

PROPOSED RESIDENCE FOR:
THOMSON & KAPOVIC

LOT 309 (#85)

GILBERTSON ROAD, KARDINYA W.A.

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- SHEET 15 - ELECTRICAL PLAN & UPPER ELECTRICAL PLAN**



THIS IS ONE OF THE DRAWINGS REFERED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

| VARIATIONS | | | |
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| REVISION | DATE | BY | CHK BY |
| WD | 24/02/21 | DON | TL |
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CLIENT:
THOMSON & KAPOVIC

SITE ADDRESS:
LOT 309 (#85)
GILBERTSON ROAD
KARDINYA
CITY OF MELVILLE

DRAWN: TL DATE: 31/03/2021

| | |
|----------------------|---------------------------|
| INDIVIDUAL | |
| SHEET N°: 1 OF 15 | JOB N°: 20-0623 |
| SCALE: AS SHOWN | |

LOT 309

Latitude -32°4'11.74" Longitude 115°49'8.912"

| | |
|------------|-----------------|
| ⊕ | SEC Dome |
| ⊖ | Power Pole |
| [T] [C] | Phone Pits |
| [W] | Water Conn. |
| [TP] 10.00 | Top Pillar/Post |
| [TW] 10.00 | Top Wall |
| [TR] 10.00 | Top Retaining |
| [TF] 10.00 | Top Fence |

New Sensation Homes

CLIENT: **Thomson & Kapovic** CONTRACT / JOB NO. **20-0623**
 MAP REF. **432 A9**
 SITE SURVEY **COASTAL NO**
(Scaled from StreetSmart Directory Only - Confirm With Site)
LOT 309 **OLD AREA**
 #85 Gilbertson Road
 Suburb **Kardinya**
 Loc.Auth. **CITY OF MELVILLE**
 D.Plan **418007** Volume **2990** Folio **375**
 Location **Check Title**

▲ DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

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OWNERDATE.....

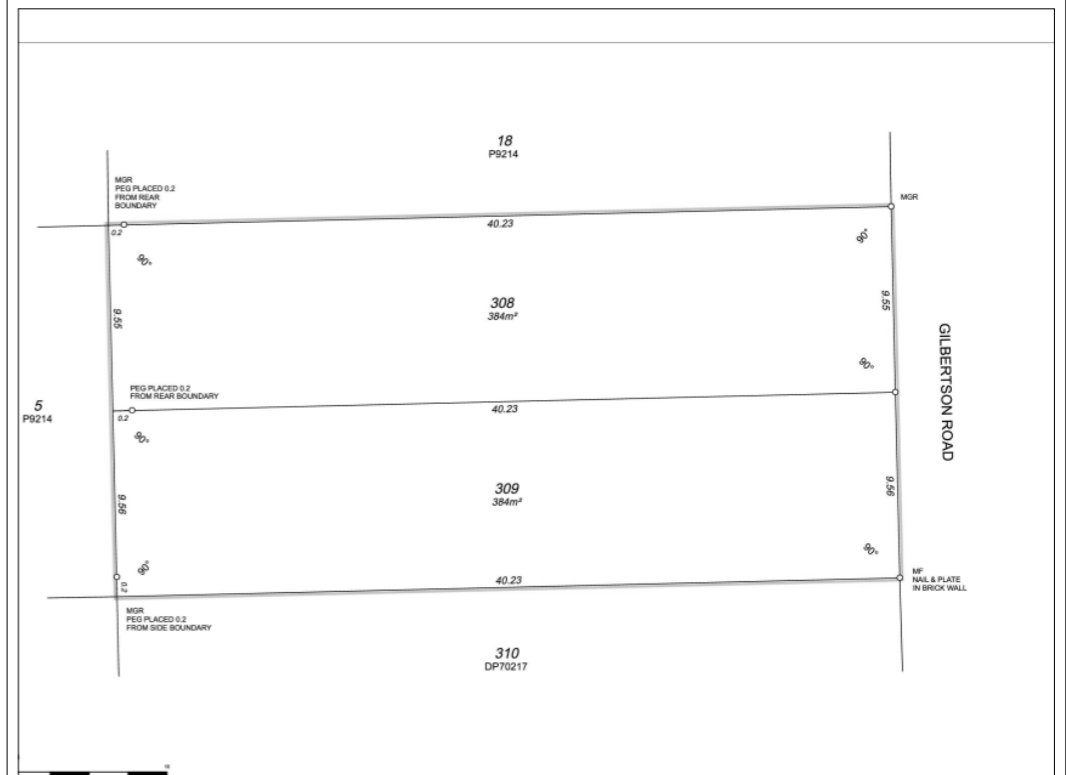
BUILDERDATE.....



