

# Planning Approval Submission

Proposed New Home to:

82 Lamond Street Alfred Cove WA 6154

Front Perspective



Rear Perspective



## Planning Approval

Drawing Perspectives		
Site 82 Lamond Street Alfred Cove WA 6154		
Client Bennett & Jamieson		
Project HH20-074	Sheet size A3	Sheet A.01.1

## Revisions

08 - Planning Approval Drawings issued	18/01/2021
09 - Planning Approval Drawings issued	19/02/2021
10 - Planning Approval Drawings issued	30/03/2021
11 - Planning Approval Drawings issued	06/04/2021
12 - Planning Approval Drawings issued	09/04/2021

**WAYNE BRITTON**  
CUSTOM HOMES



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DESIGNS

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# COTTAGE & ENGINEERING SURVEYS

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87-89 Guthrie Street, Osborne Park, Western Australia  
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
 Email: perth@cottage.com.au Website: www.cottage.com.au

J/N: 495202 DATE: 24 Mar 21 SCALE: 1:200 DRAWN: D. Lancaster

BUILDER :

CLIENT : Kristie Jamieson & Scott Bennett  
 SURVEY STRATA LOT 1 #82A Lamond Street, Alfred Cove

OLD AREA

Survey Strata Plan 82327 Original Lot 75 on Plan 5272

LEGEND	
	SEC Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

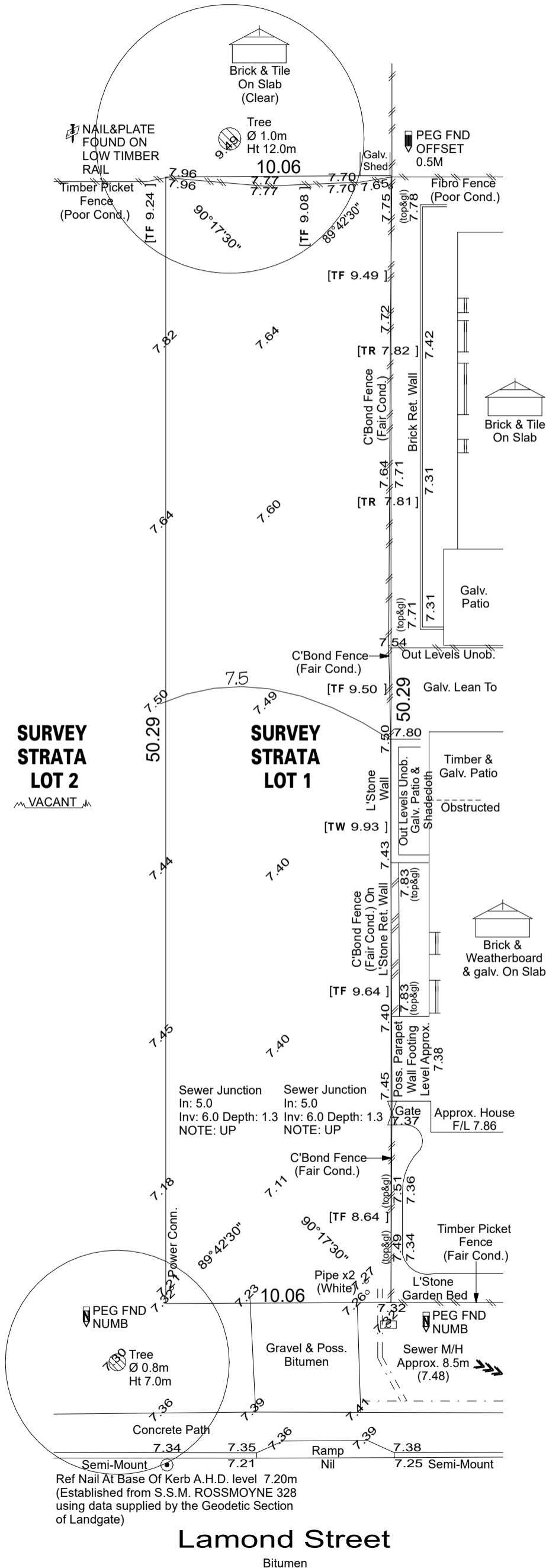
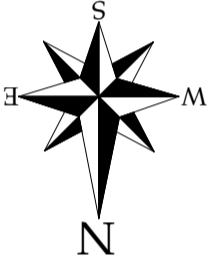
**WARNING:**  
 Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

