. The variations to the boundary setback requirements will not have an adverse impact on the adjoining properties or the streetscape. 3. The proposed new dwelling on Lot 3 has been designed to comprise varying setbacks from the side and rear boundaries to provide some articulation and visual interest to the walls when viewed from the adjoining properties. 4. The proposed new dwelling on Lot 3 meets the 'deemed to comply requirements' of Element 5.4.2 C2.1 (i.e. 'Solar access for adjoining sites') of the R-Codes and will not cast a shadow over the adjoining properties at 12 noon on 21 June (i.e. winter solstice). 5. The proposed new dwelling meets the 'deemed to comply requirements' of Element 5.4.1 C1.1 ('Visual privacy') on the R-Codes. 6. Those portions of the new dwelling on Lot 3 comprising reduced setbacks to the eastern and western side boundaries will abut vacant/unused lots that have been created as part of the subdivision of the original landholdings (see Figure 2 – Aerial Site Plan). It is noted that the extent of variations to the side boundaries are minor and will not result in any adverse impacts or restrict any future development on the adjoining properties. 7. That portion of the new dwelling comprising reduced setbacks to the southern rear boundary will abut the side setback area and existing structure associated with an existing grouped dwelling on adjoining No.120 Matheson Road (see Figure 2 – Aerial Site Plan). Given the minor nature of the setback variation from the rear boundary, it is contended that the proposed new dwelling on Lot 3 will not have an adverse impact on the adjoining property.' 8. The proposed new dwelling has been designed to comprise a major opening along the front façade to assist with providing for improved passive surveillance over Kintail Road. <p>Having regard for the above it is contended that those portions of the new dwelling on Lot 3 comprising reduced setbacks from the side and rear boundaries satisfies the 'design principles criteria' of Element 5.1.3 of the R-Codes, will not have a negative impact on the adjoining properties or the streetscape and may therefore be approved by the City.</p>
<p>5.1.3 C3.2 & C3.3 - Lot boundary setback (building on boundary)</p> <p>P3.2 Buildings built up to boundaries (other than the street boundary) where this:</p> <ul style="list-style-type: none"> • makes more effective use of space for enhanced privacy for the occupant/s or outdoor living areas; 	<p>The application proposes that the following portions of the new dwelling on Lot 3 to be built up to the western side boundary do not meet the 'deemed to comply requirements' of Element 5.1.3 C3.2 of the R-Codes:</p> <ol style="list-style-type: none"> The average wall height will be 3.5 metres in lieu of 3.0 metres; The maximum wall height will be 3.7 metres in lieu of 3.5 metres; and 	<ol style="list-style-type: none"> 1. The proposed variation to the average and maximum wall height (i.e. 500mm max) is considered to be minor. In addition, the parapet wall for the garage of the new dwelling on Lot 3 will coincide with the garage parapet wall associated with the proposed dwelling on adjoining Lot 2. Given this, it is contended that the parapet wall for the new dwelling on Lot 3 will not have an adverse impact on the adjoining property or the streetscape in terms of bulk and scale. 2. The extent of parapet wall for the new dwelling along the land's western boundary can be attributed to the narrow nature of the subject land (i.e. 9.82 metres). This provides a constraint to any development on the land. 3. The proposed new dwelling on Lot 3 meets the 'deemed to comply requirements' of Element 5.4.2 C2.1 (i.e. 'Solar access

<ul style="list-style-type: none"> • does not compromise the design principle contained in clause 5.1.3 P3.1; • does not have any adverse impact on the amenity of the adjoining property; • ensures direct sun to major openings to habitable rooms and outdoor living areas for adjoining properties is not restricted; and • positively contributes to the prevailing development context and streetscape. 	<p>iii) The overall length of the wall will be 15.88 metres in lieu of 14.5 metres.</p>	<p>for adjoining sites') of the R-Codes. In addition, the proposed dwelling on Lot 3 will not cast a shadow over the adjoining western property at 12 noon on 21 June (i.e. winter solstice).</p> <ol style="list-style-type: none"> 4. The design of the proposed new dwelling provides for the effective use of all available space and the creation of adequate internal and external living areas which will benefit the future occupants. 5. Those portions of the proposed new dwelling to be built up to the western side boundary will provide improved privacy to the indoor habitable spaces and enhance the overall amenity for the future occupants. In fact, the proposed new dwelling on Lot 3 meets the 'deemed to comply requirements' of Element 5.4.1 C1.1 ('Visual privacy') on the R-Codes. 6. Those portions of the new dwelling to be built up to the western side boundary will abut a vacant/unused lot (see Figure 2 – Aerial Site Plan). Notwithstanding this and following a review of the design layout of the future dwelling on adjoining Lot 2, it is contended that the proposed parapet walls on Lot 3 will not have an adverse impact on the future dwelling on Lot 2. In fact a portion of the parapet wall for the dwelling on Lot 3 (i.e. garage) will coincide with the parapet wall for the garage of the future dwelling on Lot 2. <p>Having regard for the above it is contended those portions of the new dwelling on the subject land proposed to be built up to the western side boundary satisfies the 'design principles criteria' of Element 5.1.3 of the R-Codes, will not have an adverse impact on the adjoining properties or the local streetscape and may therefore be approved by the City.</p>
<p>R-Code Element 5.1.4 C4 – 'Open space'</p> <p><i>P4 Development incorporates suitable open space for its contexts to:</i></p> <ul style="list-style-type: none"> • reflect the existing and/or desired streetscape character or as outlined under the local planning framework; • provide access to natural sunlight for the dwelling; • reduce building bulk on the site, consistent with the expectations of the applicable density code and/or as outlined in the local planning framework; • provide an attractive setting for the buildings, 	<p>The application proposes that the new dwelling on Lot 3 will comprise 40.8% (103.21m²) open space in lieu of 45% (113.85m²) required by the 'deemed to comply requirements' of Element 5.1.4 C4 of the R-Codes.</p>	<ol style="list-style-type: none"> 1. The proposed variation to the open space requirements for the new dwelling will not have an adverse impact on the local streetscape or the adjoining properties in terms of bulk and scale. Furthermore, the new dwelling has been designed to comprise a usable internal living area to meet the modern needs of the future occupants. 2. In addition to the above point, a review of the proposed dwelling on Lot 2 appears to be seeking a similar variation to open space. As such, the new dwelling on Lot 3 will have a similar built form compared to the new dwelling on Lot 2. 3. The proposed new dwelling on Lot 3 meets the 'deemed to comply requirements' of the Element 5.4.1 C1.1 ('Visual privacy') of the R-Codes. 4. The outdoor living area for the new dwelling is sufficient for the needs of its future occupants. 5. The proposed new dwelling on Lot 3 meets the 'deemed to comply requirements' of Element 5.4.2 C2.1 (i.e. 'Solar access for adjoining sites') of the R-Codes. In addition, the proposed dwelling will not adversely impact access to natural light and ventilation for any existing or proposed dwellings on the adjoining properties. 6. The subject land is located in close proximity to a number of public open space reserves (including the river foreshore) which are capable of providing for the active recreational needs of the occupants of the new dwelling. 7. The proposed new dwelling on the land has been designed to comprise street frontage, with a large verge area providing greater separation from the street. The new dwelling will comprise