NEW SENSATION HOMES
 7/42 COLLINGWOOD STREET, OSBORNE PARK 6017
 E: INFO@NEWSSENSATION.COM.AU W: NEWSSENSATIONHOMES.COM.AU

VARIATIONS

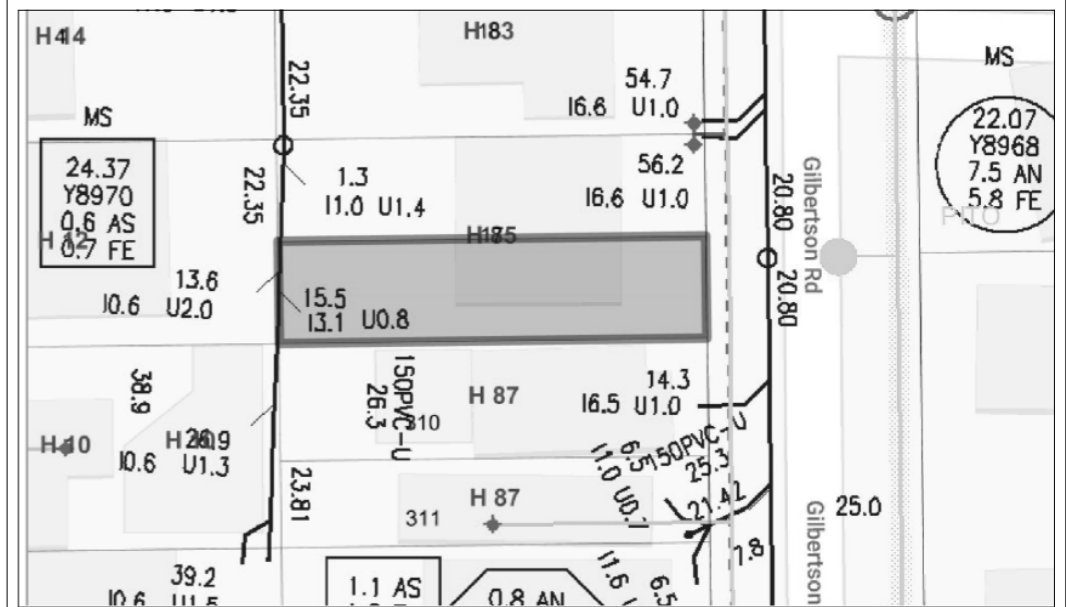
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Elec. U/Ground Water Yes Sewer Yes

Gas Check Your Lot With Alinta Phone Comms Not loc. Footpath Concrete

Road Bitumen Kerb Mountable Drainage Good



CLIENT NAME **THOMSON & KAPOVIC**

SITE ADDRESS **LOT 309 (#85) GILBERTSON ROAD KARDINYA**

SHIRE **CITY OF MELVILLE**

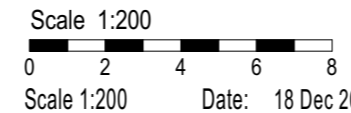
INDIVIDUAL

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|----------|----------|-------|-----------|
| DRAWN BY | DATE | SCALE | SHEET No. |
| TL | 10/12/20 | 1:200 | 2 OF 15 |

THIS DESIGN AND DRAWING SHALL ALWAYS REMAIN THE PROPERTY OF NEW SENSATION HOMES AND MAY NOT BE FULLY OR IN PART REPRODUCED OR ALTERED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE PROPRIETORS.

JOB No. **20-0623**



▲ NOTE:
 TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

COTTAGE & ENGINEERING SURVEYS 87-89 Guthrie Street, Osborne Park, Western Australia
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
 Email: perth@cottage.com.au Website: www.cottage.com.au
 J/No: 488683 Drawn: B. Saliba

NOTE : EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

| | |
|------------|-----------------|
| ⊕ | SEC Dome |
| ⊖ | Power Pole |
| ⊕ | Phone Pits |
| ⊖ | Water Conn. |
| [TP 10.00] | Top Pillar/Post |
| [TW 10.00] | Top Wall |
| [TR 10.00] | Top Retaining |
| [TF 10.00] | Top Fence |

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LOT MISCLOSE

0.000 m

SOIL DESCRIPTION

Sand
Light Grass Cover

NOTE:
EXTENT OF RETAINING & DROPPED FOOTINGS SHOWN ARE APPROXIMATE ONLY AND ARE TO BE CONFIRMED.

STORMWATER NOTE:
BUILDER TO PROVIDE STORMWATER DISPOSAL TO LOCAL AUTHORITIES REQUIREMENTS.

NOTE:
SAND PAD LEVEL TO BE WITHIN 50mm OF NOMINATED LEVEL.

NOTE:
BUILDER TO PROVIDE CONDUIT & DRAW WIRE IN TRENCH FOR FUTURE TELECOMMUNICATION RUN IN BY OWNER.

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OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....



7/42 COLLINGWOOD STREET, OSBORNE PARK 6017
E: INFO@NEWSSENSATION.COM.AU W: NEWSSENSATIONHOMES.COM.AU

VARIATIONS

| REVISION | DATE | BY | CHK BY |
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| WD | 24/02/21 | DON | TL |
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CLIENT NAME
THOMSON & KAPOVIC
SITE ADDRESS
**LOT 309 (#85)
GILBERTSON ROAD
KARDINYA**
SHIRE
CITY OF MELVILLE

INDIVIDUAL

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|---|----------|-------|---------------------------|
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SITE PLAN