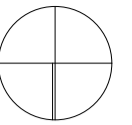
**LOT MISCLOSE**

0.000 m

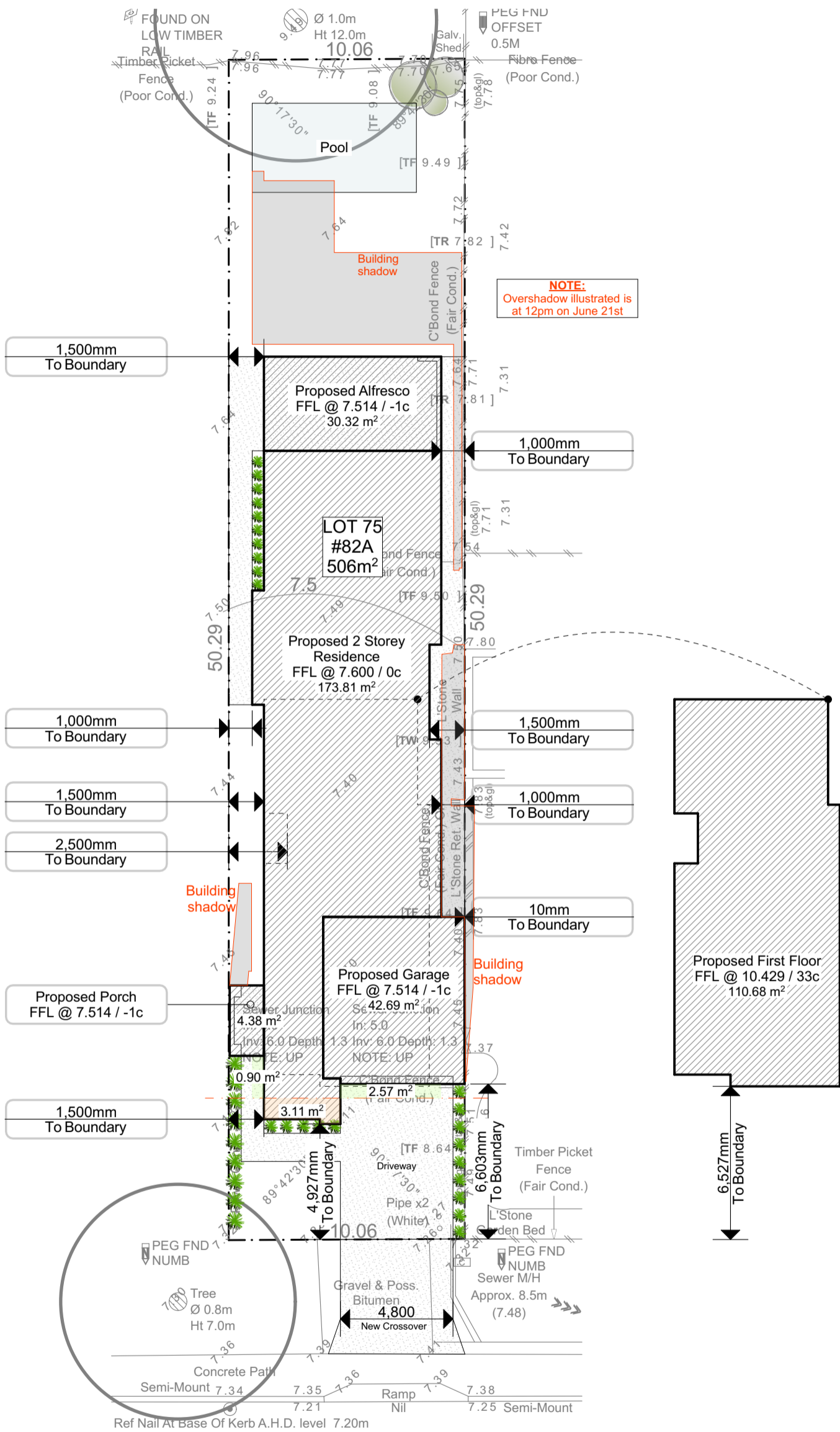
**SOIL DESCRIPTION**

Sand  
 Light Grass Cover





N



Lamond Street

### Planning Approval

Drawing

Site Plan  
1:200

Site  