<p>landscape, vegetation and streetscape;</p> <ul style="list-style-type: none"> provide opportunities for residents to use space external to the dwelling for outdoor pursuits and access within/around the site; and provide space for external fixtures and essential facilities. 		<p>a major opening along the front façade to provide for improved passive surveillance of the street.</p> <p>8. The proposed new dwelling has sufficient space within the front setback area to allow for the planting of mature trees to enhance the amenity of the dwelling and provide for additional canopy coverage. In fact, the application proposes the planting of a tree within the front setback area.</p> <p>Having regard for all of the above it is contended that the open space provided for the new dwelling on Lot 3 is sufficient for the future occupants, it satisfies the 'design principles criteria' of Element 5.1.4 of the R-Codes and may therefore be supported and approved by the City.</p>
<p>R-Code Element 5.3.7 C7.3 – ‘Site works’ & R-Code Element 5.3.8 C8 – ‘Retaining walls’</p> <p><i>P7.1 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.</i></p> <p><i>P7.2 Where excavation/fill is necessary, all finished levels respecting the natural ground level at the lot boundary of the site and as viewed from the street.</i></p> <p><i>P8 Retaining walls that result in land which can be effectively used for the benefit of residents and do not detrimentally affect adjoining properties and are designed, engineered and landscaped having due regard to clauses 5.3.7 and 5.4.1</i></p>	<p>The application proposes the following variations to the ‘deemed to comply requirements’ of Element 5.3.7 C7.3 & Element 5.3.8 C8 of the R-Codes:</p> <p>i) Portions of the retaining wall/fill to be built up to the southern & western boundaries will comprise a height greater than 500mm below NGL (up to 580mm) in lieu of a maximum permitted height of 500mm; and</p> <p>ii) The proposed retaining wall along the lot boundaries will be built up to the lot boundary in lieu of a setback of 1.0 metres.</p>	<ol style="list-style-type: none"> The subject land is characterised by a 780mm fall from the front boundary to the rear lot boundary. Given this variation in the natural ground level down the entire site, the new dwelling has been designed to cut into the property and comprise a floor level lower than the road to reduce any impacts on the adjoining properties. In light of the above point and the associated constraints of the land, we request that the City consider the matter on merit having due regard for the site constraints. The proposed variation to the extent of fill (i.e. 80mm) is considered to be minor and will have an adverse impact on the adjoining properties in terms of bulk and scale. The proposed retaining wall and fill are located to the rear of the site and will not have an impact on the streetscape. In fact, the retaining walls will not be visible from the public realm. The proposed new dwelling, along with the retaining walls on Lot 3 meets the ‘deemed to comply requirements’ of Element 5.4.2 C2.1 (i.e. ‘Solar access for adjoining sites’) of the R-Codes. A 1.8 metre high dividing fence will be constructed on top of the retaining wall to ensure that the new dwelling will not overlook any proposed/existing dwellings on the adjoining properties. In fact, the proposed dwelling complies with the visual privacy provisions of the R-Codes. The location of the retaining wall along the lot boundary provides for the effective use of all available space and the creation of a usable area for the future occupants of the dwelling. That portion of retaining wall/fill to be built up to the southern rear boundary will abut the side setback area of the existing grouped dwelling (including a structure on the boundary) on adjoining No.120 Matheson Road (see Figure 2 – Aerial Site Plan). Given this, it is contended that the proposed retaining wall and fill will not have an adverse impact on any key habitable spaces for the existing dwelling on the adjoining southern property. The minor portion of the retaining wall and fill to be built up to the western side boundary abuts a vacant/unused parcel of land (Lot 2) created as part of the subdivision of the original land (see Figure 2 – Aerial Site Plan). Given the minor nature of the variation (i.e. 80mm), it is contended that the new dwelling on Lot 3 will not impede or restrict any future development or the amenity of the new dwelling on adjoining Lot 2.

	Having regard for the above it is contended that the proposed retaining wall and fill to be built up to the side and rear boundaries on Lot 3 satisfies the 'design principles criteria' of Element 5.3.7 & Element 5.3.8 of the R-Codes, will assist with providing usable spaces within the new dwelling, will not have a detrimental impact on the adjoining properties or local streetscape, are a result of the excessive fall in natural ground levels down the site and may therefore be approved by the City.
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CONCLUSION

The proposed new dwelling on the subject land has been designed to meet the needs of the future occupants of the dwelling, with the site comprising a number of constraints (i.e. lot width and fall in natural ground levels) that results in a number of variations to the development provisions.

The new dwelling on Lot 3 has been designed to be consistent with the other similar developments approved by the City of Melville within the immediate locality and the future dwelling on adjoining Lot 2 (that form part of the subdivision of the original land comprising Lot 3). When reviewing the variations being sought as part of this application, it is concluded that the new dwelling on Lot 3 will not have an adverse impact on the streetscape and/or the adjoining properties and that the variations (whilst numerous) are minor in nature.

In light of the above written justification, we respectfully request the City of Melville's favorable consideration and approval of the Application for Development Approval for the construction of a new dwelling on Lot 3 (No.85) Kintail Road, Applecross in accordance with the plans prepared in support of this application.

Should you have any queries or require any additional information regarding any of the matters raised above please do not hesitate to contact me on 0407384140 or carlof@people.net.au.

