

---

Thanks for your patience.

Please find attached an updated copy of the survey.

At this stage we would like to specify that this wall functions more as a feature wall that will incorporate a letterbox, rather than a retaining wall. It will however, help us to even out the slope of the land to make the frontage look better. The land behind the wall will be infilled to 10.5 while the slope down to the right in front of the wall will be evened out to 10.25. As such the wall will be holding up a maximum of the 25cm of dirt on the right. We are aware that council regulations allow us to build a retaining wall up to 50cm without any council approval but since we decided to make the wall taller to make a decorative feature out of it we thought it would be best to apply for approval.

We have had Concrete West provide a quote for us with the following specifications for the concrete wall:

Footings to be 500mm of 20/20/100 concrete (i.e. 20 mpa 20mm stone and 100 slump)

Reinforcement to be 12mm Starter Bars (N12) vertical at each 200mm to centre spacing plus horizontal at 200mm spacing

Concrete wall to be 25/14/100

We hope this is enough information.

We have also notified our neighbours who are happy with the design.

LEGEND	Symbol	Description
	⊕	SEC Dome
	⊖	Power Pole
	⊕	Phone Pits
	⊖	Water Conn.
	TP 10.00	Top Pillar/Post
	TW 10.00	Top Wall
	TR 10.00	Top Retaining
	TF 10.00	Top Fence

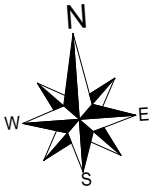
**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

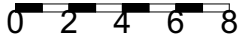
**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

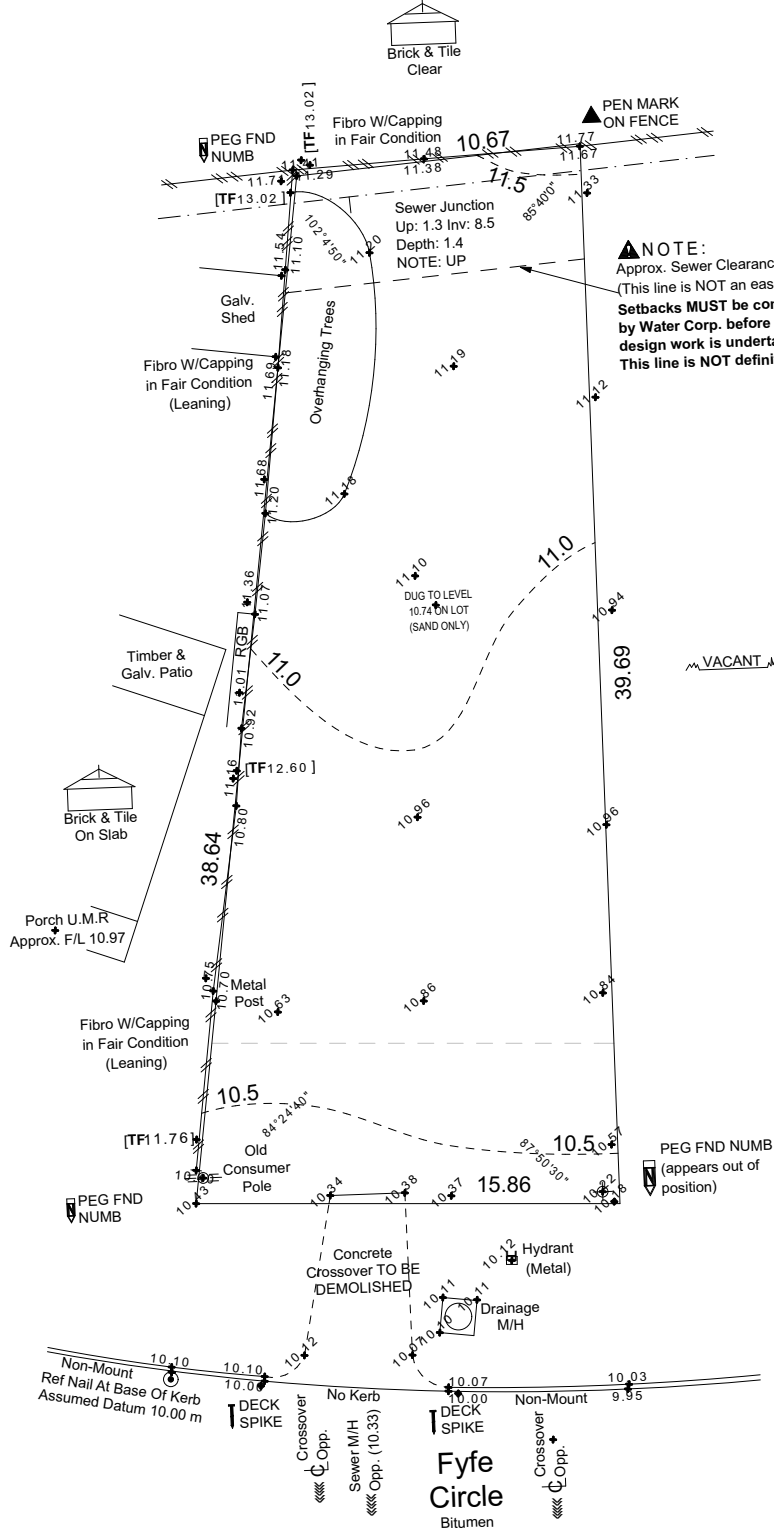
<b>LOT MISCLOSE</b>
0.001 m
<b>SOIL DESCRIPTION</b>
Sand
Refer to Survey



