

PROPOSED RESIDENCE FOR:

THOMSON & KAPOVIC

LOT 309 (#85) GILBERTSON ROAD, KARDINYA W.A.

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THIS IS ONE OF THE DRAWINGS		RIATIO	NS		CLIENT: THOMSON &	KAPOVIC	INDIVIDUAL		
REFERED TO IN THE CONTRACT :	REVISION	DATE	BY	CHK BY		MAPOVIC	INDIV	IDUAL	
	WD	24/02/21	DON	TL	SITE ADDRESS:				
OWNERDATE					LOT 309 (#85)		SHEET N°:	JOB N°:	
					GILBERTSON RO	AD		JOB N .	
OWNERDATE					KARDINYA		1 OF 15		
•					CITY OF MELVILL	.E	SCALE: AS SHOWN	20-0623	
BUILDERDATE					DRAWN: TL	DATE: 31/03/2021	SCALE: AS SHOWN		

New Sensation Homes

Elec.

U/Ground

SURVEYS

Licensed Surveyors

	CLIENT:	Thoms	son &			-062
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	IUIIILLKIIIU Telephone: (08)	treet, Osborne Park, V 9446 7361 Facsimile	1 2

Yes

Sewer

Email: perth@cottage.com.au Website: www.cottage.com.au J/No: 488683 Website: www.cottage.com.au Drawn: B. Saliba

Yes

4

Water

▲ DISCLAIMER: Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

 DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary. ▲ DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

▲ DISCLAIMER:
Cottage & Engineering surveys accept no
responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

THIS IS ONE OF THE DRAWINGS REFERED TO IN THE CONTRACT

OWNER ..DATE.. OWNER ..DATE... BUILDER ..DATE...



7/42 COLLINGWOOD STREET, OSBORNE PARK 6017 E: INFO@NEWSENSATION.COM.AU W: NEWSENSATIONHOMES.COM.AU

VARIATIONS

REVISION	DATE	BY	CHK BY
WD	24/02/21	DON	TL

CLIENT NAME **THOMSON & KAPOVIC** ITE ADDRESS LOT 309 (#85)

GILBERTSON ROAD KARDINYA

CITY OF MELVILLE

INDIVIDUAL COPYRIGHT DRAWN BY DATE SCALE SHEET No. 10/12/20 1:200 2 OF 15 THIS DESIGN AND DRAWING SHALL ALWAYS REMAIN THE PROPERTY OF NEW SENSATION HOMES AND JOB No.

20-0623

MAY NOT BE FULLY OR IN PART REPRODUCED OR ALTERED IN ANY WAY WITHOUT THE WRITTEN

PERMISSION OF THE PROPRIETORS.

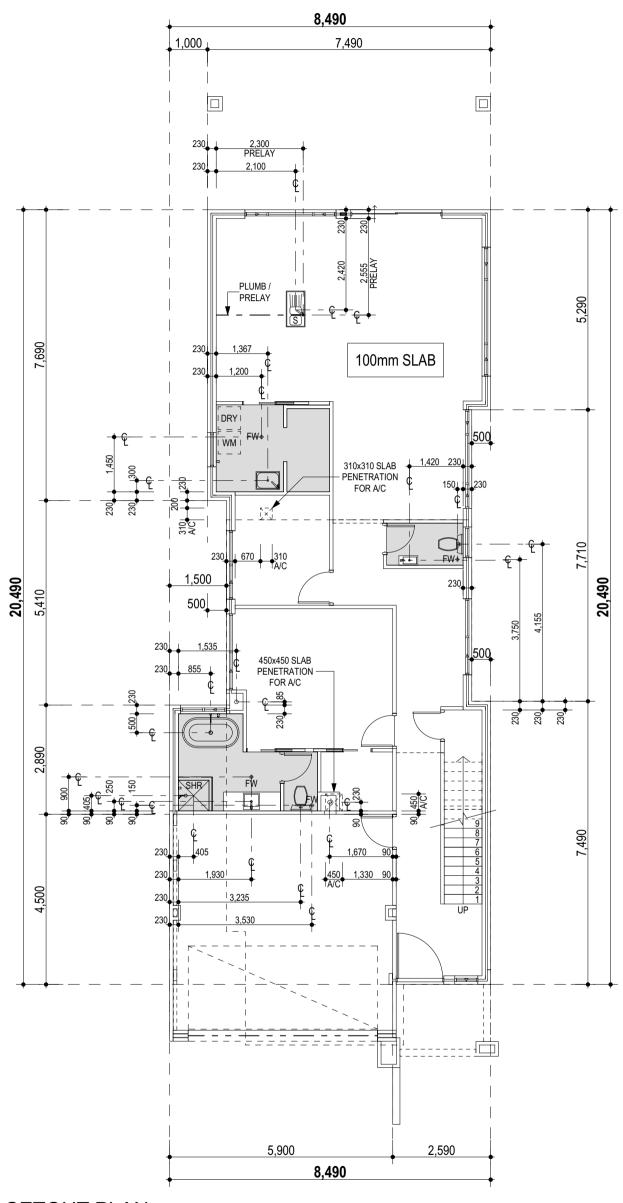
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NOTE:
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