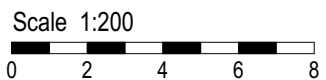
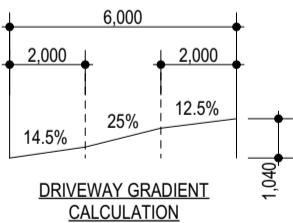
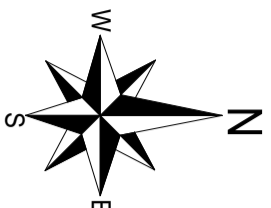
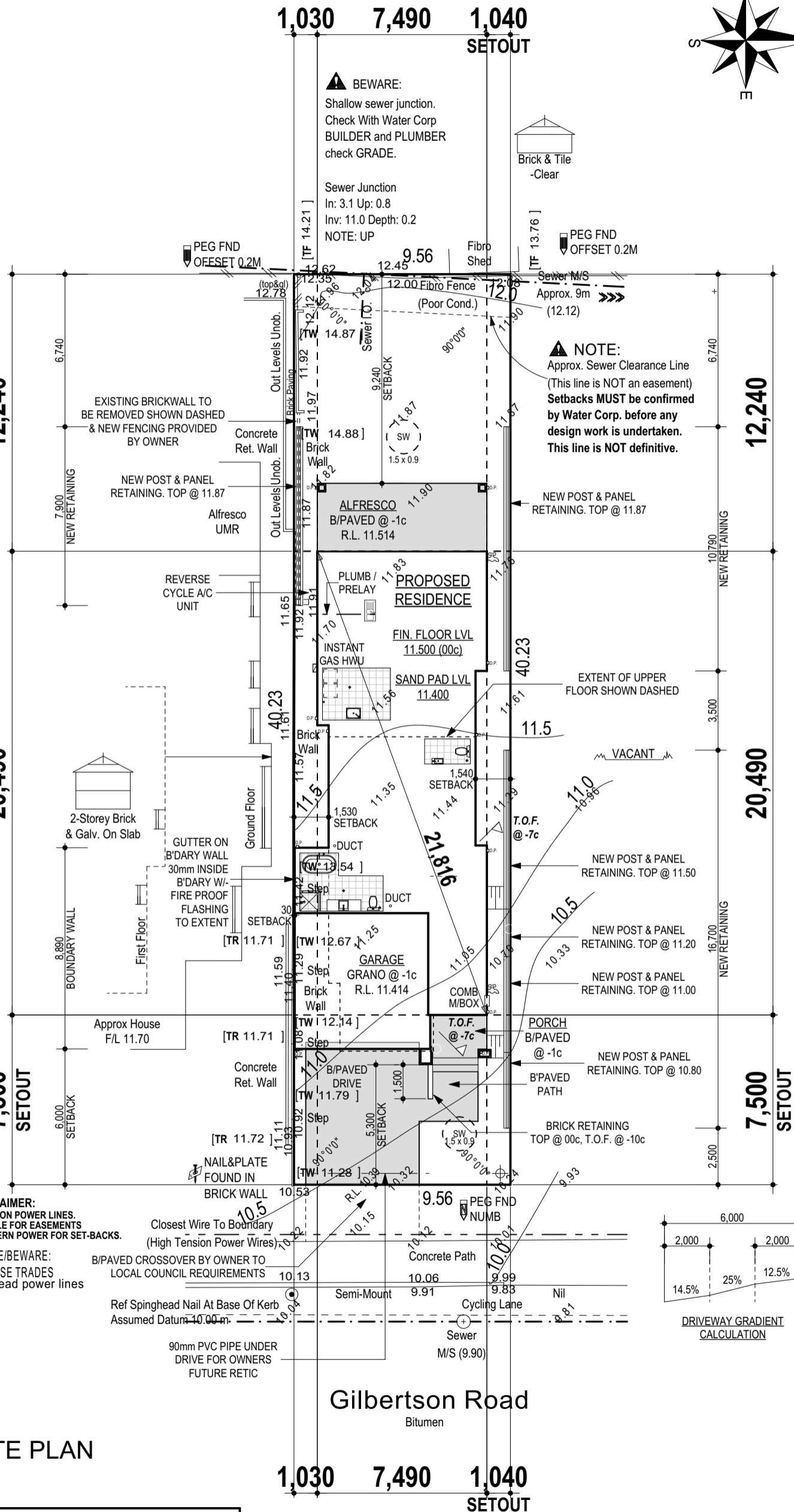
1:200

DISCLAIMER:
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

NOTE/BEWARE:
ADVISE TRADES O/Head power lines

B/PAVED CROSSOVER BY OWNER TO LOCAL COUNCIL REQUIREMENTS
Ref Spinghead Nail At Base Of Kerb Assumed Datum 10.00m

