

9 GIBSON STREET, MOUNT PLEASANT



ISSUED FOR DEVELOPMENT APPROVAL

10th MARCH 2021





REV	DESCRIPTION	DATE	APP
0	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21	MJG

INDIVIDUAL DEVELOPMENTS
 CONCEPT | DESIGN | BUILD

REVISION

PROJECT
**PROPOSED RESIDENCE
 9 GIBSON STREET,
 MOUNT PLEASANT**

DRAWING
**SCHEMATIC DESIGN
 - INDICATIVE PERSPECTIVE**

PROJECT No. 2004	STAGE SD	
DRAWING NO. A9.01	REVISION 0	
CAD FILE NAME 2004-SD_00		
SCALE NTS @ A2		
DRAWN MJG	Web : www.gdddesigngroup.com	
CHECKED MJG	Tel : (08) 9388 8846	

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INDIVIDUAL DEVELOPMENTS
 CONCEPT | DESIGN | BUILD

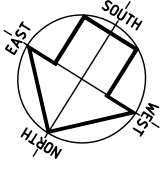
REVISION

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**PROPOSED RESIDENCE
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 MOUNT PLEASANT**

DRAWING
**SCHEMATIC DESIGN
 - INDICATIVE PERSPECTIVE**

PROJECT NO. 2004	STAGE SD	
DRAWING NO. A9.02	REVISION 0	
CAD FILE NAME 2004-SD_00		
SCALE NTS @ A2		
DRAWN MJG		Web : www.gdddesigngroup.com Tel : (08) 9388 8846
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St. LOT 1

551m²

SERVICE INFORMATION

AREA ESTABLISHED
 SEWERAGE YES DEPTH 1.10
 WATER YES PRELAI R
 ELECTRICAL YES UG
 TELECOM YES
 GAS TBC
 DRAFTED MR SURVEYOR TS