Yours faithfully,



Carlo Famiano
Town Planner
CF Town Planning & Development

cc Mr Tim Veurink (Timeless Home Designs)

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Proposed Sumich Residence

At Lot 3 # 85 Kintail Rd, Applecross. City of Melville

AREAS:

GROUND FLOOR	
Ground Floor	111.46 m ²
Garage & Store	38.33 m ²

FIRST FLOOR	
First Floor	131.22 m ²

GF TOTAL	149.79 m²
FF TOTAL	131.22 m²
RT TOTAL	281.01 m²
COMB TOTAL	281.01 m²

GF Perimeter	69.88 m
FF Perimeter	60.92 m
GF Roof Area	21.62 m ²
FF Roof Area	115.22 m ²

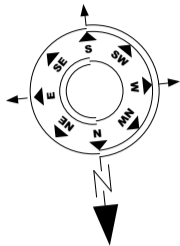
SITE ZONING-R40

Area of Site	253m ²
Shared C/P	0m ²
Total Area of Site	253m ²
Area of Building	149.79m ²
SITE COVERAGE	59%
Allowed Coverage	55%

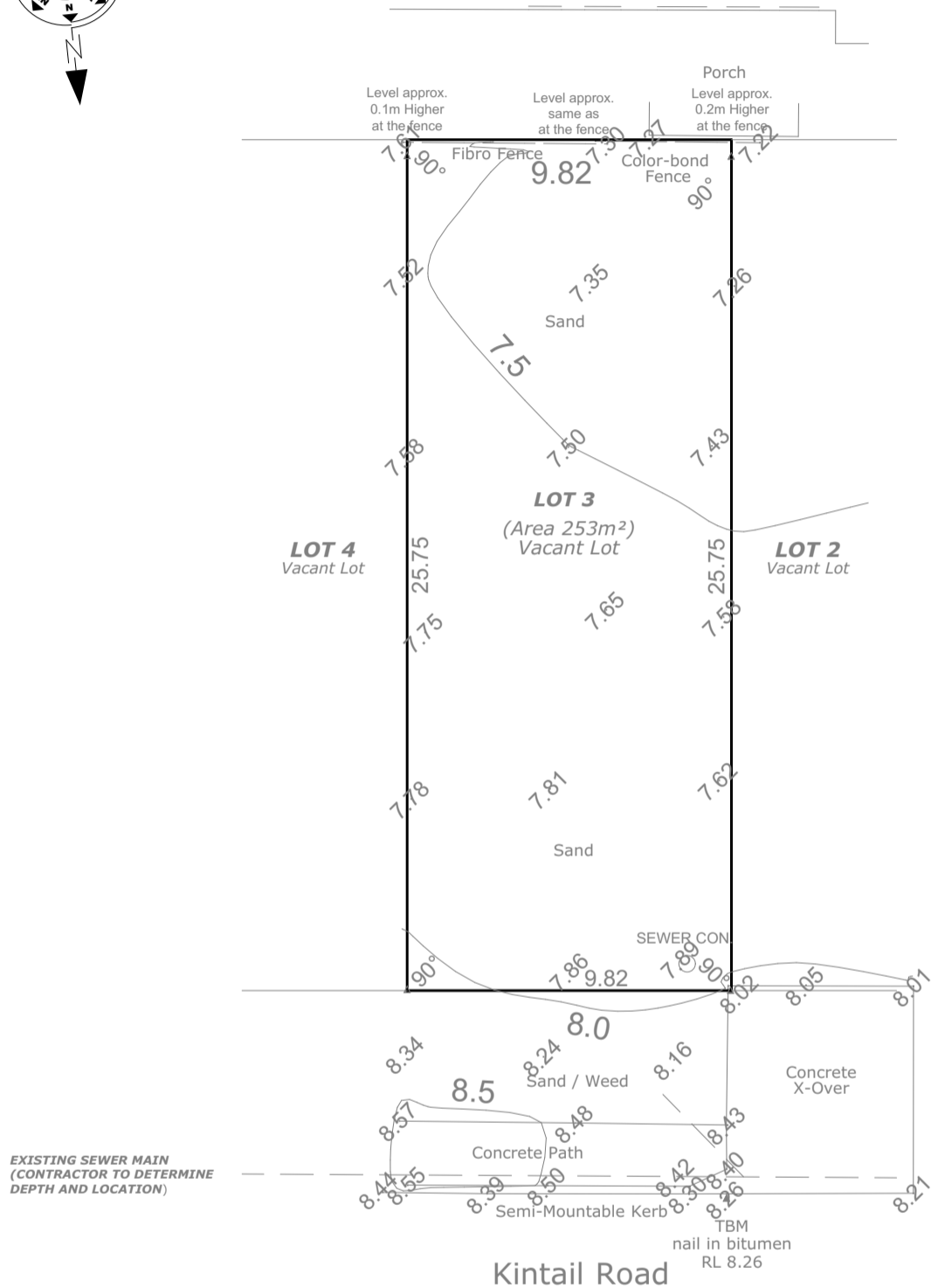
ZENITH LAND SURVEYING
 LICENSED LAND & ENGINEERING SURVEYORS
 UNIT 5, 44 HUTTON STREET
 OSBORNE PARK
 info@zenithsurvey.com.au

NOTE:
 Lot Numbers (2-4), Angles, Dimensions and Areas are Subject to WAPC Approval.

IMPORTANT NOTICE
 Features are related to fence lines only. No connection made to boundaries.
REPEG RECOMMENDED



Strata Lots (SP 7283)
 Brick & Tiles Residences



OWNER'S COMMENTS
 I/WE HAVE VIEWED THE PLANS AND **DO NOT OBJECT** TO THE PROPOSED RESIDENTIAL CODE VARIATION.

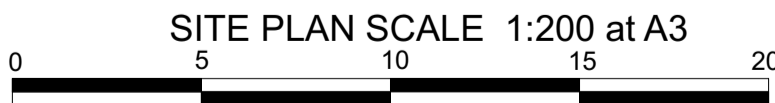
SIGNED.....DATE.....

PRINT NAME.....

SIGNED.....DATE.....

PRINT NAME.....

FEATURE SURVEY
 1:200



NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

IMPORTANT NOTES:
 CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS
 PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS
 LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED
 UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

IMPORTANT NOTES:
 All SEWER and WATER details plotted from information supplied by Water Corporation. This information is approximate only and a Cadastral Connection will be required if true sewer location points are required for service works.

SURVEY ADDRESS :
 LOT 3 (#85) Kintail Road,
 Applecross

AUSTRALIAN HEIGHT DATUM (AHD)
 DERIVED FROM RTK - GPS

CLIENT / S :	Sumich	TBM HEIGHT	8.26 AHD
PLAN / DIAGRAM No	DP 420043	Job No:	ZS 2408

LEGEND

T.B.M. ▲	SEWER MANHOLE	□	SEWER CON
POWER DOME ●	SEWER INSPECT	□	COLUMN / PILLAR
TELSTRA [TELSTRA]	FLOOR LEVEL FL	○	LARGE TREE
WATER METER ⊗	DRAIN	○	SMALL TREE
POWER POLE ○	SOAKWELL	○	TREE STUMP
STREET LAMP ☼	HYDRANT	—	WATER LINE
BOUNDARY	BUILDING	—	SEWER LINE
TW / TR / TF	TOP OF WALL / RETAINER / FENCE		
POINT OF INTEREST ▲		0.00	

