

To Whom It May Concern,

Attached is the proposed Home occupation form and associated plans for 26 Hammad Street Palmyra.

The nature of the business will be Hairdressing which will include hair colouring and hair cutting.

The business hours proposed will be within Monday to Friday 9am-5pm with extended hours on Tuesdays within 9am-9pm.

It will be a small business approximately building up to weekly average of 10/15 people a week, with one person attending the premises at a time.

There will be no staff employed on these premises just owner/operator of myself Wendy Steele.

There will be no signage on or around the premises for this business. No deliveries will be necessary as stock will be collected.

There will be an allocated parking bay for patrons (as stated on the plans attached) with measurement of 6 metres by 3 metres.

Kind Regards

Wendy Steele

SITE CLASSIFICATION - CLASS 'A'
 (REFER TO SITE REPORT FOR
 DETAILS) WIND LOAD - N1
 CORROSION CLASSIFICATION - R3

BRICK NOTE
 - 2: FACE BRICK TO BE LAID IN THIRD BOND U.N.O

ROOF NOTE
 - COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
 - STEEL ROOF FRAME TO NASH STANDARDS
 - CEILINGS AT 31c+ PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
 - PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
 - FINAL POSITIONS OF RWPS TO BE DETERMINED ON SITE
 - RWPS IN PORCH TO BE STRAIGHT CONNECTION TO STORMWATER SYSTEM (NO KICK)

ROOF INSULATION NOTE
 - R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY EXTERNAL PLASTERBOARD OR VERSILUX CEILINGS IF APPL.

ELECTRICAL NOTE
 - INTERCONNECTED SMOKE DETECTORS TO COMPLY WITH AS3786-2014 AS INDICATED ON PLAN

FIXING CARPENTER NOTE
 - 4 No. 4500 SHELVES TO PANTRY AND LINEN UNO
 - 4500 SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. UNO
 - 4500 SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY

GARAGE NOTE
 - SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
 - FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG

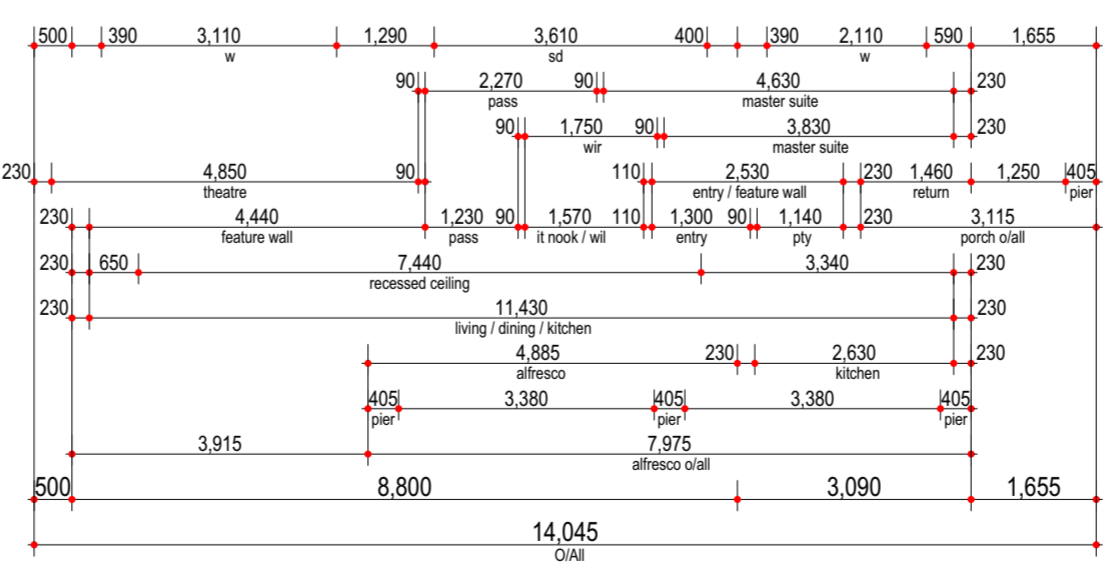
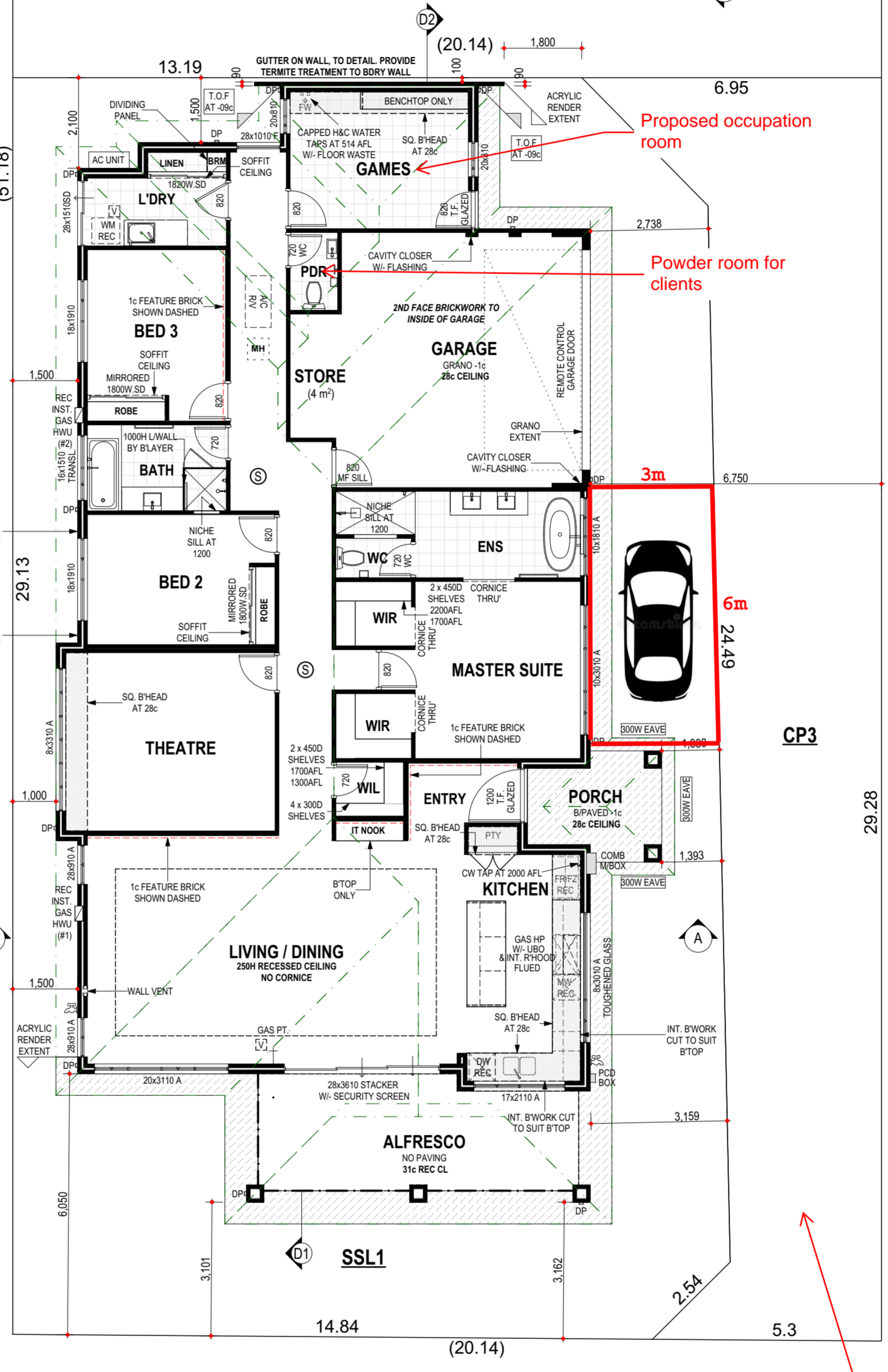
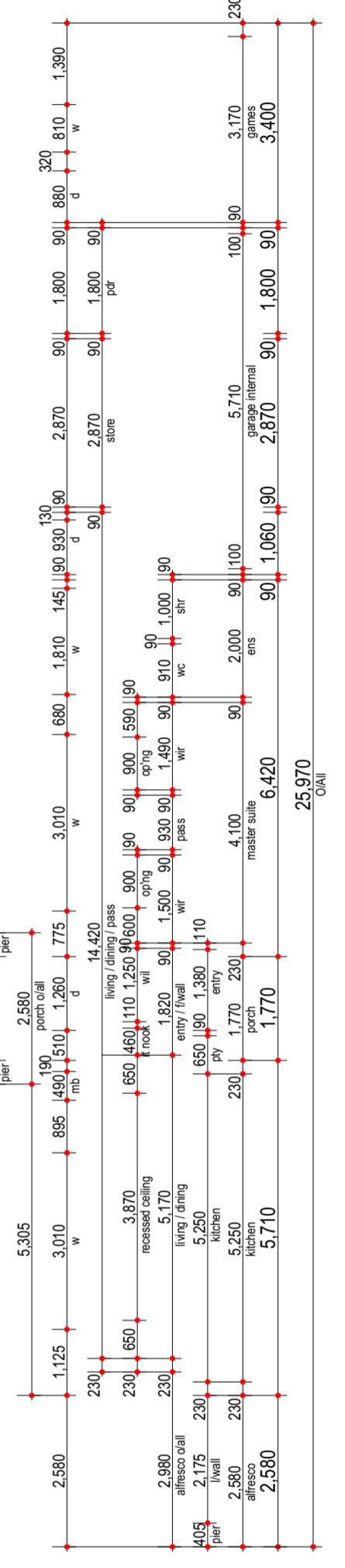
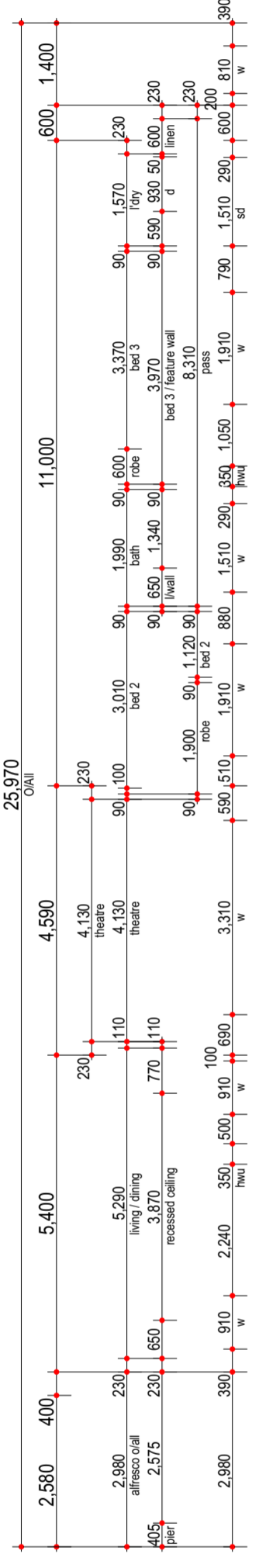