Scale 1:200



**NOTE:**  
 TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.



**NOTE:**  
 Approx. Sewer Clearance Line (This line is NOT an easement) **Setbacks MUST be confirmed by Water Corp. before any design work is undertaken. This line is NOT definitive.**

Project Status  
**WORKING DRAWINGS**  
 This drawing forms part of the building contract.  
 Dated  
 19-06-19  
 Layout Name  
**EXISTING/DEMO SITE PLAN**  
 Sheet 2 of 16 | Scale 1:200 @ A3



**Drawing Revisions**  
 Date Drawn By Notes  
 19-06-19 PS WORKING DWGS

Owner 1	Witness
Signed _____	Signed _____
Owner 2	Witness
Signed _____	Signed _____
Builder	Witness
Signed _____	Signed _____

OLD AREA	LEND	SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
		Water Pillar/Post
		TR 10.000 Top Wall
		TR 10.000 Top Retaining
TF 10.000 Top Fence		

D.Plan407638

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

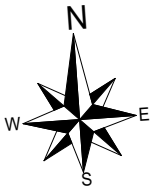
**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

No.	Soak Well Type
2.7 m3	2 SW 1200x1200
2.7 m3	Total Capacity
97.3 m2	Roof Area GF
106.1 m2	Roof Area UF
203.4 m2	Total Area
2.5 m3	Capacity Required (Area x 0.0125)
0.2 m3	Extra Capacity Provided