90mm PVC PIPE UNDER DRIVE FOR OWNERS FUTURE RETIC



NOTE:
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

| | |
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0.000 m

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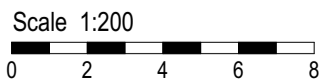
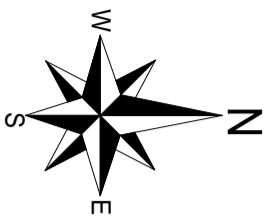
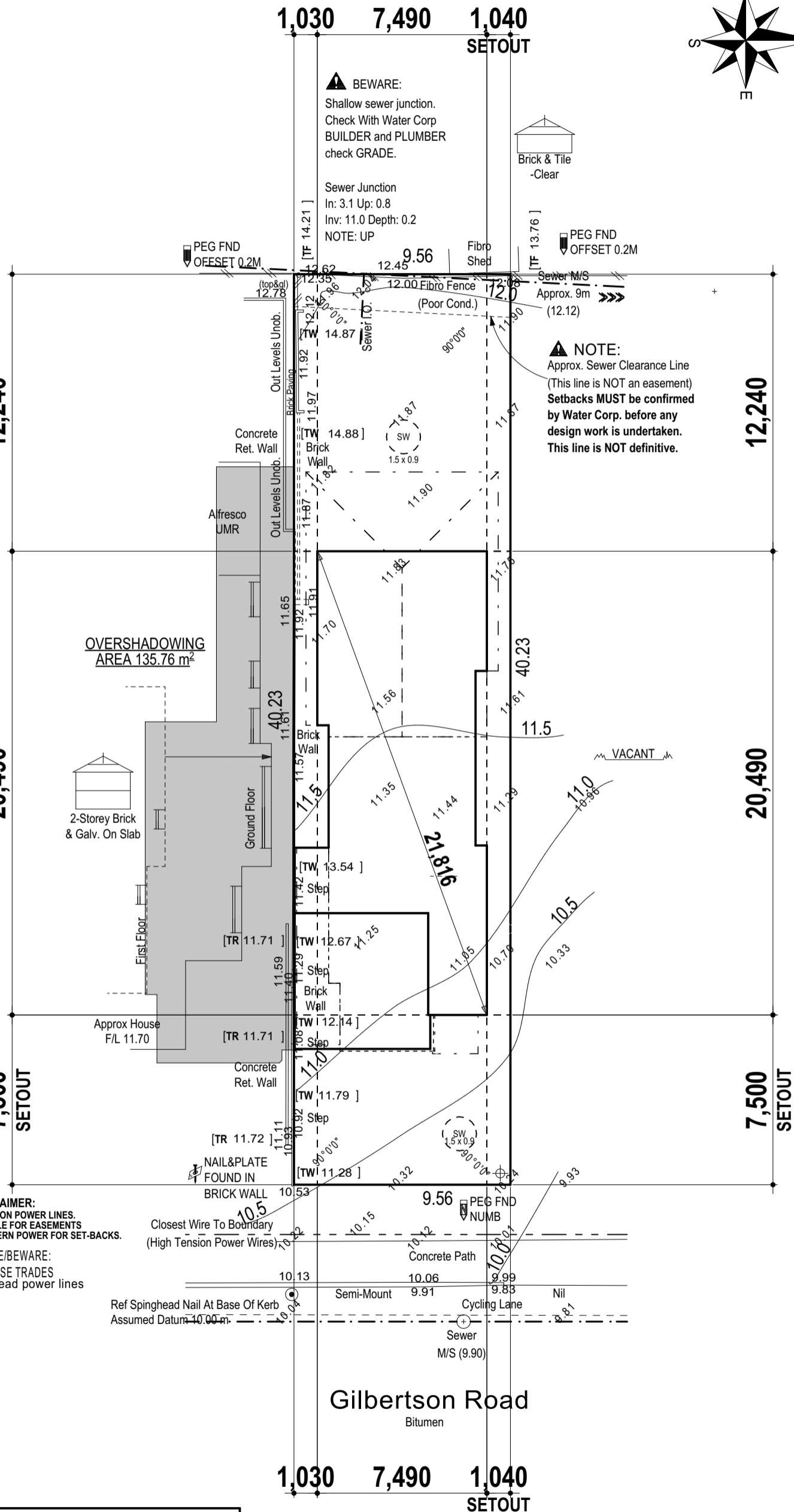
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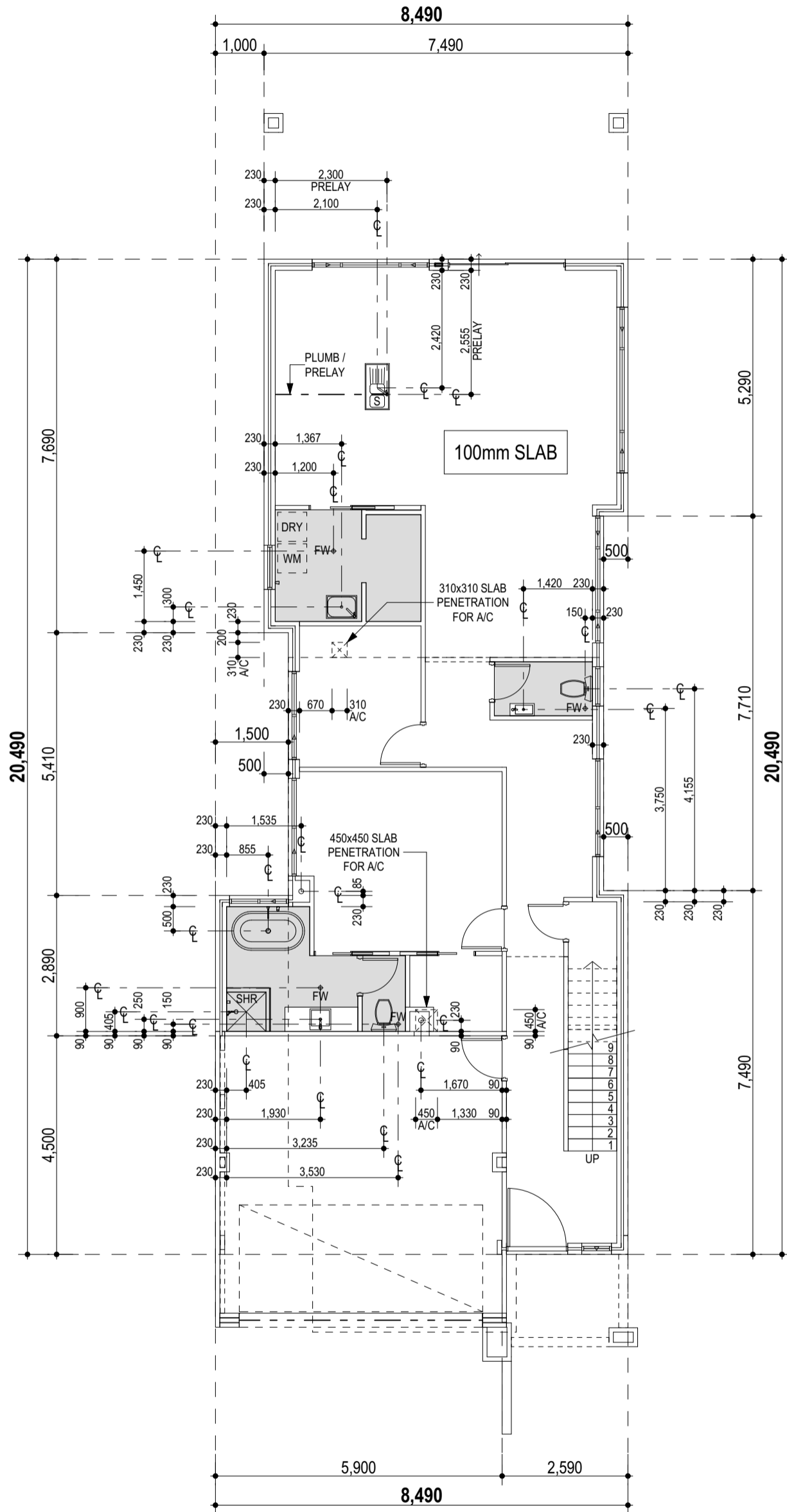
CLIENT NAME
THOMSON & KAPOVIC
 SITE ADDRESS
**LOT 309 (#85)
 GILBERTSON ROAD
 KARDINYA**
 SHIRE
CITY OF MELVILLE