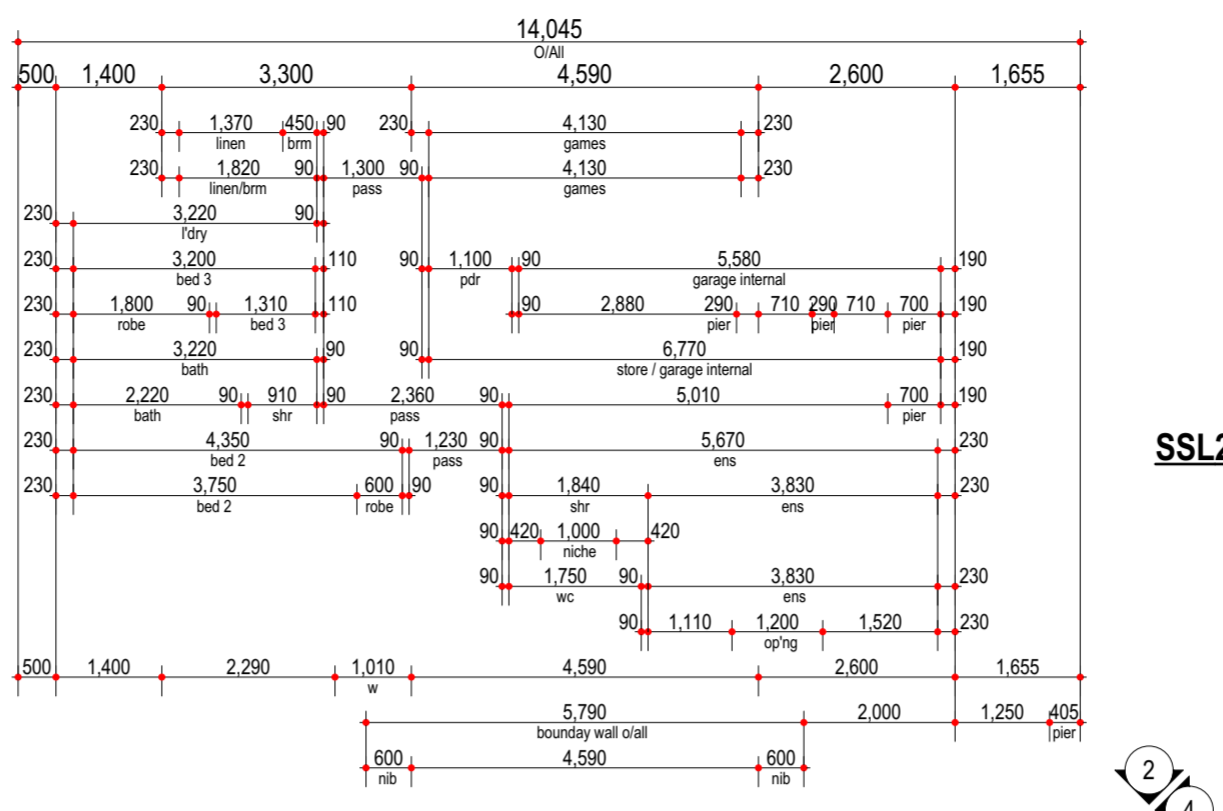
RENDER WALL NOTE
 - PROVIDE 28mm SCOTIA TO JUNCTIONS OF RENDERED WALLS & HIFLEX / VERSILUX CEILINGS