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

**LOT MISCLOSE**  
0.001 m

**SOIL DESCRIPTION**  
Sand  
Refer to Survey



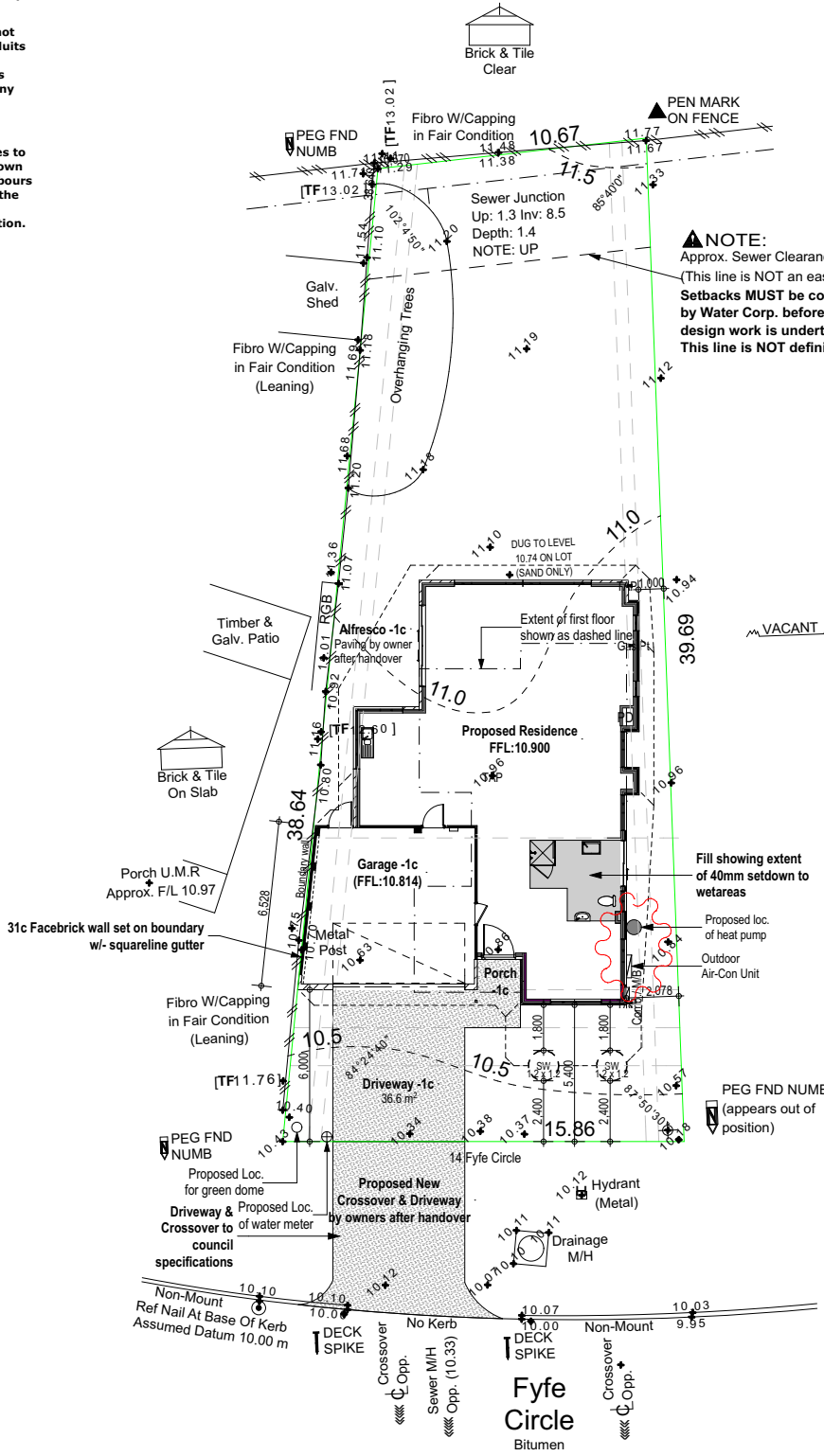
**Scale 1:200**

0 2 4 6 8

**NOTE:**  
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

**Site Notes:**  
Spray Termite treatment throughout  
Stormwater disposal by builder to council requirements

**Site Classification:**  
Site class: A  
Wind class: N1



Project Status  
**WORKING DRAWINGS**  
This drawing forms part of the building contract.  
Dated  
19-06-19  
Layout Name  
**SITE PLAN**  
Sheet 3 of 16 | Scale 1:200 @ A3



**Drawing Revisions**  
Date Drawn By Notes  
19-06-19 PS WORKING DWGS

Owner 1	Witness
Signed _____	Signed _____
Owner 2	Witness
Signed _____	Signed _____
Builder	Witness
Signed _____	Signed _____

+	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
⊕	Top Pillar/Post
⊕	Top Wall
⊕	Top Retaining
⊕	Top Fence



CLIENT :	<b>Walker</b>	CONTRACT / JOB NO.
		MAP REF. 432-25/27
SITE SURVEY	<b>LOT 888</b>	COASTAL NO
	#14 Fyfe Circle	(Scaled from StreetSmart Directory Only - confirm With Site)
Suburb	Bull Creek	OLD AREA
Loc.Auth.	CITY OF MELVILLE	
D.Plan	407638 Volume 2949 Folio 761	
Location	Check Title	

Project Status  
**WORKING DRAWINGS**  
This drawing forms part of the building contract.