SURVEYOR SITE REPORT

ELECTRICITY: UG	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey: YES
ROAD: BITUMEN	3D Line work survey: NOT REQUIRED
KERB: (Semi Mountable)	
FOOTPATH: Yes	
VEGETATION: -	
SOIL: SAND/WEED	
VIEWS:	
REPEG: REQUIRED	
AREA: OLD SURVEY AREA	



AREAS:

GROUND FLOOR	
Ground Floor	111.46 m ²
Garage & Store	38.33 m ²

FIRST FLOOR	
First Floor	131.22 m ²

GF TOTAL	149.79 m ²
FF TOTAL	131.22 m ²
RT TOTAL	
COMB TOTAL	281.01 m ²

GF Perimeter	69.88 m
FF Perimeter	60.92 m
GF Roof Area	21.62 m ²
FF Roof Area	115.22 m ²

SITE ZONING-R40

Area of Site	253m ²
Shared C/P	0m ²
Total Area of Site	253m ²
Area of Building	149.79m ²
SITE COVERAGE	59%
Allowed Coverage	55%

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NOTE:
 Lot Numbers (2-4), Angles, Dimensions and Areas are Subject to WAPC Approval.

IMPORTANT NOTICE
 Features are related to fence lines only. No connection made to boundaries.
REPEG RECOMMENDED

EARTHWORKS NOTE
 REFER TO STRUCTERRE REPORT FOR SITEWORKS INFORMATION

ALL DEMOLITION WORKS BY OWNER ARE TO BE COMPLETED TO THE BUILDERS TIME SCHEDULE

CONCRETOR NOTE
 ALL EXTERNAL WALLS TO BE 230mm CAVITY BRICKWORK (UNLESS NOTED OTHERWISE)

TOP OF FOOTING TO BE AT -3c TO GARAGE AS SHOWN ON PLAN

DROP FOOTING AS INDICATED ON PLAN

BRICKPAVING NOTE
 BRICKPAVING AS PER ADDENDA

90mm PVC PIPE TO BE PLACED 2m FROM THE CARPORT / GARAGE APPROX 300mm DEEP

CLIENT NOTE
 F.F.L SHOWN ON PLAN MAY VARY TO WITHIN 50mm EITHER WAY

WHERE A BOUNDARY WALL IS INCLUDED, THE CLIENT IS TO OBTAIN
 A) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO REMOVE ANY EXISTING FENCE(S)
 B) WRITTEN PERMISSION FROM THE OWNER(S) OF ADJOINING LOT(S) TO ENTER ADJOINING PROPERTIES TO CONSTRUCT NEW BOUNDARY WALLS

COPIES OF THE WRITTEN PERMISSIONS TO BE PROVIDED TO THE BUILDER PRIOR TO COMMENCEMENT

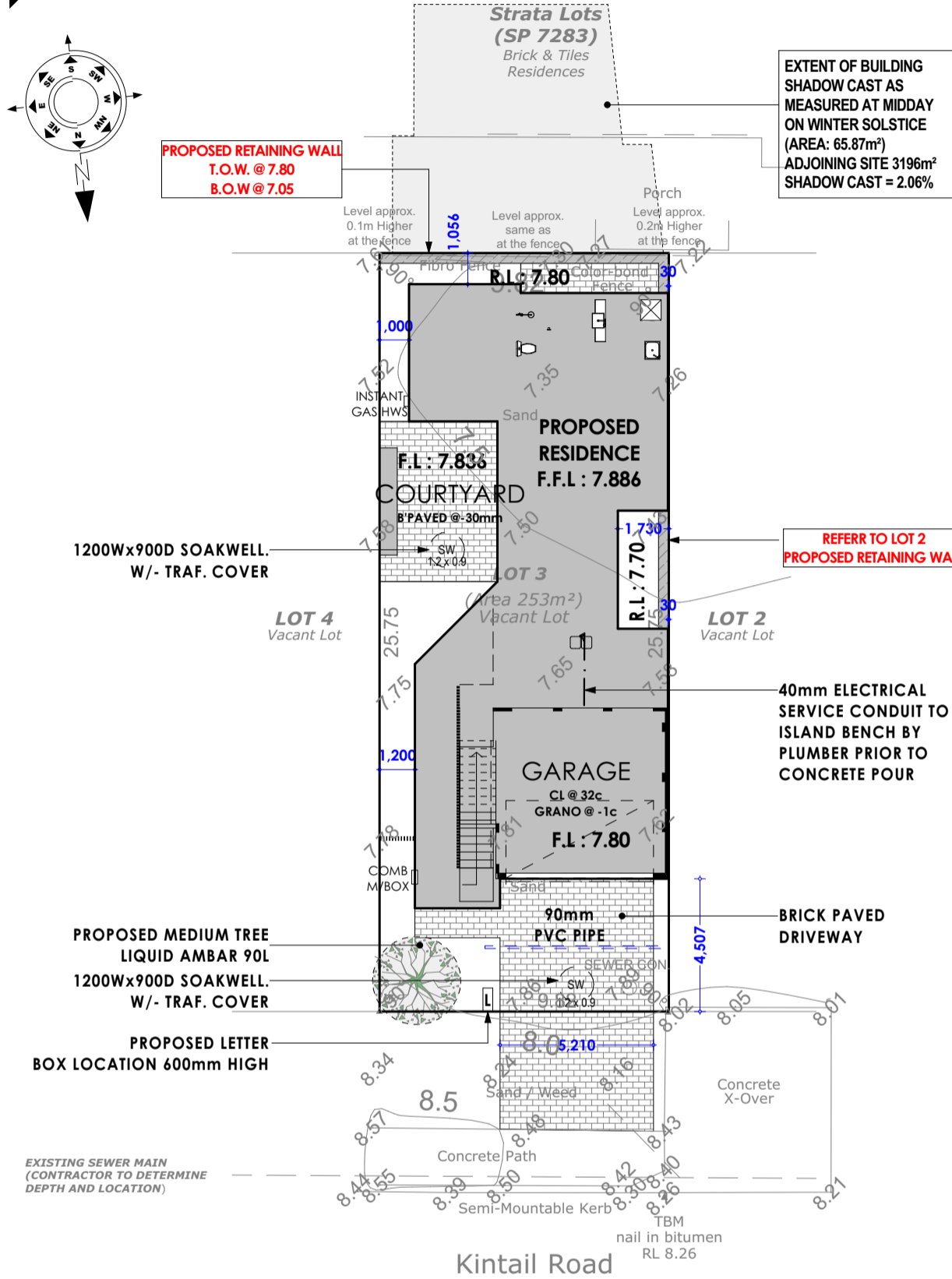
SERVICES NOTE
 SEWER JUNCTION AND WATER PRELAY NOT AVAILABLE AT PRELIMINARY DRAWINGS STAGE

WATER PRELAY LOCATED AT FRONT LEFT OF BLOCK
DOWNPIPE NOTE
 LOCATION OF DOWNPIPES IS AN INDICATION ONLY. BUILDERS DISCRETION EXCEPTED.