Version: 2, Version Date: 31/03/2021

	87-89 Guthrie Street, Osborne Park, Western Australia
COTTAGE & ENGINEERING	Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998 Builder: New Sensation Homes CLIENT: Thomson & Kanovia
SURVEYS	DATE: COALE: DRAWN: LOT 309 #85 Gilbertson Road, Kardinya (DITP 10.00) Top Pillar/Pos
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Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of	Sewer Junction
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	Alfresco UMR Alfresco R.L. 11.514 NEW POST & PANEL RETAINING. TOP @ 11.87
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7/42 COLLINGWOOD STREET, OSBORNE PARK 6017	Ref Spinghead Nail At Base Of Kerb Semi-Mount 9.91 9.88 Nil 14.5%
E: INFO@NEWSENSATION.COM.AU W: NEWSENSATIONHOMES.COM.AU VARIATIONS	Assumed Datum-10.00 m. — . — . — . — . — . — . — . — . — .
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COTTACE & ENCINEERING	87-89 Guthrie Street, Osborne Park, Western Australia Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998 Builder: New Sensation Homes OLD AREA OLD AREA OLD TO Phone Pits					
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SOIL DESCRIPTION	(This line is NOT an easement) Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.					
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E: INFO@NEWSENSATION.COM.AU W: NEWSENSATIONHOMES.COM.AU	Assumed Balanta-1. 4 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -					
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GROUND FLOOR SETOUT PLAN 1:100



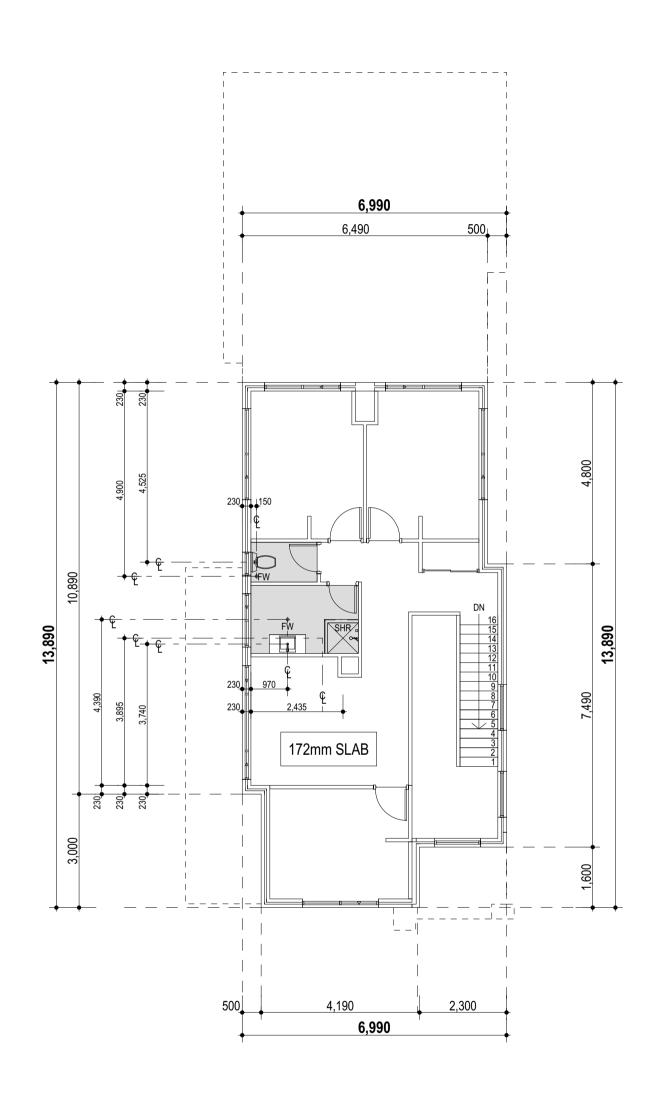
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DATE: 31/03/2021