82 Lamond Street Alfred Cove  
WA 6154

Client

Bennett & Jamieson

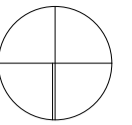
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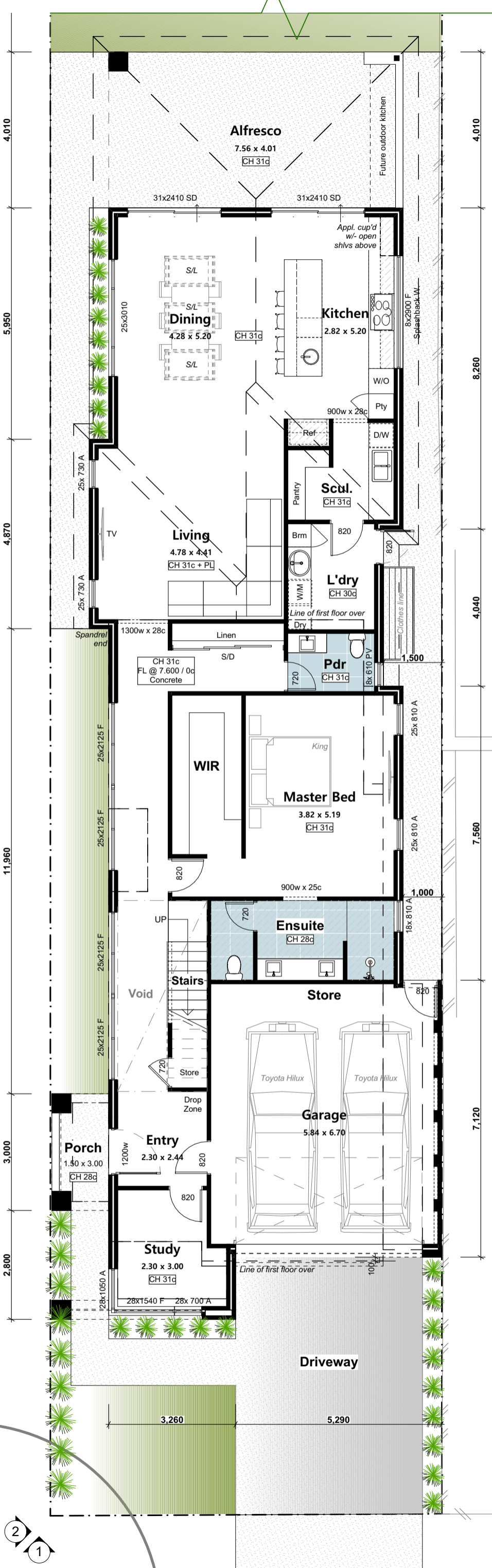
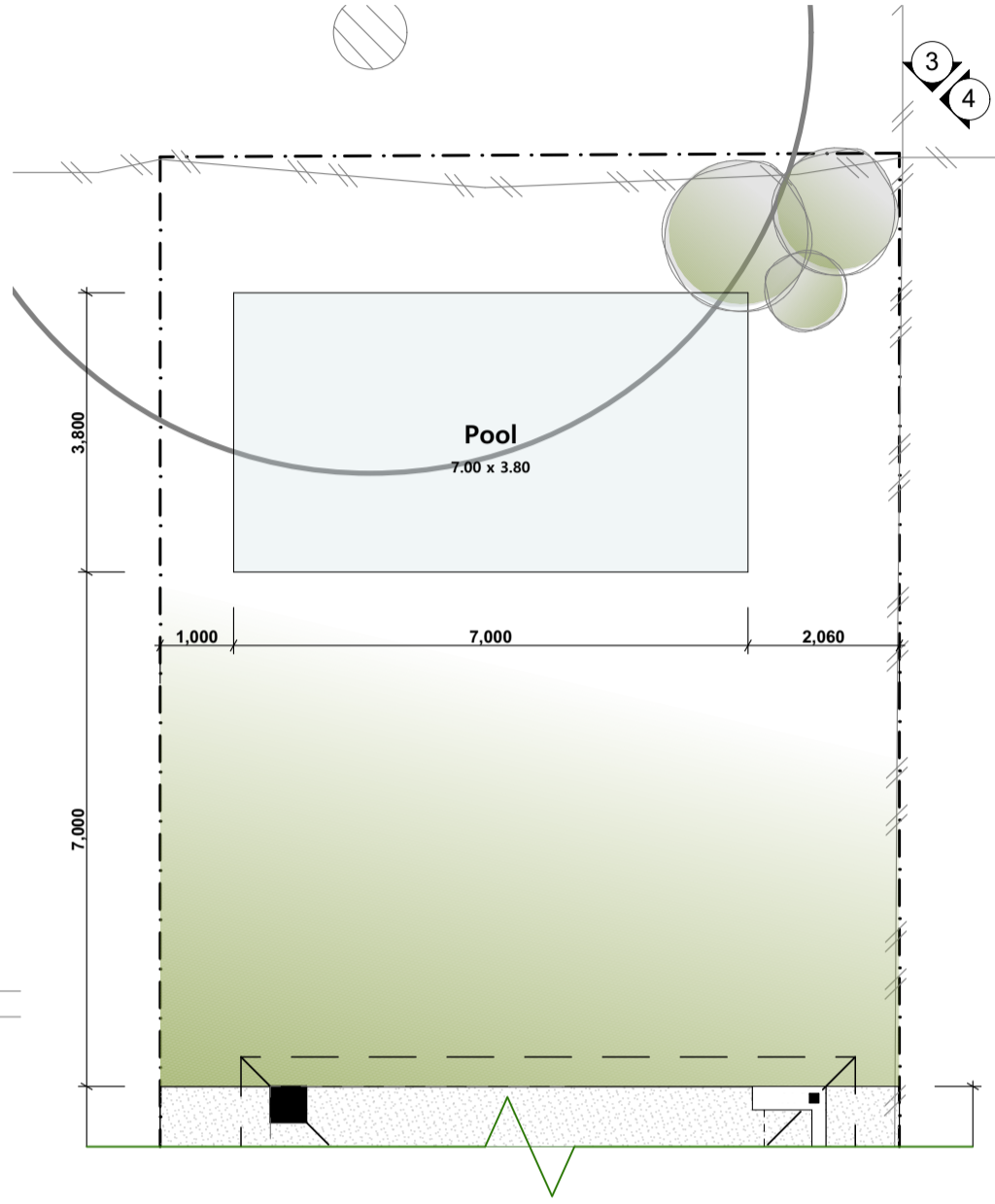