SUPERVISOR NOTE
 PLANS TO BE READ IN CONJUNCTION WITH ADDENDA.

CONCRETOR NOTE:
230w CAVITY BRICKWORK

ALL TRADES NOTE ENSURE ALL BUILDING MATERIALS & RUBBER ARE KEPT AWAY FROM SEWER INSPECTION OPENING AT ALL TIMES



1200Wx900D SOAKWELL. W/- TRAF. COVER

PROPOSED MEDIUM TREE LIQUID AMBAR 90L
 1200Wx900D SOAKWELL. W/- TRAF. COVER

PROPOSED LETTER BOX LOCATION 600mm HIGH

EXISTING SEWER MAIN (CONTRACTOR TO DETERMINE DEPTH AND LOCATION)

Kintail Road

OWNER'S COMMENTS

I/WE HAVE VIEWED THE PLANS AND **DO NOT OBJECT** TO THE PROPOSED RESIDENTIAL CODE VARIATION.

SIGNED.....DATE.....

PRINT NAME.....

SIGNED.....DATE.....

PRINT NAME.....

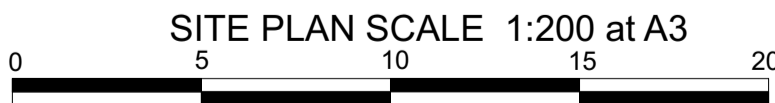
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Total Area of Site	253m ²
Area of Building	149.79m ²
SITE COVERAGE	59%
Allowed Coverage	55%

PAVING AREAS	
D'WAY:	26.37m ²
COURTYARD:	19.58m ²
CROSSOVER:	20.99m ²
PATH:	6.82m ²
TOTAL PAVING AREA:	73.76m²

SITE PLAN
 1:200

EXISTING WATER MAIN (CONTRACTOR TO DETERMINE DEPTH AND LOCATION)

Soak Well Type	No.	Capacity
SW 1200x900	2	2.0 m3
Total Capacity		2.0 m3
Roof Area GF		136.8 m2
Total Area		136.8 m2
Capacity Required (Area x 0.0125)		1.7 m3
Extra Capacity Provided		0.3 m3



SITE PLAN SCALE 1:200 at A3

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

IMPORTANT NOTES:
 CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS
 PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS
 LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED
 UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

IMPORTANT NOTES:
 All SEWER and WATER details plotted from information supplied by Water Corporation. This information is approximate only and a Cadastral Connection will be required if true sewer location points are required for service works.

SURVEY ADDRESS :
 LOT 3 (#85) Kintail Road,
 Applecross

AUSTRALIAN HEIGHT DATUM (AHD)
 DERIVED FROM RTK - GPS

CLIENT / S:	Sumich	TBM HEIGHT	8.26 AHD
PLAN / DIAGRAM No	DP 420043	Job No:	ZS 2408

LEGEND	
T.B.M. ▲	SEWER MANHOLE
○	SEWER CON
□	POWER DOME
○	SEWER INSPECT
□	COLUMN / PILLAR
TELSTRA	FLOOR LEVEL FL
○	LARGE TREE
○	SMALL TREE
○	TREE STUMP
○	SOAKWELL
○	WATER LINE
○	WATER METER
○	DRAIN
○	HYDRANT
○	BOUNDARY
○	BUILDING
○	SEWER LINE
TW / TR / TF	TOP OF WALL / RETAINER / FENCE
▲	POINT OF INTEREST
0.00	

SURVEYOR SITE REPORT	
ELECTRICITY: UG	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey: YES
ROAD: BITUMEN	3D Line work survey: NOT REQUIRED
KERB: (Semi Mountable)	
FOOTPATH: Yes	
VEGETATION: -	
SOIL: SAND/WEED	
VIEWS:	
REPEG: REQUIRED	
AREA	OLD SURVEY AREA



AREAS:

GROUND FLOOR
Ground Floor 111.46 m²
Garage & Store 38.33 m²

FIRST FLOOR
First Floor 131.22 m²

GF TOTAL	149.79 m²
FF TOTAL	131.22 m²
RT TOTAL	
COMB TOTAL	281.01 m²

GF Perimeter 69.88 m
FF Perimeter 60.92 m
GF Roof Area 21.62 m²
FF Roof Area 115.22 m²

SITE ZONING-R40

Area of Site	253m ²
Shared C/P	0m ²
Total Area of Site	253m ²
Area of Building	149.79m ²
SITE COVERAGE	59%
Allowed Coverage	55%