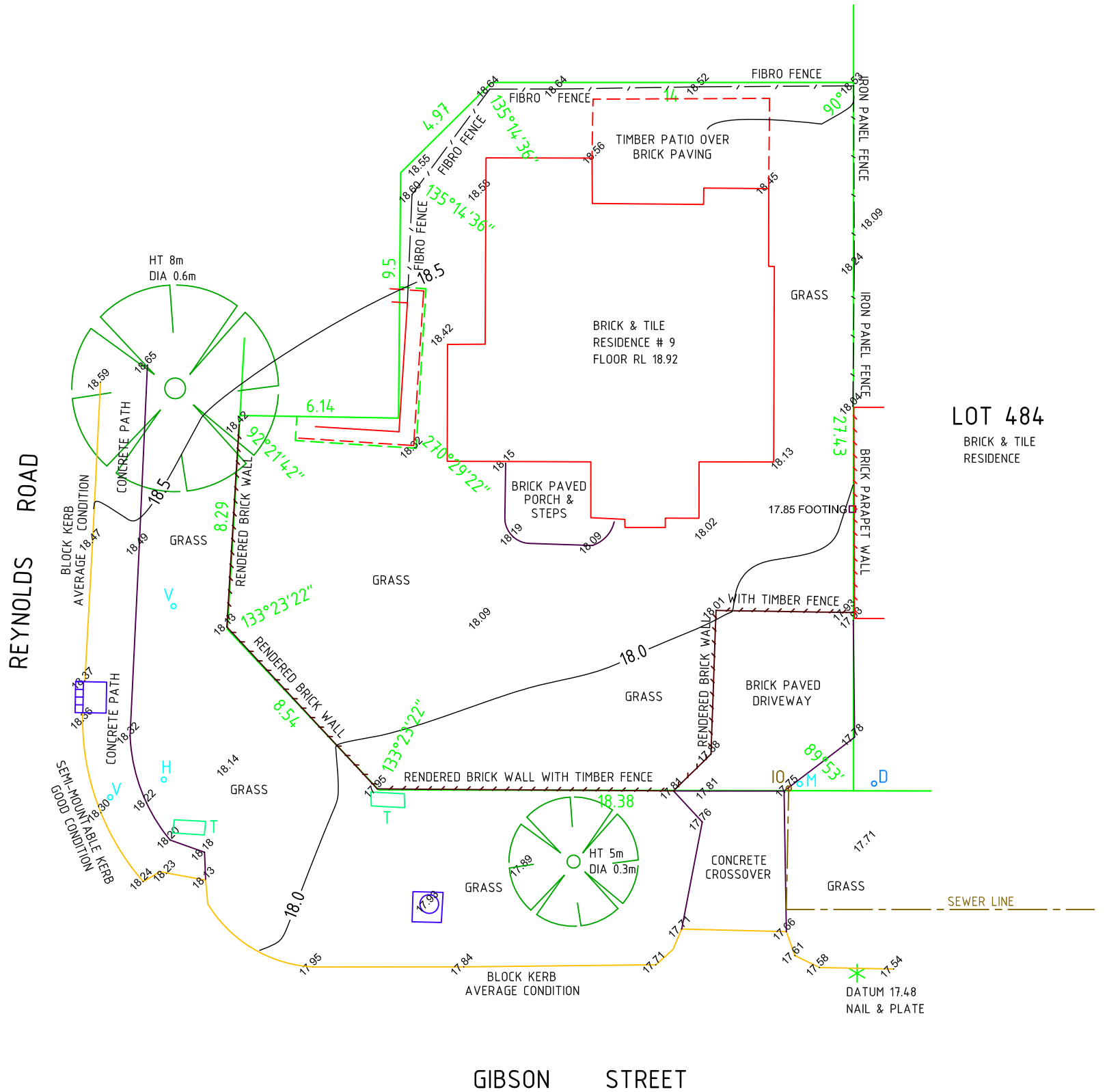
SERVICE LEGEND

SURVEY	
	DATUM
	PEG FOUND
	PEG GONE
SEWERAGE	
	SEWER MANHOLE
	INSPECTION OPENING
	INSPECTION SHAFT
WATER	
	WATER METER
	HYDRANT
	FLUSH POINT
	STOP VALVE
ELECTRICAL	
	POWER DOME/PILLAR
	POWER POLE
	LAMP POST
	CONSUMER POLE
	STAY WIRE ANCHOR
STORMWATER	
	STORMWATER MANHOLE
	GRATE
	SIDE ENRTY PIT
GAS	
	GAS METER
	SERVICE VALVE
TELECOM	
	COMMUNICATION PIT
SEWER CONNECTION POSITION	
APPROXIMATE ONLY	
SEW INV. 16.65	
UP. 0.0	
DEPTH. 1.10m	

WARNING!
 BOUNDARY RE-ESTABLISHMENT SURVEY
 REQUIRED TO CONFIRM LOT BOUNDARY
 POSITION AND DIMENSIONS.

STRATA LOT 3 OF LOT 586

BRICK & TILE
 RESIDENCE # 9A



LOT 484
 BRICK & TILE
 RESIDENCE

NOTE:
 SEE SURVEY STRATA PLAN 18405
 FOR INTRUSION EASEMENT DETAILS

CLIENT: STRATEGIC SURVEYING			
ADDRESS: STRATA LOT 1 (#9) GIBSON STREET, MOUNT PLEASANT			
PLAN: SP18405	C/T:	AUTHORITY: CITY OF MELVILLE	
DATE: 03/02/2021	JOB REFERENCE: TSA997 - FS		
H. Grid : LOCAL	Local level : N/A	A.H.D. value SEWER M/H	Distance
V. Datum : AHD	A.H.D. level : 18.34	derived from : 2380	from Datum : 44.85m
VERSION	DATE	DESCRIPTION	APPROVED BY