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N



Areas	
Room Name	Area
---	---
01 - Ground Floor	174.09
02 - Garage	42.23
03 - Porch	4.50
04 - Alfresco	30.32
05 - First Floor	111.29
	362.43 m <sup>2</sup>

### Planning Approval

Drawing  
 Ground Floor plan  
 1:100  
 Site  
 82 Lamond Street Alfred Cove  
 WA 6154

Client  
 Bennett & Jamieson

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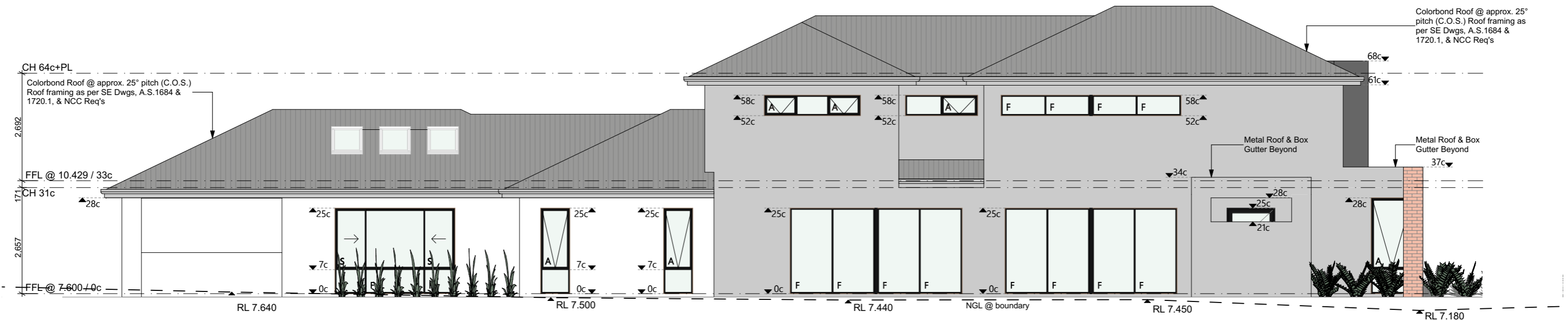


**Elevation 1**  
scale: 1:100

**Elevations**

- Rendered brickwork Type A
- Rendered brickwork Type B
- Rendered brickwork Type C
- Face brickwork
- Colorbond roofing
- Glazing
- Obscure glazing
- Limestone blockwork