OWNER'S COMMENTS

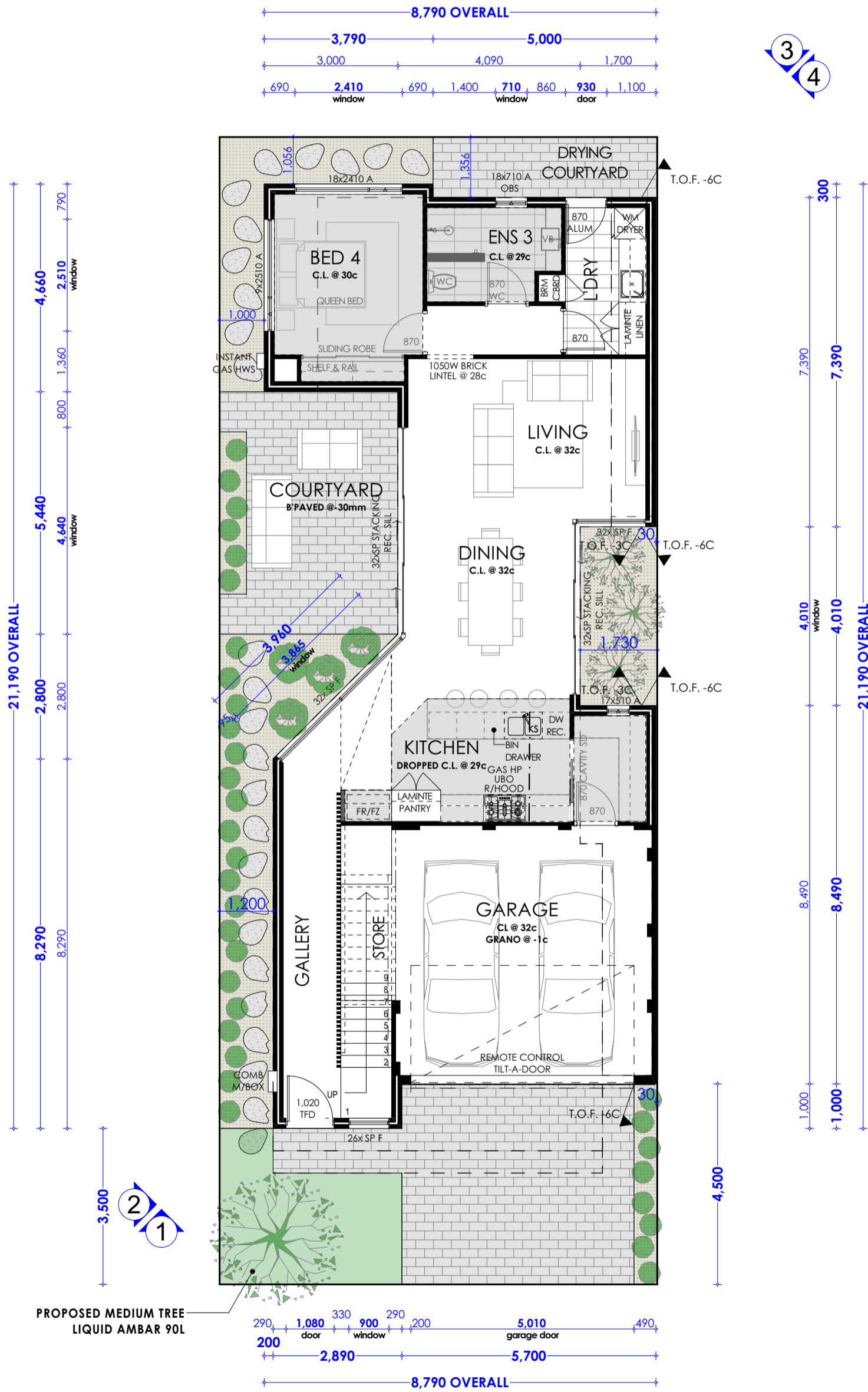
I/WE HAVE VIEWED THE PLANS AND **DO NOT OBJECT** TO THE PROPOSED RESIDENTIAL CODE VARIATION.

SIGNED.....DATE.....

PRINT NAME.....

SIGNED.....DATE.....

PRINT NAME.....



GROUND FLOOR PLAN
1:100

AREAS:

GROUND FLOOR	
Ground Floor	111.46 m ²
Garage & Store	38.33 m ²

FIRST FLOOR	
First Floor	131.22 m ²

GF TOTAL	149.79 m ²
FF TOTAL	131.22 m ²
RT TOTAL	
COMB TOTAL	281.01 m ²

GF Perimeter	69.88 m
FF Perimeter	60.92 m
GF Roof Area	21.62 m ²
FF Roof Area	115.22 m ²

SITE ZONING-R40

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Total Area of Site	253m ²
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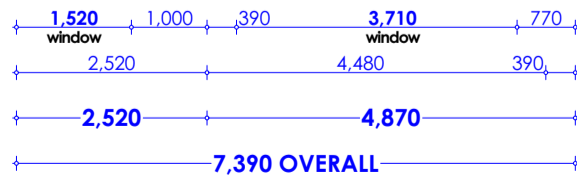
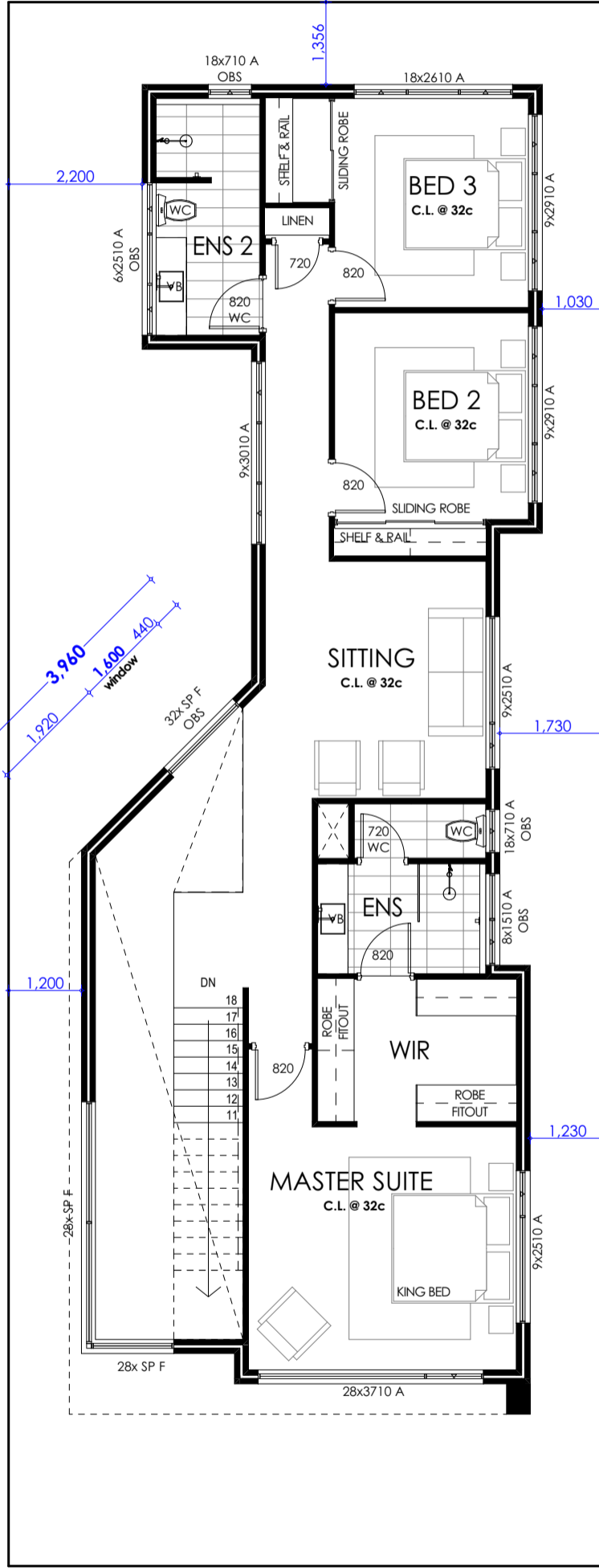
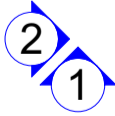
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SIGNED.....DATE.....

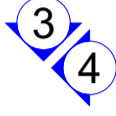
PRINT NAME.....