TSA SURVEYS
 CONSULTING SURVEYORS

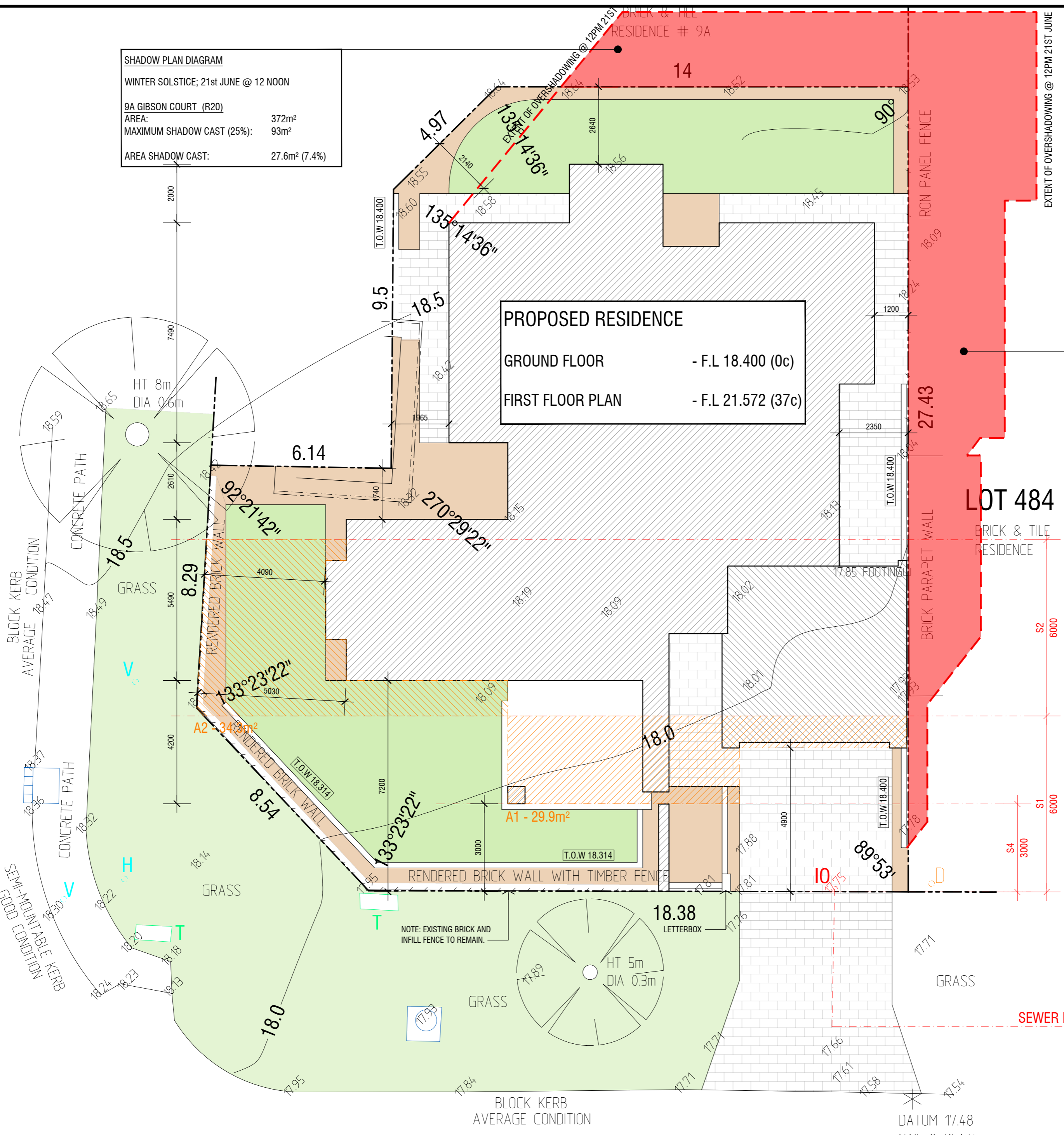
A| PO Box 102, Bassendean WA 6934
 M| 0433 304 648
 E| admin@tsasurveys.com.au
 W| www.tsasurveys.com.au
 ABN| 56 645 650 666

IMPORTANT NOTES:

- The information on this drawing is current at the date of survey.
- All services are to be confirmed with relevant authorities.
- This includes without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
- Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
- Original lot dimensions taken from Landgate Survey Plans.
- Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
- The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
- Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey.
- This plan is for the purpose of application and in no way represents WAPC conditional approval.
- TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
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Scale: 1:200 at A3

REYNOLDS ROAD

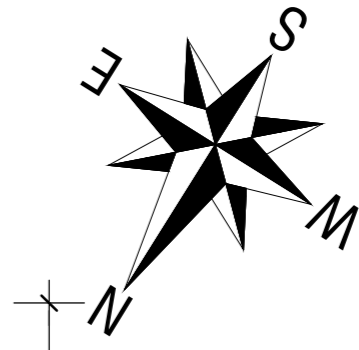


SHADOW PLAN DIAGRAM
 WINTER SOLSTICE; 21st JUNE @ 12 NOON

9A GIBSON COURT (R20)
 AREA: 372m²
 MAXIMUM SHADOW CAST (25%): 93m²
 AREA SHADOW CAST: 27.6m² (7.4%)