Dated  
**19-06-19**

Layout Name  
**SITE SETOUT**

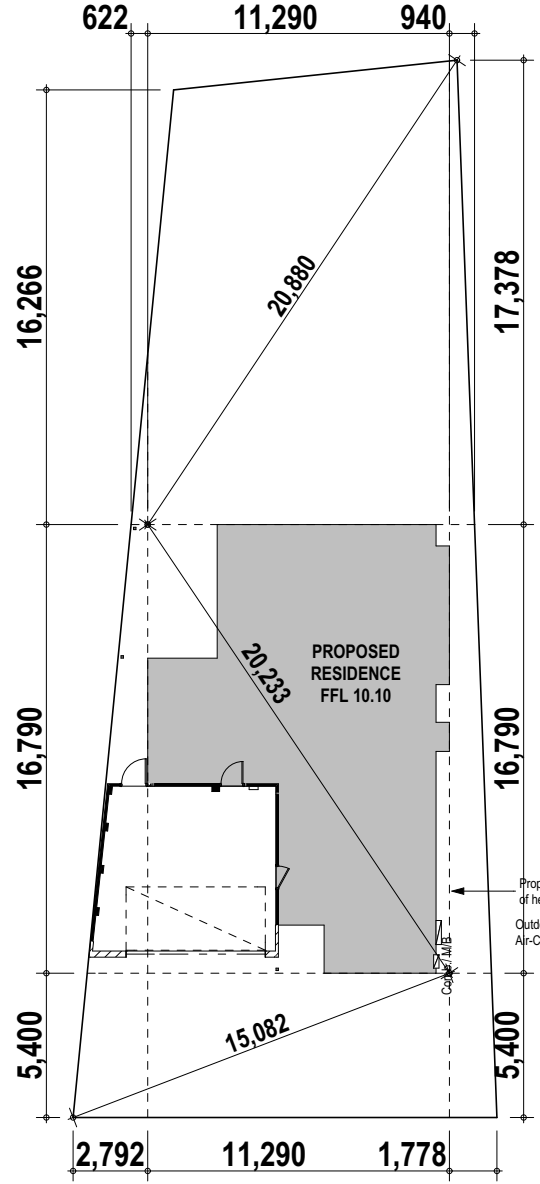
Sheet 4 of 16 | Scale 1:200, 1:1 @ A3

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

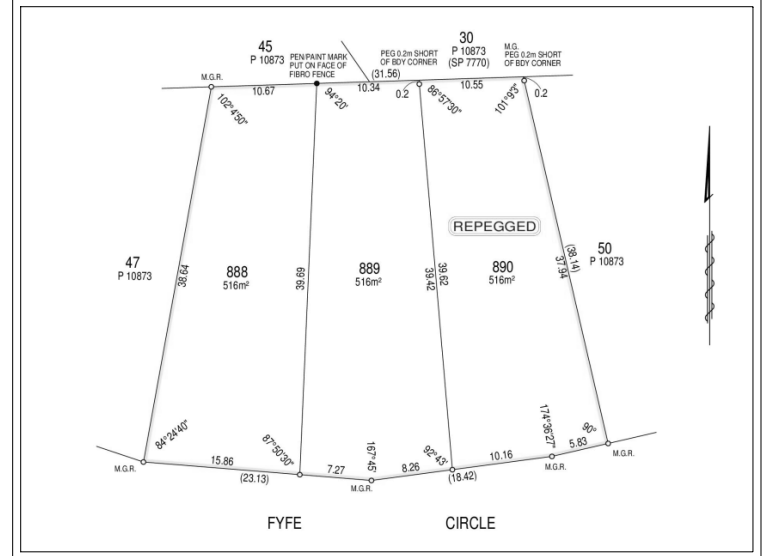


**Drawing Revisions**

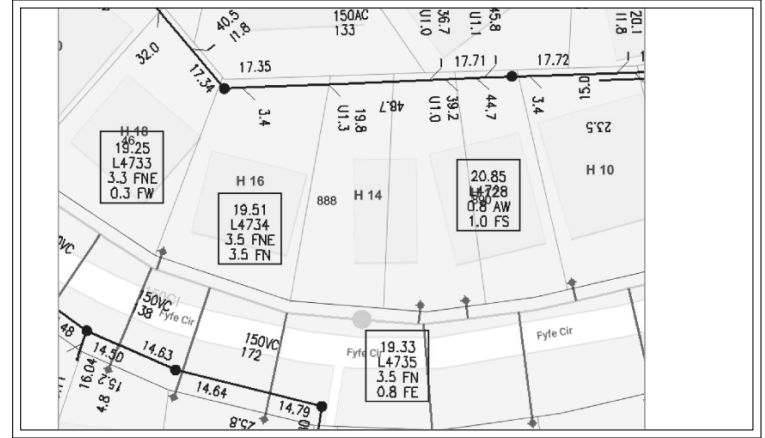
Date	Drawn By	Notes
19-06-19	PS	WORKING DWGS