INDIVIDUAL

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|---|----------|-------|---------------------------|
| DRAWN BY | DATE | SCALE | SHEET No. |
| TL | 10/12/20 | 1:200 | 4 OF 15 |
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GROUND FLOOR SETOUT PLAN

1:100



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CLIENT: **THOMSON & KAPOVIC**

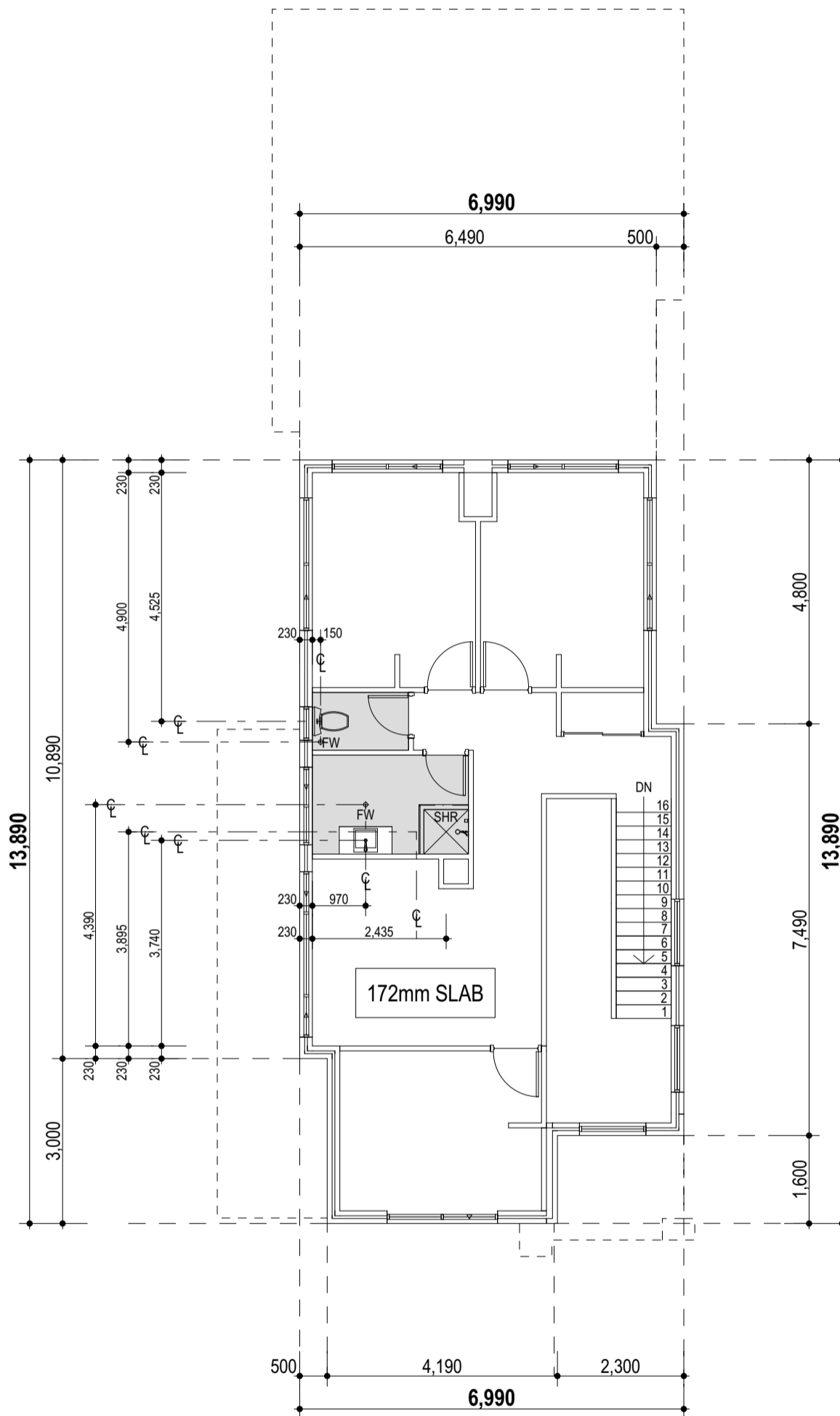
SITE ADDRESS:
LOT 309 (#85)
GILBERTSON ROAD
KARDINYA
CITY OF MELVILLE

DRAWN: TL DATE: 31/03/2021