SITE PLAN
 SCALE 1:100

OPEN SPACE CALCULATION:
 LAND SIZE: 551m²
 MIN. REQUIRED (50%): 275.5m²
 RESIDENCE: 273.6m²
 OPEN SPACE: 277.4m²
 551m² - 273.6m²: 277.4m²
 277.4m² / 551m²: 0.503
 OPEN SPACE CREATED: 50.3%



SHADOW PLAN DIAGRAM
 WINTER SOLSTICE; 21st JUNE @ 12 NOON

11A GIBSON COURT (R20)
 AREA: 445m²
 MAXIMUM SHADOW CAST (25%): 111m²
 AREA SHADOW CAST: 77.7m² (17.5%)

5.1.2 INTRUSION

A1- 29.9m²
 A2- 34.3m²

COMPENSATED AREA (A2) EXCEEDS
 INTRUSION AREA (A1) BY 4.4m²

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MOUNT PLEASANT

DRAWING
SCHEMATIC DESIGN
- SITE PLAN

PROJECT No.	STAGE
2004	SD

DRAWING NO.	REVISION
A1.01	0

CAD FILE NAME
 2004-SD_00

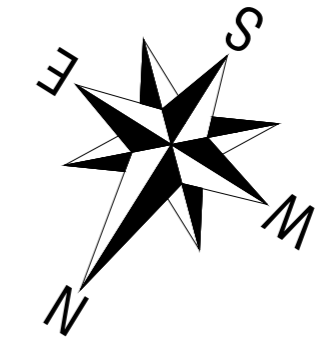
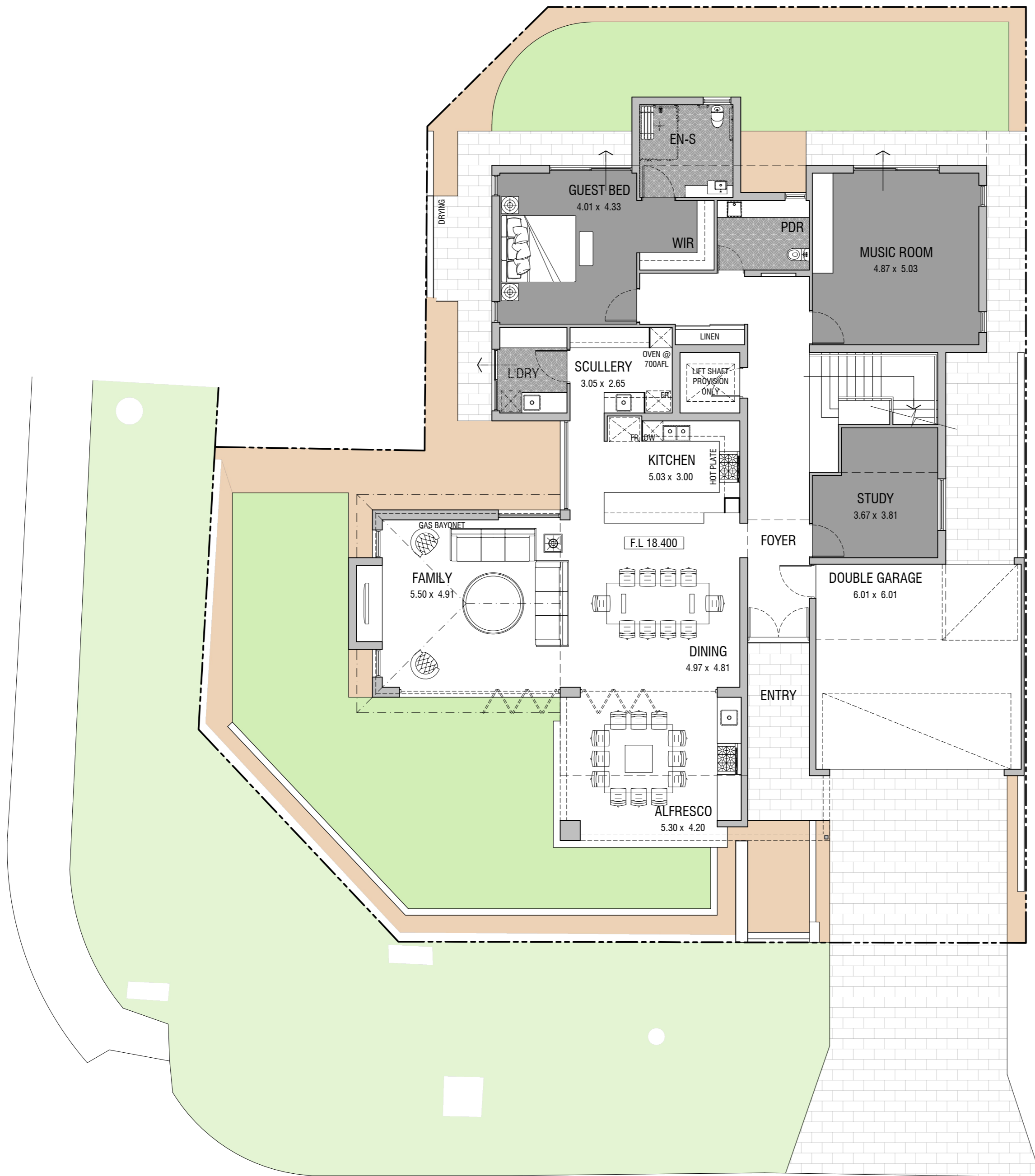
SCALE
 1:100 @ A2