TRADES / SUPERVISOR NOTE
 - REFER TO STRUCTURAL ENGINEERS DETAILS
 - ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS & STANDARD SPECIFICATION
 - FINAL POSITIONS/NUMBER OF GARAGE PIERS TO BE DETERMINED UPON RECEIPT OF ENGS CERT. PLANS.

CEILING MATERIAL NOTE
 - PORCH (INC. AREAS SHOWN HATCHED) - VERSILUX C.L.
 - GARAGE - HARDIFLEX C.L.
 - ALFRESCO - PLASTERBOARD C.L.

DOOR NOTE
 - ALL DOOR & DOOR HARDWARE AS PER ADDENDUM
 - TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF THE B.C.A VOL. 2

PLASTERBOARD NOTE
 - PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS U.N.O.



AIRCON NOTE
 - PROVIDE REVERSE CYCLE AIR CONDITIONING. OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER
 - EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.

PLUMBER NOTE
 - NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE
 - PLUMBER TO INSTALL REFLUX VALVE IF REQUIRED.

HWU NOTE
 - HWU 1 TO SERVICE KITCHEN & ENS
 - HWU 2 TO SERVICE BATH, L'DRY, PDR & GAMES

PROVIDE CARPET FROM BUILDERS STANDARD RANGE TO ALL BEDROOMS (INC. ROBES) & THEATRE
 PROVIDE BLINDS THROUGHOUT (INC. WET AREAS)

DO NOT SCALE FROM THIS DRAWING
 All Sub-contractors to check dimensions & notes prior to initiating works.
 Any discrepancies to be notified to the Site Supervisor without delay.
 ALL DIMENSIONS TO BRICKWORK.

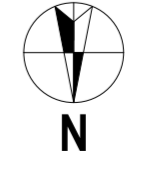
DocuSigned by:
 Hannah Starr
 DocuSigned by:
 Elyah Steele
 W.S. 1200 Aug-2020

PROPOSED RESIDENCE FOR:
 E. & W. STEELE
 ADDRESS:
 SSL 1 (#26) HAMMAD STREET,
 PALMYRA

DRAWN: PMI
 DESIGNED: PMI
 CHECKED: NJW
 DATE: 13.05.20
 MODEL: ONE OFF

SCALE: 1:100
 SHEET: 1 OF 9
 SIZE: A2
 SH
 JOB N° 158536
 FLOOR PLAN

Issue Name: V002
 Drawn: PMI
 Date: 11.08.20
 Issue Name: V004
 Drawn: PMI
 Date: 24.08.20



FLOOR PLAN

	Area m²	Perim. L/m
1. FLOOR PLAN	220.20	83.20
2. GARAGE / STORE	37.84	25.92
3. PORCH	6.85	11.39
4. ALFRESCO	22.53	21.91
5. TOTAL AREA	287.42	80.03
6. ROOF	321.45	81.54