INDIVIDUAL

SHEET N°: **5 OF 15** JOB N°: **20-0623**

SCALE: AS SHOWN



UPPER SETOUT PLAN
1:100



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BUILDERDATE.....

| VARIATIONS | | | |
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CLIENT:
THOMSON & KAPOVIC

SITE ADDRESS:
**LOT 309 (#85)
GILBERTSON ROAD
KARDINYA
CITY OF MELVILLE**

DRAWN: TL DATE: 31/03/2021

INDIVIDUAL

SHEET N°:
6 OF 15

JOB N°:
20-0623

SCALE: AS SHOWN

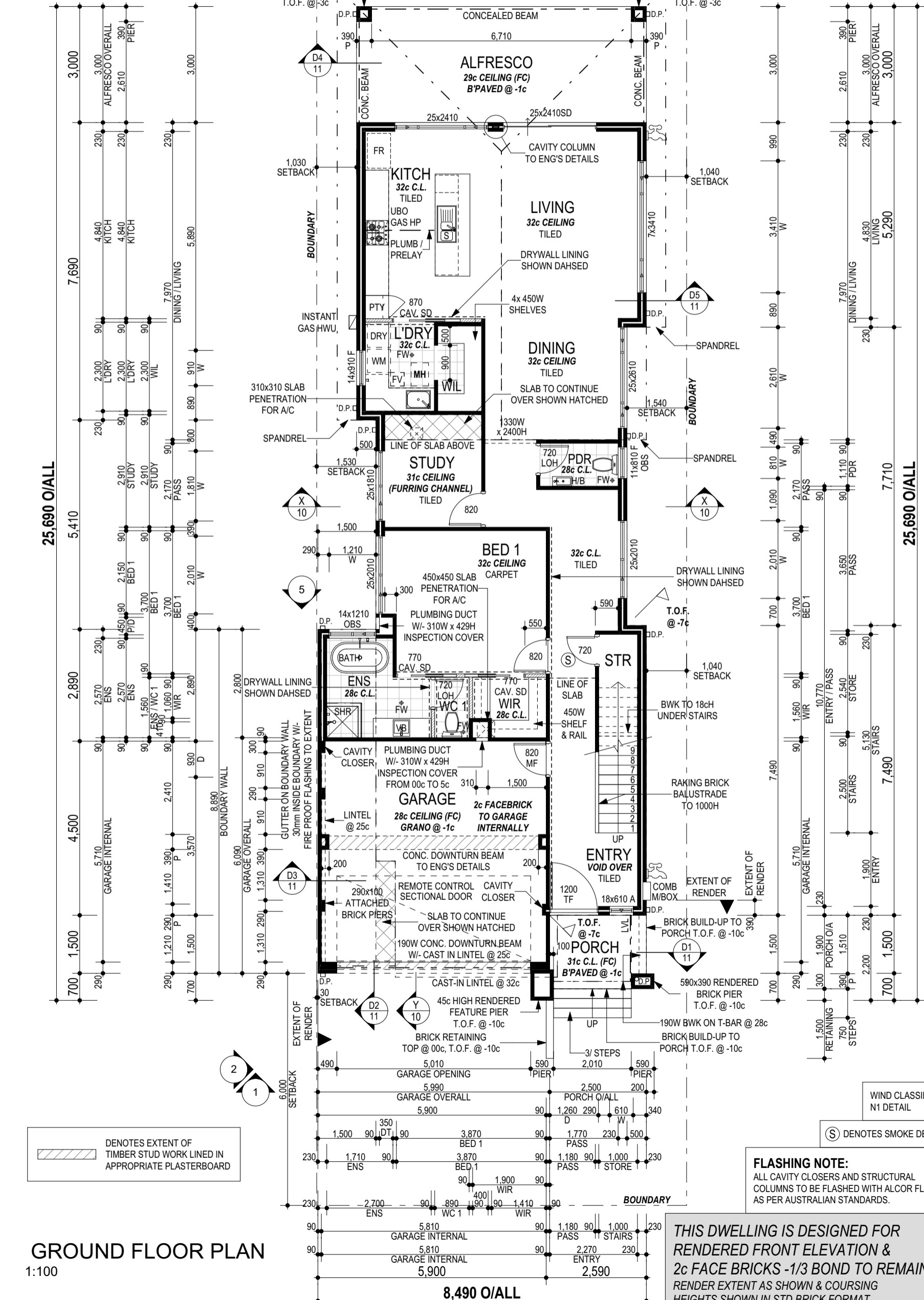
NOTE:

1. DIMENSIONS ARE TO BRICK SIZES & DO NOT ALLOW FOR PLASTER RENDER OR SET.
2. THESE DRAWING ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERS DRAWINGS AND DETAILS.
3. FINAL LOCATION OF DOWNPIPES, & STORMWATER SYSTEM TO BE DETERMINED ON SITE BY BUILDER.
4. WALL AND FLOOR TILES AS DRAWN ARE INDICATIVE REPRESENTATION ONLY OF THE SURFACE AREA TO BE COVERED.
5. NOTIFY BUILDERS OF ANY DISCREPANCIES PRIOR TO COMMENCING.
6. ALL NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

NOTE:
 THE FOLLOWING IS BEING PROVIDED TO THE HOME IN ACCORDANCE WITH THE NCC:
 - STAIR CONSTRUCTION TO 3.9.1
 - BALUSTRADING TO 3.9.2

AREA

| | |
|---------------------------|-----------------------|
| GROUND FLOOR | 127.75 |
| GARAGE | 35.54 |
| PORCH | 4.55 |
| ALFRESCO | 22.47 |
| TOTAL | 190.31 m ² |
| PERIMETER | 59.96 m |
| ROOF AREA (ON FLAT) | 225.65 m ² |
| UPPER FLOOR | 89.42 |
| (INCLUDING VOID & STAIRS) | |
| PERIMETER | 41.76 m |
| GRAND TOTAL | 279.73 m ² |
| ROOF AREA (ON FLAT) | 225.65 m ² |



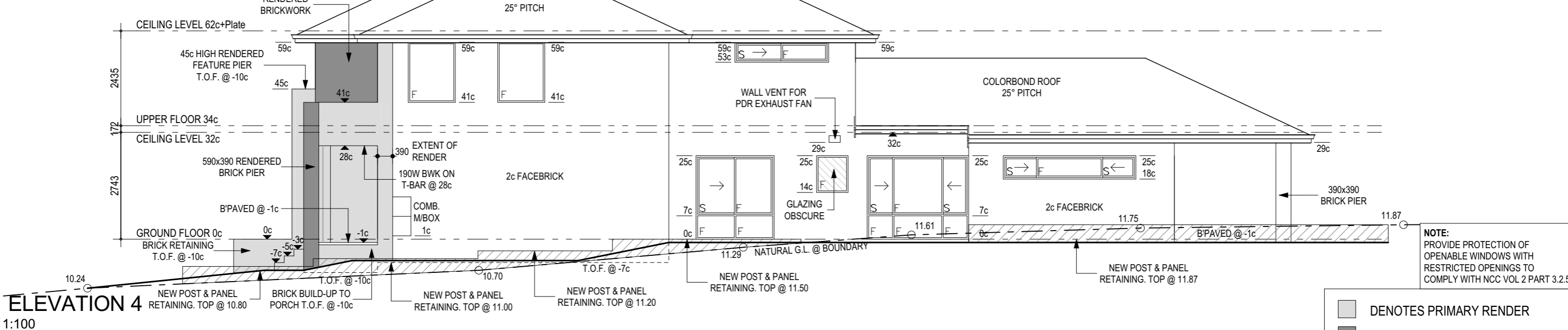
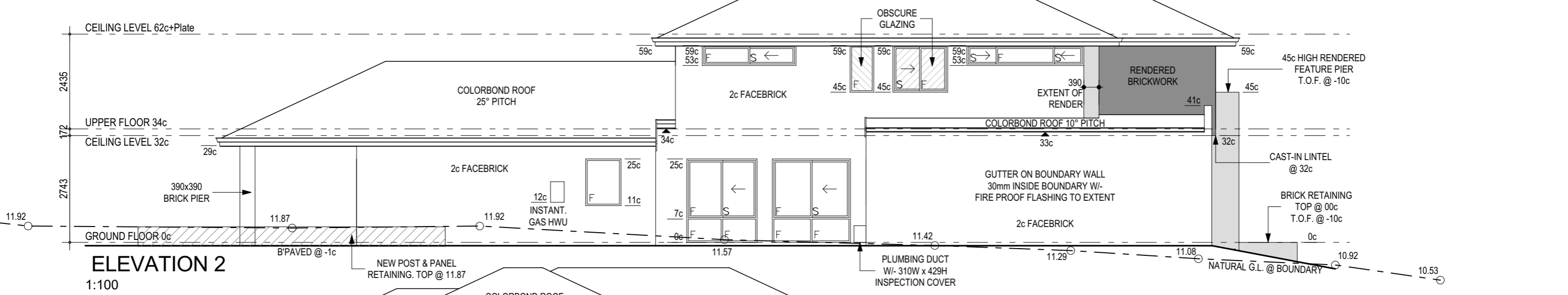
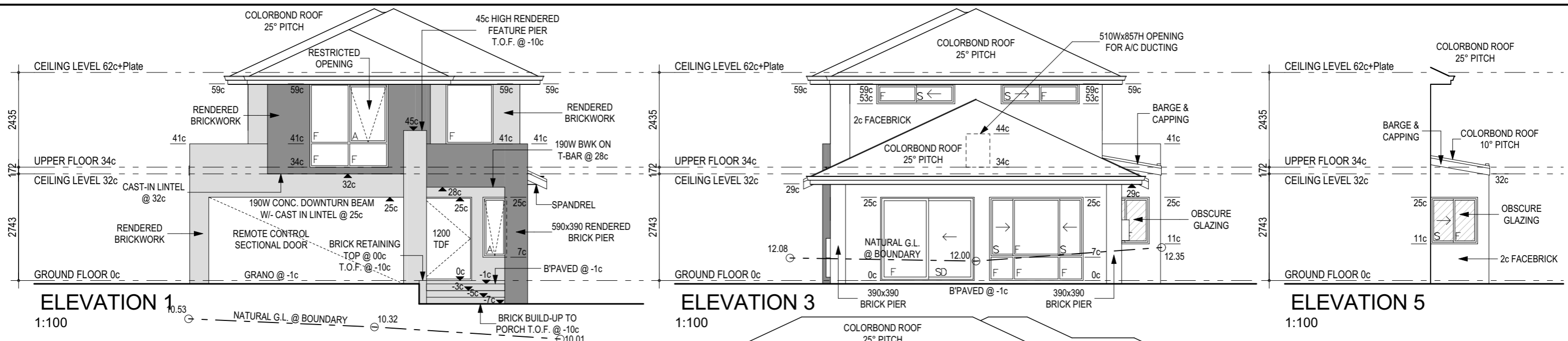
GROUND FLOOR PLAN
1:100