DRAWN	MJG	Web : www.gdddesigngroup.com Tel : (08) 9388 8846
CHECKED	MJG	

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GIBSON STREET

DATUM 17.48
 NAIL & PLATE



GROUND FLOOR - FLOOR PLAN
SCALE 1:100

AREA SCHEDULE	
	AREA (m ²)
RESIDENCE (GROUND)	216.0
GARAGE	39.0
ALFRESCO	22.8
ENTRY	11.8
TOTAL	289.6

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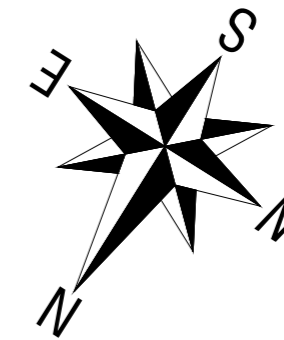
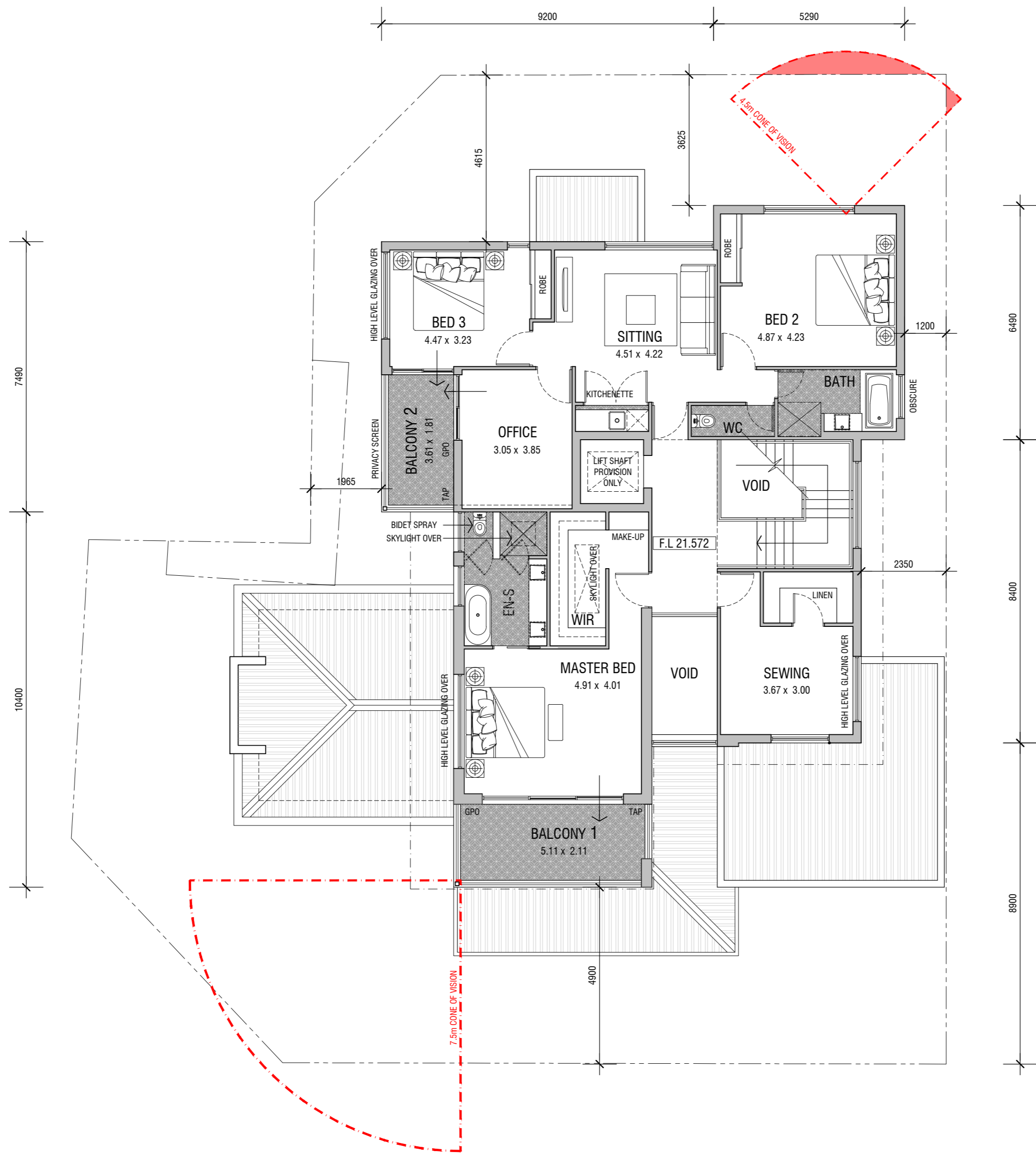
REVISION