R-CODES NOTE:

ZONING: R20
SITE COVERAGE
 SITE: 472m² + CP: 58m² = 530m²
 ALLOWED COVER: 50% (265m²)
 ACTUAL COVER: 49.2% (260.6m²)
 VERGE AREA: 133.7m²

R-CODES VARIATION/PLANNING
REQUIRED: YES
 - OUTDOOR/LIVING FORWARD OF PRIMARY STREET SETBACK
 - RETAINING > 500mm
 - BOUNDARY WALL HEIGHT AVERAGE > 3000mm

GARAGE NOTE:
 - FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING

NOTE:
 - PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX, DUAL CONDUITS & DRAW WIRES REQUIRED IF TWO COMMUNICATION PITS AVAILABLE

PLUMBING NOTE:
 - PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE

STORMWATER:
 - INTERCONNECTED SOAKWELLS BY BUILDER (MIN 1.8m FROM BUILDING LINE & BDRY'S). ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE W/ A.S. 3500.3:2003, CLAUSE 3.1.2.1 & 3.1.2.5 BCA VOL. 2 & LOCAL AUTHORITY REQ.

Soak Well Type	No.	Capacity
SW 1500x1200	1	2.1 m ³
SW 1500x1500	1	2.7 m ³
Total Capacity		4.8 m³
Roof Area GF		317.2 m ²
Paved Area		15.3 m ²
Total Area		332.5 m²
Capacity Required (Area x 0.0130)		4.3 m ³
Extra Capacity Provided		0.4 m ³

DEMO NOTE:
 ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
 LEVEL SUBJECT TO FINAL SURVEY.
 EXISTING BUILDING, TREES & ALL RUBBLE TO BE REMOVED BY CLIENT PRIOR TO CONSTRUCTION. ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m OF THE BUILDING ENVELOPE.

RETAINING CONTRACTOR NOTE:
 - TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
 - ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQ. BY ENG. DETAIL.
 - REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
 - REFER TO ENGINEERS DETAILS

DISCLAIMER:
 Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

DISCLAIMER:
 Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:
 Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances.
 Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:
 Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

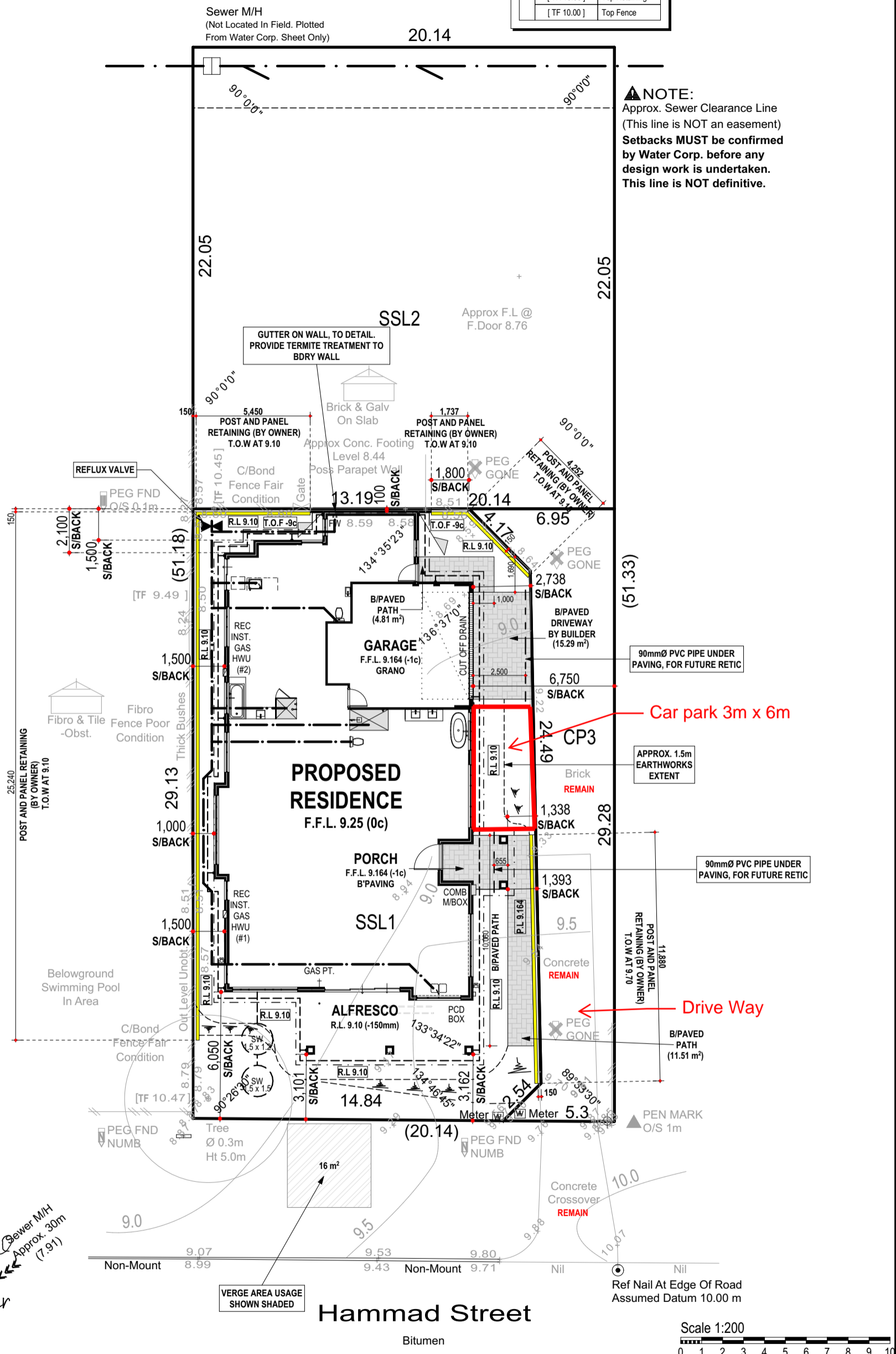
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Hannah Starr
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 27-Aug-2020