FLASHING NOTE:
 ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOR FLASHINGS AS PER AUSTRALIAN STANDARDS.

THIS DWELLING IS DESIGNED FOR RENDERED FRONT ELEVATION & 2c FACE BRICKS -1/3 BOND TO REMAINDER. RENDER EXTENT AS SHOWN & COURSING HEIGHTS SHOWN IN STD BRICK FORMAT

| | |
|---|------------------|
| INDIVIDUAL | |
| SHEET N°: 7 OF 15 | JOB N°: 20-0623 |
| SCALE: AS SHOWN | |
| THOMSON & KAPOVIC | |
| SITE ADDRESS: LOT 309 (#85) GILBERTSON ROAD KARDINYA CITY OF MELVILLE | |
| CLIENT: | DATE: 31/03/2021 |
| REVISION | DATE |
| WD | 24/02/21 |
| CHK BY | BY |
| TL | TL |
| DATE | DATE |
| 24/02/21 | |
| OWNER | DATE |
| OWNER | DATE |
| BUILDER | DATE |





NOTE:
PROVIDE PROTECTION OF OPENABLE WINDOWS WITH RESTRICTED OPENINGS TO COMPLY WITH NCC VOL 2 PART 3.2.5

- DENOTES PRIMARY RENDER
- DENOTES CONTRASTING RENDER



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| VARIATIONS | | | | |
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CLIENT:
THOMSON & KAPOVIC

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**LOT 309 (#85)
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KARDINYA
CITY OF MELVILLE**

DRAWN: TL DATE: 31/03/2021

INDIVIDUAL

SHEET N°:
9 OF 15

SCALE: AS SHOWN

JOB N°:
20-0623

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RENDER EXTENT AS SHOWN & COURSING HEIGHTS SHOWN IN STD BRICK FORMAT

CITY OF MELVILLE
10 ALMONDBURY ROAD
BOORAGOON WA 6154

10/03/21

Att: Planning Services

Re: Lot 309 (#85b) Gilbertson Road, Kardinya

We would like to submit our plans for Development approval, and variation to the R-Codes and we would like to take this opportunity to comment under performance criteria of the Residential Planning Codes.

This proposal is for a single two storey dwelling on survey strata lots.

In relation to the amenity impact, the proposed residences will not dominate any of the adjoining properties.

We are asking Council to exercise its discretion in varying the following R-Code policies

1. 5.1.3 Lot Boundary Setbacks
2. 5.2.2 Garage Width

1. Lot Boundary Setbacks

The objectives of the R-Codes is to ensure that residential development meets community expectations in regard to appearance, use and density.

To ensure that open space (private and communal) is provided on site and, landscaped to establish streetscapes, provide a balanced setting and relationship to buildings; and provide privacy, direct sun and recreational opportunities.

The setback to the Entry and Void to the northern boundary has been reduced for the wall height. A 1 meter setback has been provided where a 1.2 meter setback is required. Also the setback to the Laundry, Kitchen and Alfresco is 1 meter where a 1.5 meter setback is required. We are asking for council to exercise discretion on this item for the following reasons and our justification as why the council would be reasonable in granting this concession is as follows:

- i. Does not compromise the design principle contained in clause 5.1.3 P3.1
- ii. We will not have any adverse effect on the amenity of the neighbouring property, in relation to overshadowing (RHS wall).
- iii. Usable area has been provided in the design considering the width constraints of the lot.
- iv. Design does not have any adverse effects on the neighbouring properties.

2. Garage Width

The objectives of the R-Codes is to ensure that residential development meets community expectations in regard to appearance, use and density. To ensure that open space (private and communal) is provided on site and, landscaped to establish streetscapes, provide a balanced setting and relationship to buildings; and provide privacy, direct sun and recreational opportunities.

The proposed garage width is 5.99m and the block width is 9.56m. The garage width equates to 62.65% which is over the allowable 50%. We are asking for council to exercise discretion on this item for the following reasons and our justification as why the council would be reasonable in granting this concession is as follows:

- i. The design principals in clause 5.2.2 P2 have not been compromised. The upper floor overhangs the garage as well as there being a large blade wall with a prominent porch also being provided so that the garage opening visual impact is reduced significantly.
- ii. The proposed design compliments the existing developments adjacent.

Should you require any additional information please contact me on 08 9463 1123

Yours faithfully



Tristan Lodge
Design / Drafting Manager
NEW SENSATION HOMES