Owner 1	Witness
Signed _____	Signed _____
Owner 2	Witness
Signed _____	Signed _____
Builder	Witness
Signed _____	Signed _____

Scale 1:200  
0 2 4 6 8  
Scale 1:200 Date: 04 Oct 18



Elec.	U/Ground	Water	Yes	Sewer	Yes
Gas	Call 13 13 58	Phone Comms.	Not loc.	Footpath	Nil
Road	Bitumen	Kerb	Non-Mount / Nil	Drainage	Good



**NOTE:**  
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY VERIFY AVAILABILITY WITH TELSTRA.

**COTTAGE & ENGINEERING SURVEYS**  
Licensed Surveyors ©

87-89 Guthrie Street, Osborne Park, Western Australia  
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
Email: perth@cottage.com.au Website: www.cottage.com.au  
J/No: 445644 Drawn: F.Crosdale

NOTE : EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING WALLS / FENCES / ETC. CHECK TITLE FOR EASEMENTS / COVENANTS ETC. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. C:\P\Permie\Pemille Private Stuff\design\Button\B Jobs\111 - Custom Green\8026-Fyfe\Drawings\14 Fyfe Circle Bullcreek IFC 19-06-19.ph

on boundary  
areline gutter

Fibro W/Capping  
in Fair Condition  
(Leaning)

[TF1 1.76]

PEG FND  
NUMB

Proposed Loc.  
for green dome

Driveway &  
Crossover to  
council  
specifications

Non-Mount  
Ref Nail At Base Of Kerb  
Assumed Datum 10.00 m

DECK  
SPIKE

osrossover  
pp.

No Kerb  
M/H  
(0.33)