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UPPER SETOUT PLAN 1:100



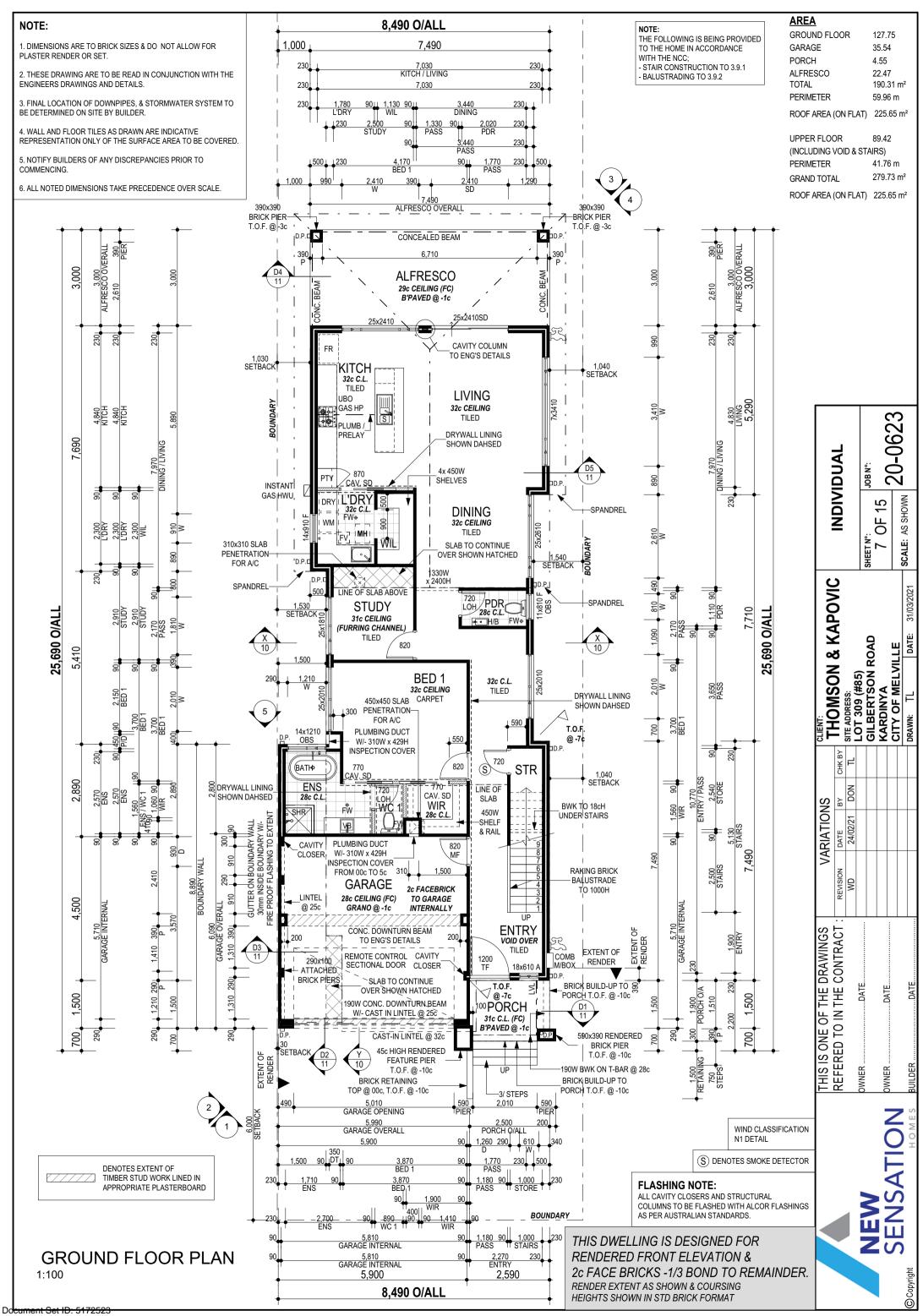