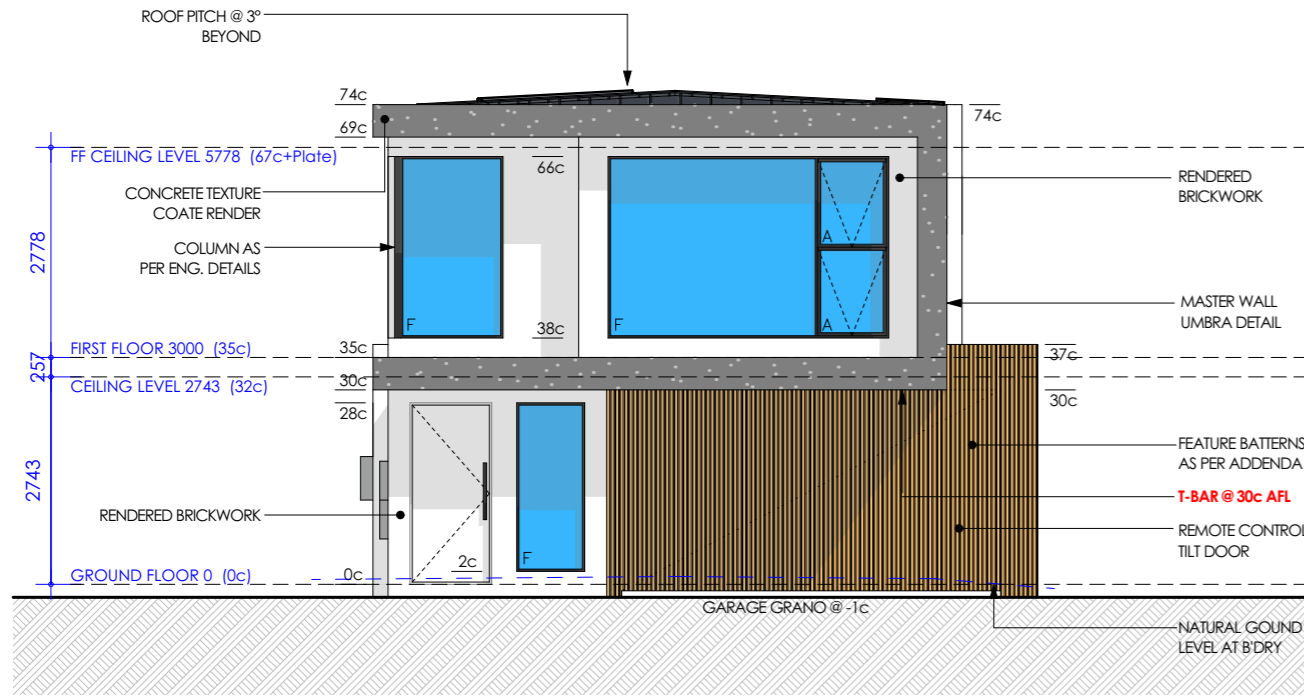
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PRINT NAME.....

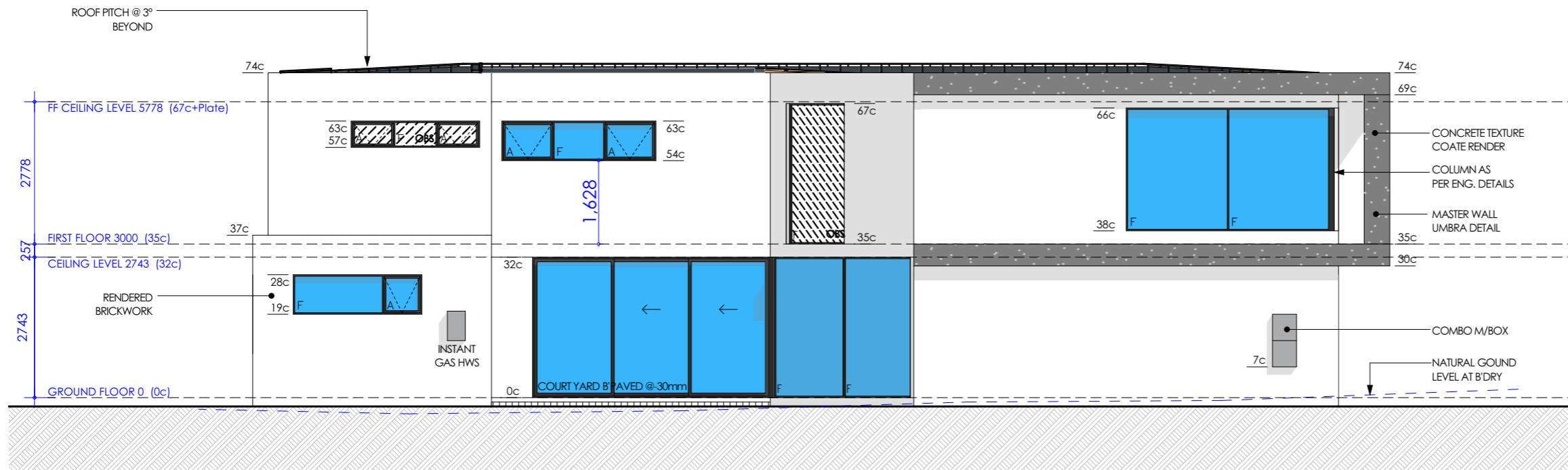


FIRST FLOOR PLAN
1:100





1 FRONT ELEVATION
 1:100



2 SIDE ELEVATION
 1:100

OWNERS COMMENTS
 I/WE HAVE VIEWED THE PLANS AND DO NOT OBJECT TO THE PROPOSED RESIDENTIAL CODE VARIATION.
 SIGNED.....DATE.....
 PRINT NAME.....
 SIGNED.....DATE.....
 PRINT NAME.....
 SIGNED.....DATE.....
 PRINT NAME.....