DECK  
SPIKE

Non-Mount  
sover

Metal  
Post

Porch  
-1c

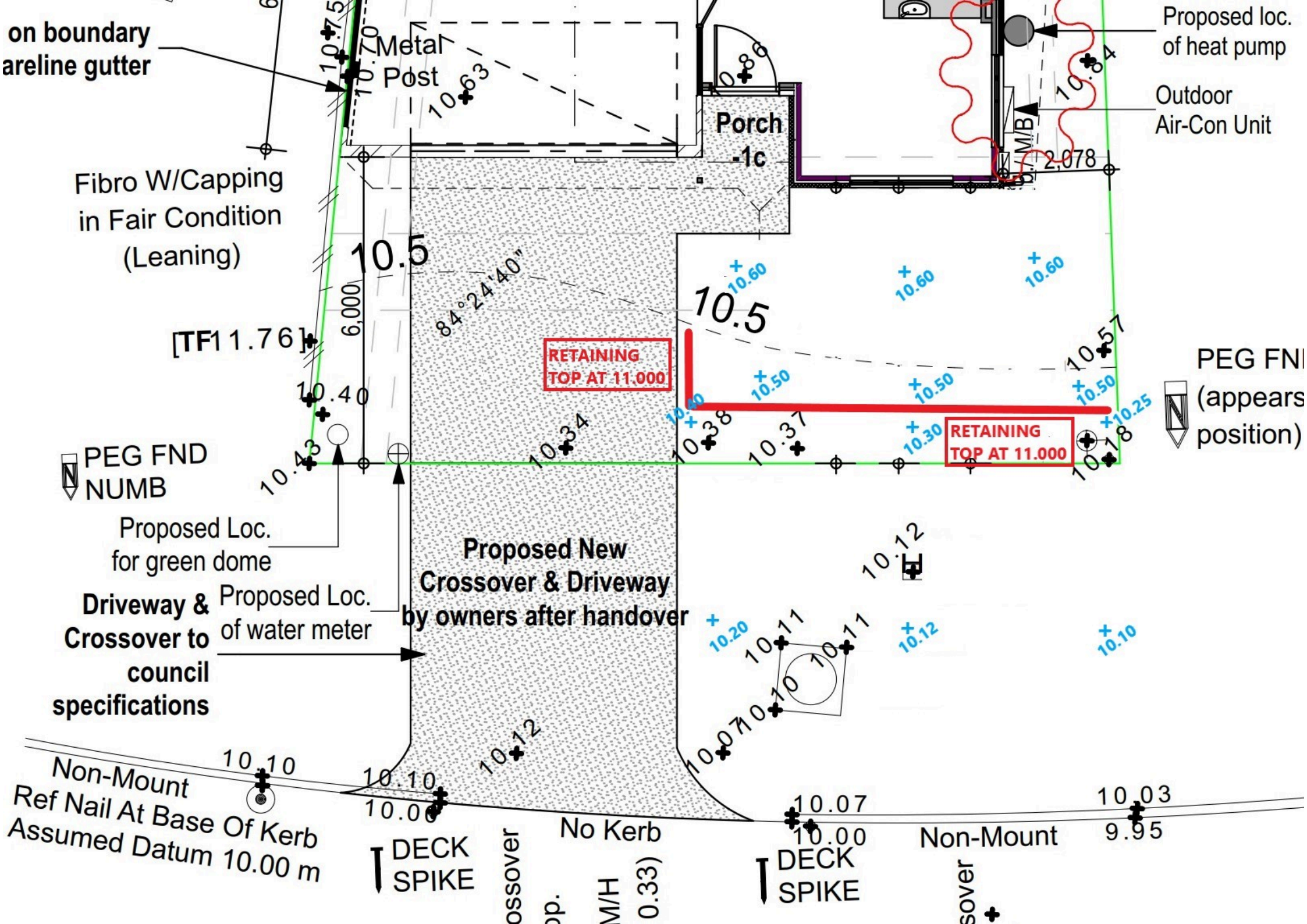
RETAINING  
TOP AT 11.000

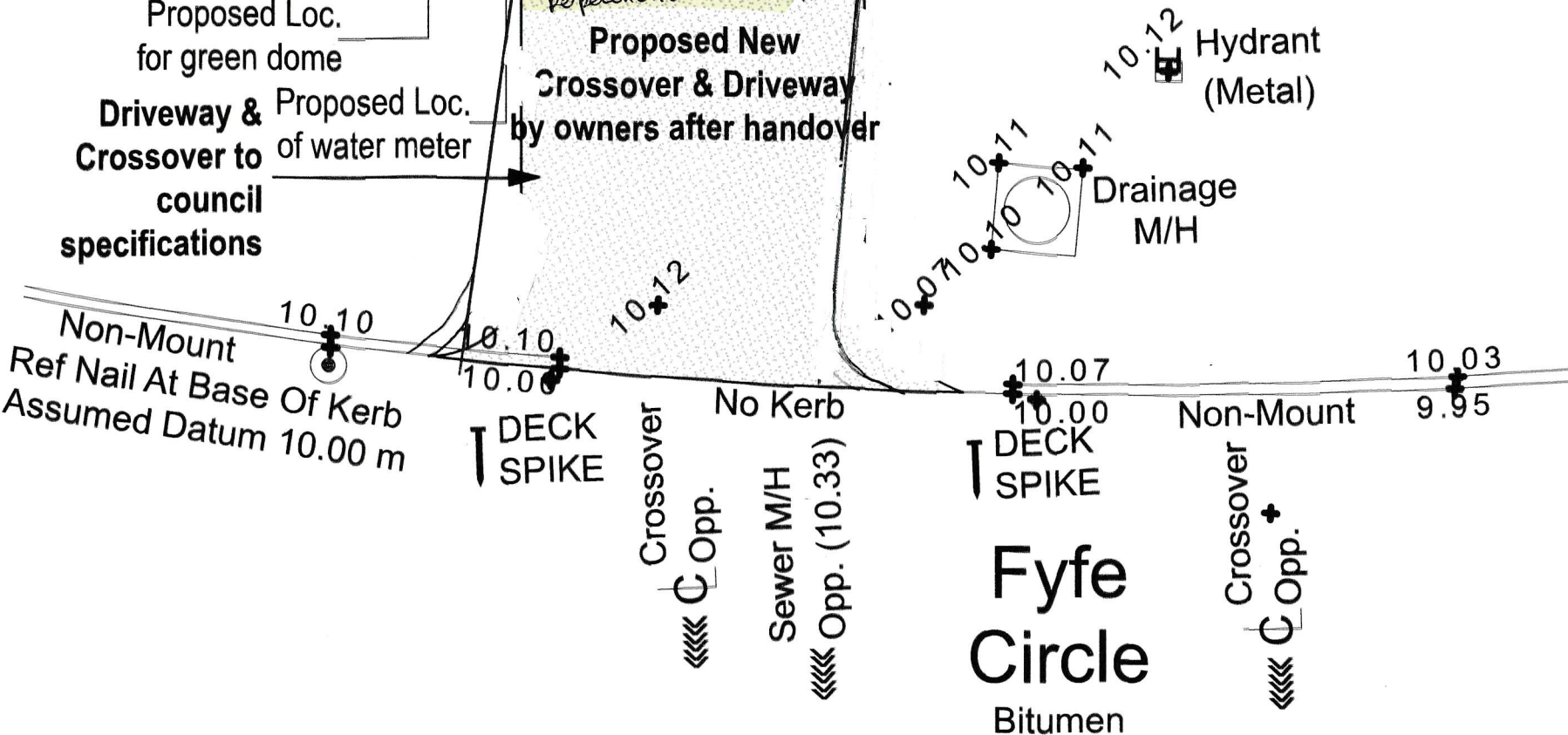
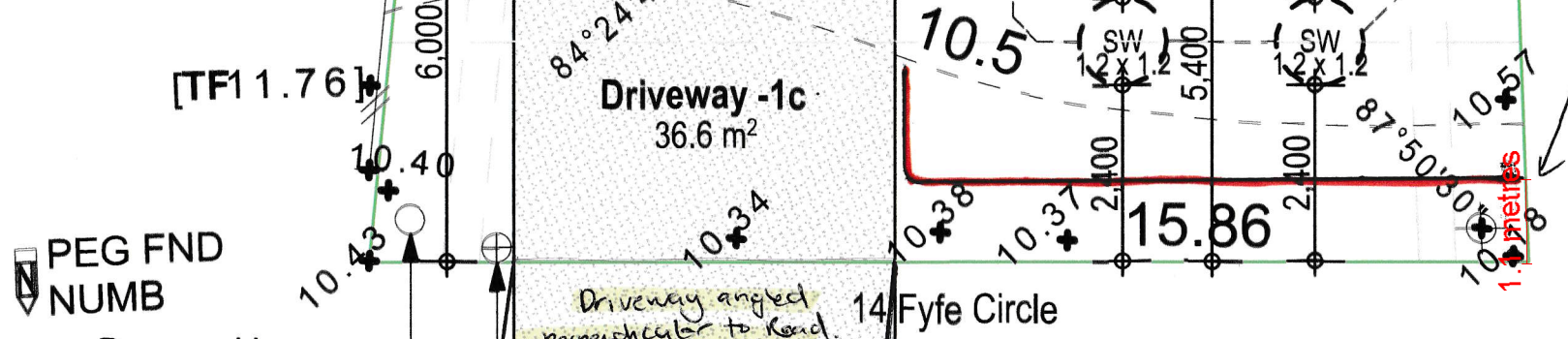