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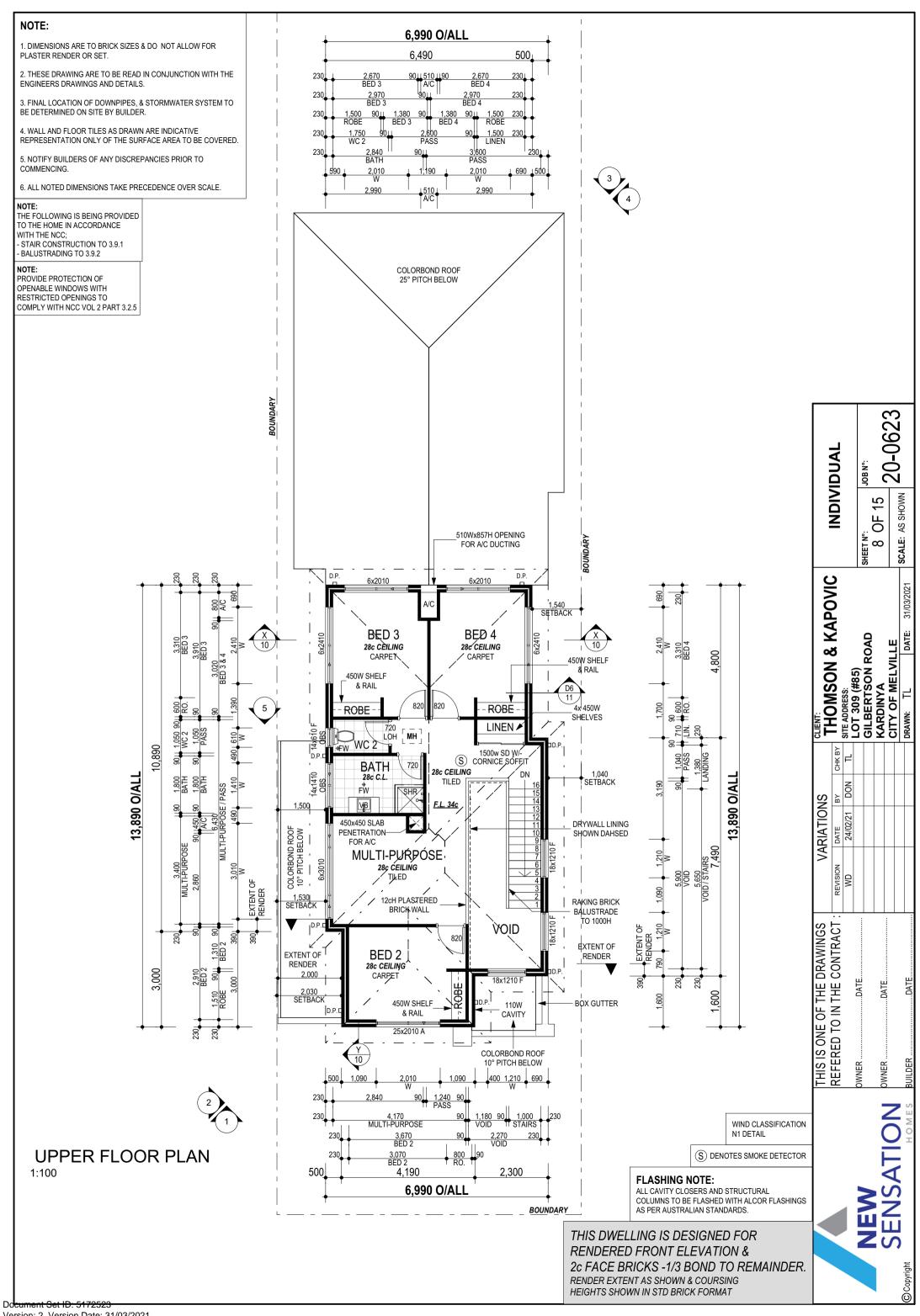
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