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MOUNT PLEASANT**

DRAWING
**SCHEMATIC DESIGN
- GROUND FLOOR PLAN**

PROJECT No. 2004	STAGE SD	GDD DESIGN GROUP
DRAWING NO. A2.01	REVISION 0	
CAD FILE NAME 2004-SD_00		
SCALE 1:100 @ A2		
DRAWN MJG	Web : www.gdddesigngroup.com Tel : (08) 9388 8846	
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FIRST FLOOR - FLOOR PLAN
SCALE 1:100

AREA SCHEDULE	
	AREA (m ²)
RESIDENCE (FIRST)	179.1
VOID	6.3
BALCONY 1	12.6
BALCONY 2	7.6
TOTAL	205.6

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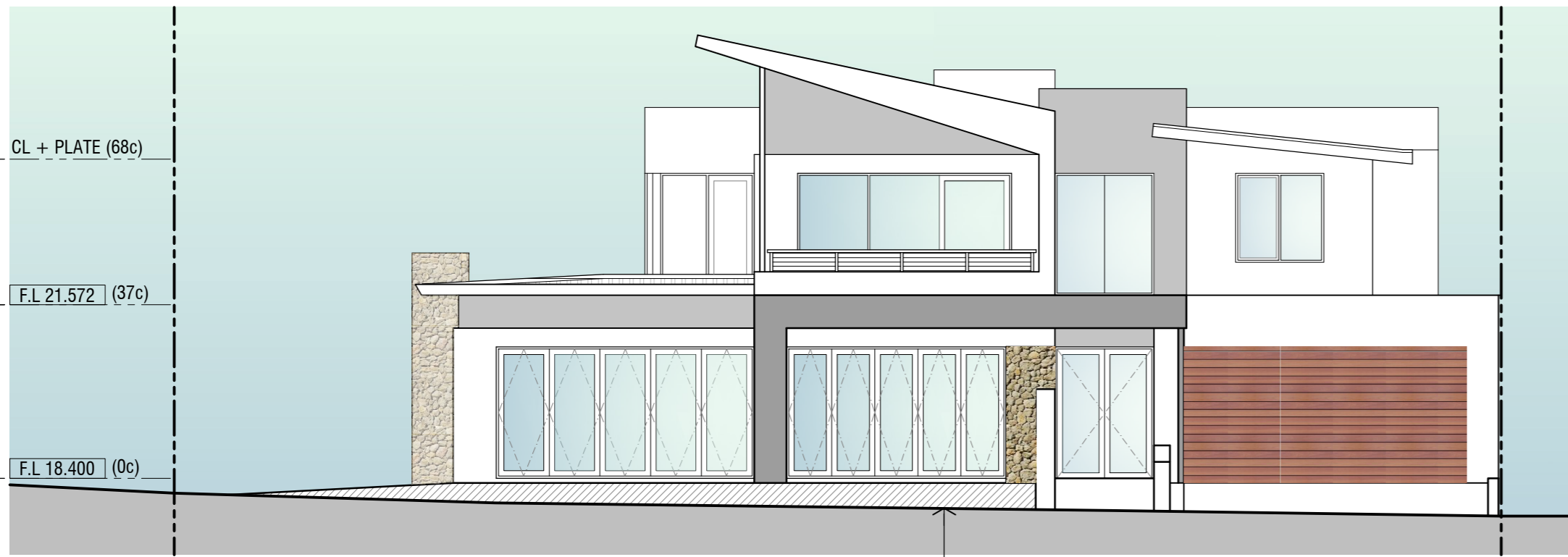
DRAWING
**SCHEMATIC DESIGN
- FIRST FLOOR PLAN**