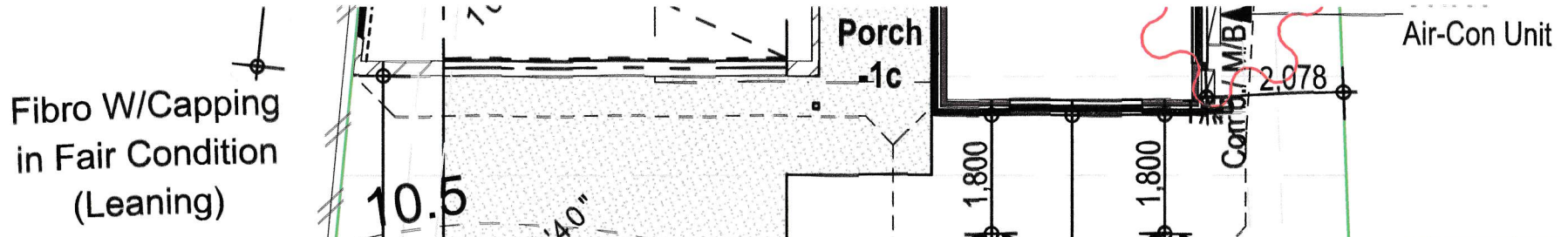
RETAINING  
TOP AT 11.000

Proposed loc.  
of heat pump

Outdoor  
Air-Con Unit

PEG FND  
(appears  
position)





Proposed position of retaining wall within property 500mm from green dome.