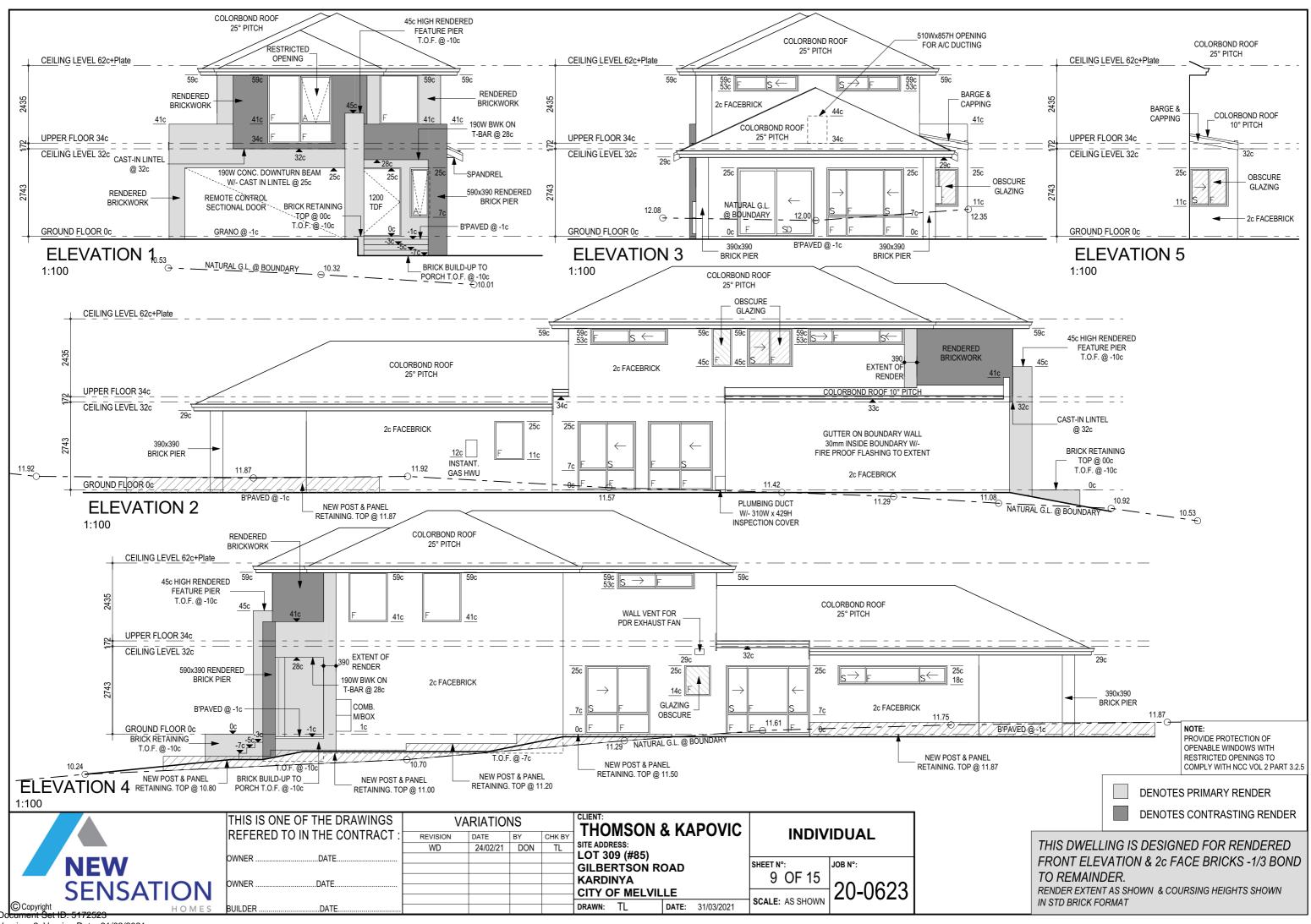
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INDIV	IDUAL
	JOB N°:
6 OF 15	