NOTE: Unable to Calculate Sewer Junction Depth Due to Lack of Information on Water Corporation E-Plan. Verify Junction Invert, Depth & Details With Water Corporation.
 BUILDER and PLUMBER check GRADE
 Sewer Junction Inv: 6.7 NOTE: UP
 Sewer Junction Inv: 7.2 NOTE: UP

LEGEND

⊕	SEC Dome
⊖	Power Pole
⊠	Phone Pits
⊞	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

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ALL DIMENSIONS TO BRICKWORK.



NOTE:
 Approx. Sewer Clearance Line (This line is NOT an easement)
Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.
 This line is NOT definitive.

Car park 3m x 6m
 APPROX. 1.5m EARTHWORKS EXTENT

Drive Way

Hammad Street
 Bitumen

Scale 1:200
 0 1 2 3 4 5 6 7 8 9 10

COTTAGE & ENGINEERING SURVEYS Licensed Surveyors 87-89 Guthrie Street, Osborne Park, Western Australia. Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998. Email: perth@cottage.com.au Website: www.cottage.com.au	AREA: 472m ² + CP: 58m ² = 530m ² SHIRE: MELVILLE D.PLAN: 79474 C/T VOLUMM: 2968 FOLIO: 410 MSD REF: 431-17/29	ROAD DESCR.: BITUMEN KERBING: NON-MOUNT / NIL FOOTPATH: NIL SOIL: RTS DRAINAGE: GOOD VEGETATION: RTS	GAS: YES WATER: YES ELECTRICITY: U/G PH/COMMS: YES SEWER: YES COASTAL: NO	SSA/OLD AREAS: OLD A. C/JOB#: 462444 DATE: 29.11.19 SCALE: 1:200 DRAWN: M. BATEMAN	UNLOGGED SS PLAN: N/A ORIGINAL LOT: LOT 40 ON PLAN 2541 CP MISCLOSE: 0.011m SSL 1 MISCLOSE: 0.010m SSL 2 MISCLOSE: 0.000m
	DRAWN: PMI DESIGNED: NJW CHECKED: NJW DATE: 13.05.20 MODEL: ONE OFF	SCALE: 1:200 SHEET: 9 OF 9 SIZE: A3 SH JOB N° 158536	Issue Name: V002 Drawn: PMI Date: 11.08.20	Issue Name: V004 Drawn: PMI Date: 24.08.20	Issue Name: [Blank] Drawn: [Blank] Date: [Blank]

PROPOSED RESIDENCE FOR:
E. & W. STEELE
 ADDRESS:
 SSL I (#26) HAMMAD STREET,
 PALMYRA

BUILT AROUND PEOPLE



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