AREAS:

GROUND FLOOR	111.46 m ²	FIRST FLOOR	131.22 m ²
Ground Floor Garage & Store	38.33 m ²	FF Total	131.22 m ²
		GF Total	149.79 m ²
		FF Total	131.22 m ²
		GF Total	149.79 m ²
		COMB TOTAL	281.01 m ²

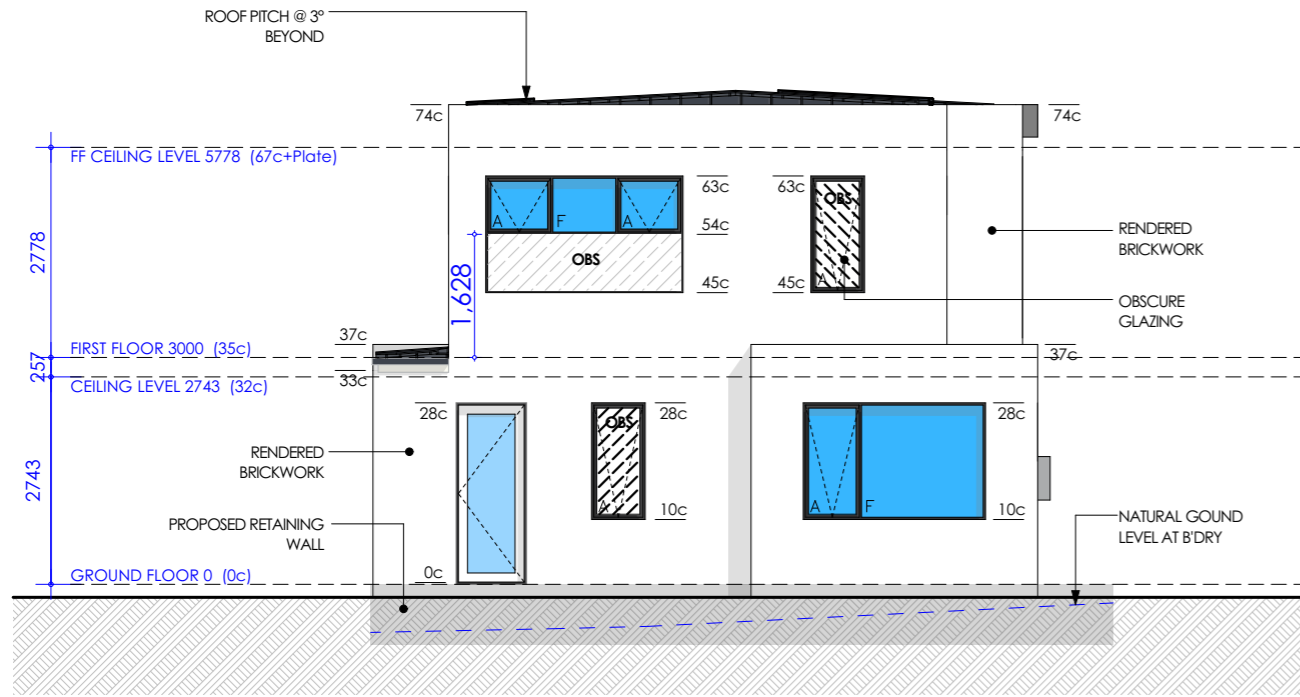
GF Perimeter 69.88 m
 FF Perimeter 21.62 m
 GF Roof Area 115.22 m²
 FF Roof Area 60.92 m²

GF TOTAL	149.79 m ²
FF TOTAL	131.22 m ²
COMB TOTAL	281.01 m ²

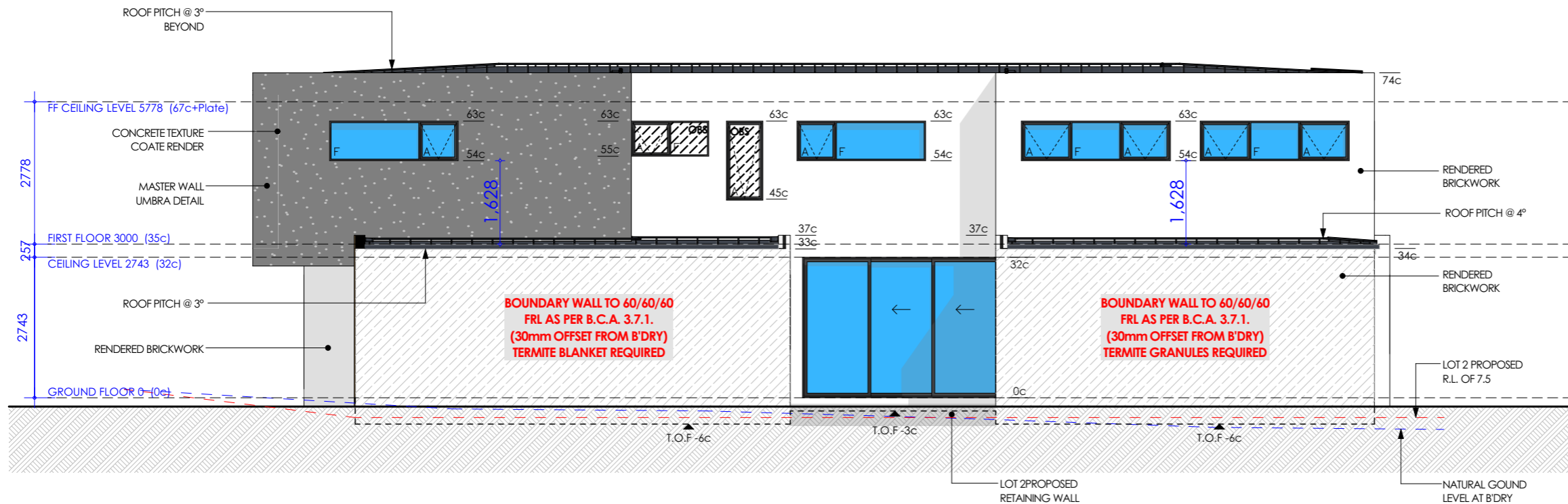
GF Perimeter 69.88 m
 FF Perimeter 21.62 m
 GF Roof Area 115.22 m²
 FF Roof Area 60.92 m²

[SITE ZONING-R40]

Area of Site	253m ²
Shared C/P	0m ²
Total Area of Site	253m ²
Area of Building	149.79m ²
SITE COVERAGE	59%
Allowed Coverage	55%



3 REAR ELEVATION
 1:100



4 SIDE ELEVATION
 1:100

OWNERS COMMENTS
 I/WE HAVE VIEWED THE PLANS AND **DO NOT OBJECT** TO THE PROPOSED RESIDENTIAL CODE VARIATION.
 SIGNED.....DATE.....
 PRINT NAME.....
 SIGNED.....DATE.....
 PRINT NAME.....
 SIGNED.....DATE.....
 PRINT NAME.....

AREAS:

GROUND FLOOR	111.46 m ²	FIRST FLOOR	131.22 m ²
Ground Floor Garage & Store	38.33 m ²	First Floor	
GF TOTAL	149.79 m²	FF TOTAL	131.22 m²
FF TOTAL	131.22 m²	COMB TOTAL	281.01 m²

GF PERIMETER

GF Perimeter	69.88 m
FF Perimeter	60.92 m
GF Roof Area	21.62 m ²
FF Roof Area	115.22 m ²

SITE ZONING-R40

Area of Site	253m ²
Shared C/P	0m ²
Total Area of Site	253m ²
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SITE COVERAGE	59%
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