6 OF 15 20-0623











CITY OF MELVILLE 10 ALMONDBURY ROAD BOORAGOON WA 6154

10/03/21

Att: Planning Services

Re: Lot 309 (#85b) Gilbertson Road, Kardinya

We would like to submit our plans for Development approval, and variation to the R-Codes and we would like to take this opportunity to comment under performance criteria of the Residential Planning Codes.

This proposal is for a single two storey dwelling on survey strata lots.

In relation to the amenity impact, the proposed residences will not dominate any of the adjoining properties.

We are asking Council to exercise its discretion in varying the following R-Code policies

- 1. 5.1.3 Lot Boundary Setbacks
- 2. 5.2.2 Garage Width

1. Lot Boundary Setbacks

The objectives of the R-Codes is to ensure that residential development meets community expectations in regard to appearance, use and density. To ensure that open space (private and communal) is provided on site and, landscaped to establish streetscapes, provide a balanced setting and relationship to buildings; and provide privacy, direct sun and recreational opportunities.

The setback to the Entry and Void to the northern boundary has been reduced for the wall height. A 1 meter setback has been provided where a 1.2 meter setback is required. Also the setback to the Laundry, Kitchen and Alfresco is 1 meter where a 1.5 meter setback is required. We are asking for council to exercise discretion on this item for the following reasons and our justification as why the council would be reasonable in granting this concession is as follows:

- i. Does not compromise the design principle contained in clause 5.1.3 P3.1
- ii. We will not have any adverse effect on the amenity of the neighbouring property, in relation to overshadowing (RHS wall).
- iii. Usable area has been provided in the design considering the width constraints of the lot.
- iv. Design does not have any adverse effects on the neighbouring properties.





2. Garage Width

The objectives of the R-Codes is to ensure that residential development meets community expectations in regard to appearance, use and density. To ensure that open space (private and communal) is provided on site and, landscaped to establish streetscapes, provide a balanced setting and relationship to buildings; and provide privacy, direct sun and recreational opportunities.

The proposed garage with is 5.99m and the block width is 9.56m The garage width equates to 62.65% which is over the allowable 50%. We are asking for council to exercise discretion on this item for the following reasons and our justification as why the council would be reasonable in granting this concession is as follows:

- i. The design principals in clause 5.2.2 P2 have not been compromised. The upper floor overhangs the garage as well as there being a large blade wall with a prominent porch also being provided so that the garage opening visual impact is reduced significantly.
- ii. The proposed design compliments the existing developments adjacent.

Should you require any additional information please contact me on 08 9463 1123

Yours faithfully

Tristan Lodge

Design / Drafting Manager NEW SENSATION HOMES