PROJECT No. 2004	STAGE SD
DRAWING NO. A2.02	REVISION 0
CAD FILE NAME 2004-SD_00	
SCALE 1:100 @ A2	



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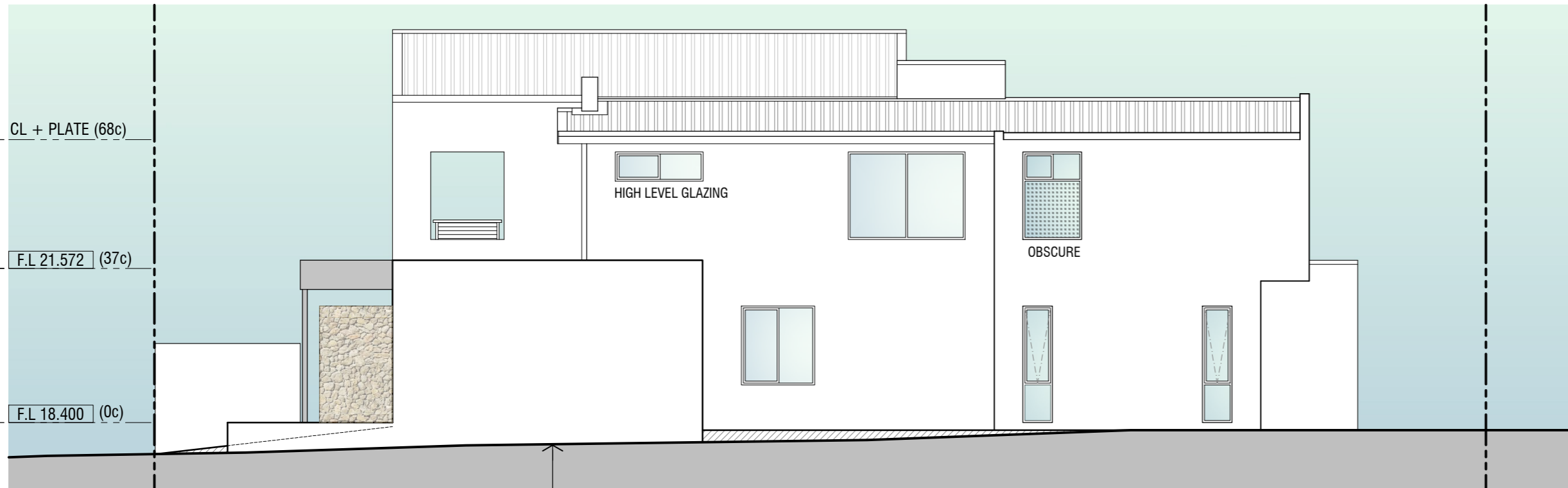
NORTH-WEST ELEVATION (GIBSON STREET)
SCALE 1:100

EXISTING GROUND LEVEL
@ BOUNDARY



SOUTH-EAST ELEVATION
SCALE 1:100

EXISTING GROUND LEVEL
@ BOUNDARY



SOUTH-WEST ELEVATION
SCALE 1:100

EXISTING GROUND LEVEL
@ BOUNDARY



NORTH-EAST ELEVATION (REYNOLDS ROAD)
SCALE 1:100

EXISTING GROUND LEVEL @
BOUNDARY, SHOWN DOTTED

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DRAWING
**SCHEMATIC DESIGN
- ELEVATIONS**

PROJECT No. 2004	STAGE SD
DRAWING NO. A3.01	REVISION 0
CAD FILE NAME 2004-SD_00	
SCALE 1:100 @ A2	
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CHECKED MJG	



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