PEG FND NUMB

Proposed Loc. for green dome

Driveway & Crossover to council specifications

Proposed Loc. of water meter

Proposed New Crossover & Driveway by owners after handover

Non-Mount Ref Nail At Base Of Kerb Assumed Datum 10.00 m

DECK SPIKE

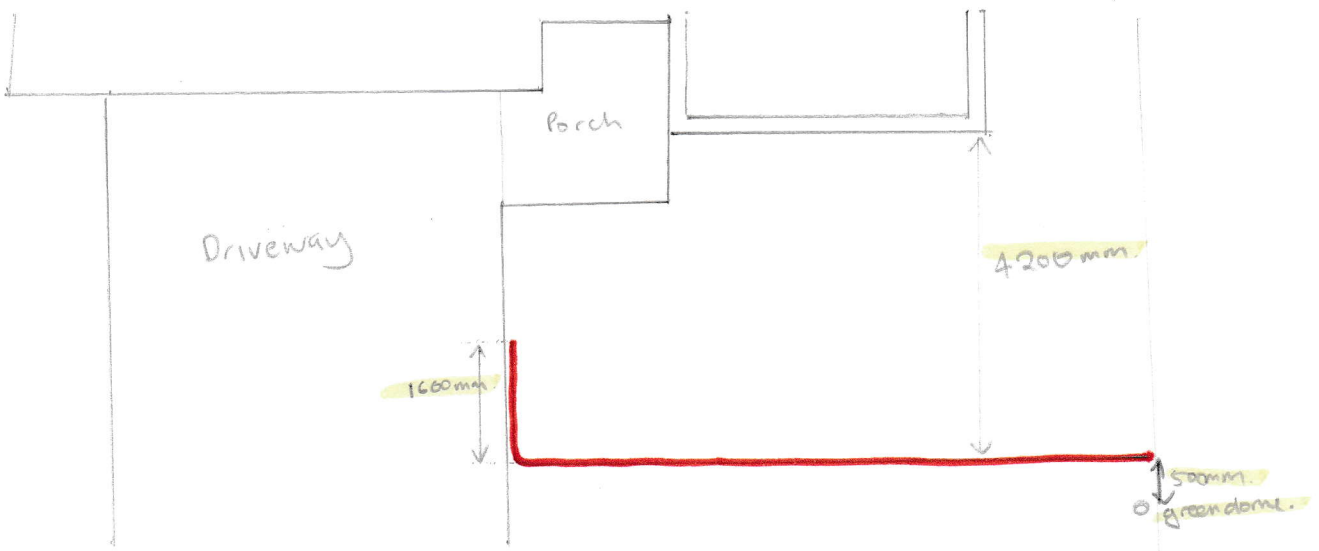
Crossover C Opp.

Sewer M/H Opp. (10.33)

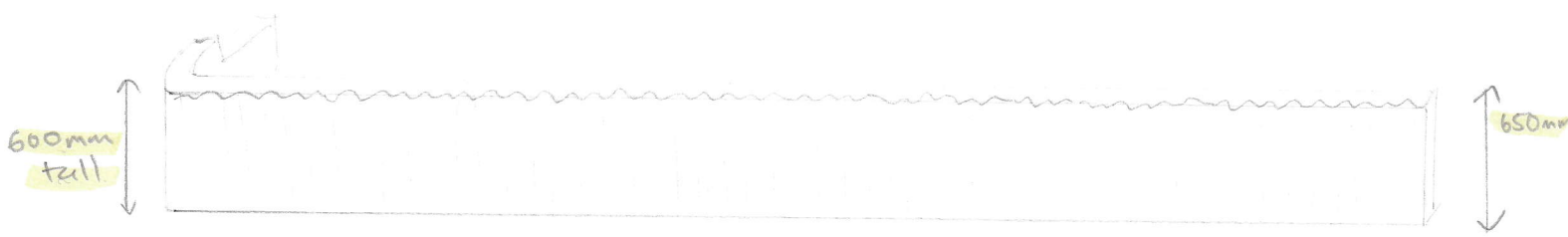
DECK SPIKE

Fyfe Circle Bitumen

Crossover C Opp.



Birdseye view to scale



Front view not to scale.

depend on slope of land.