**NOTE: All materials where applicable to match existing**



**Elevation 2**  
scale: 1:100

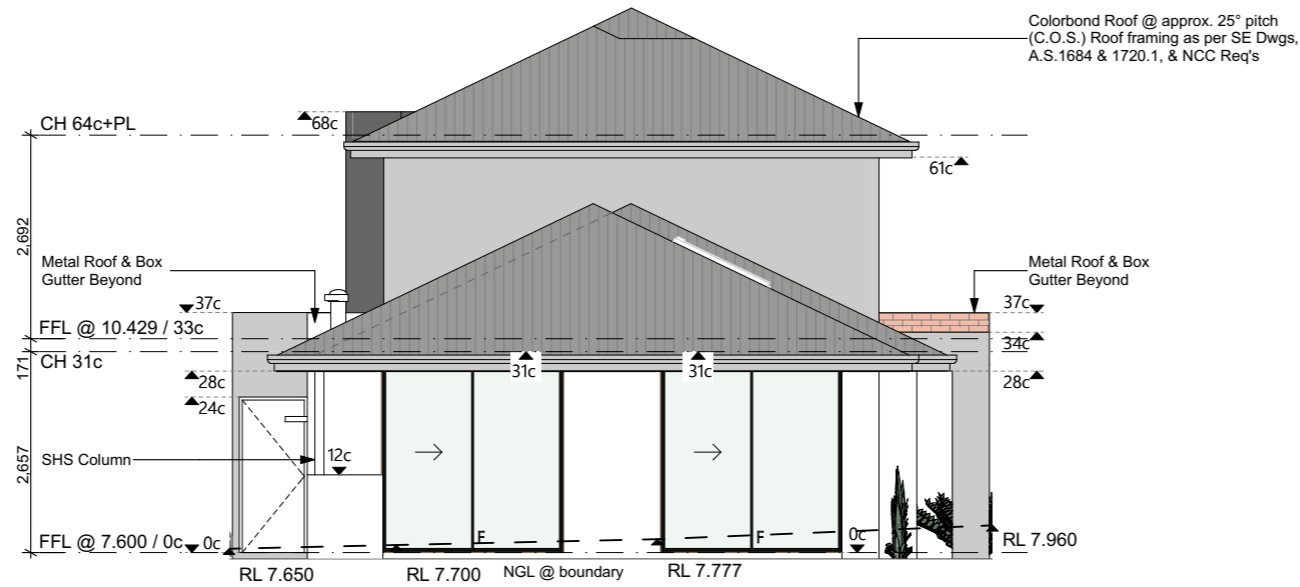
<b>Planning Approval</b>		
Drawing	Elevations	
Site	82 Lamond Street Alfred Cove WA 6154	
Client	Bennett & Jamieson	
Project	Sheet size	Sheet
HH20-074	A3	A.04.1

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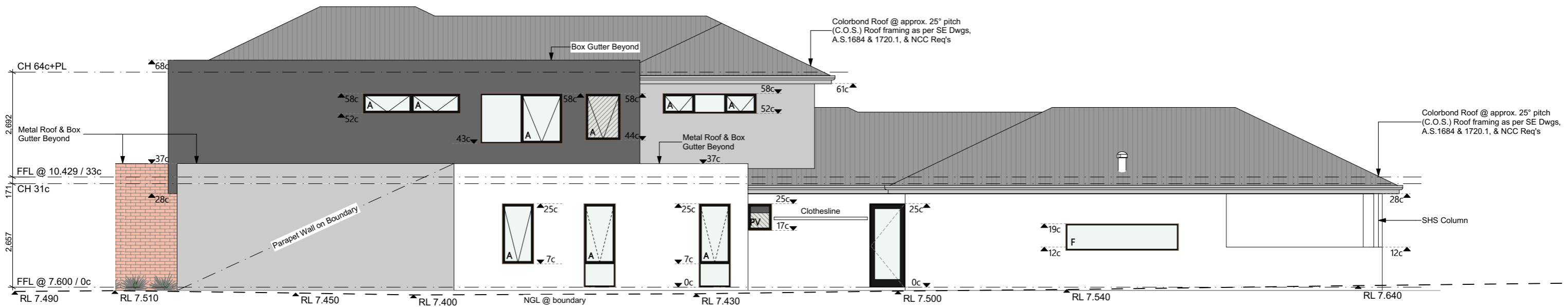


**Elevation 3**  
scale: 1:100

**Elevations**

-  Rendered brickwork Type A
-  Rendered brickwork Type B
-  Rendered brickwork Type C
-  Face brickwork
-  Colorbond roofing
-  Glazing
-  Obscure glazing
-  Limestone blockwork

**NOTE:** All materials where applicable to match existing



**Elevation 4**  
scale: 1:100

**Planning Approval**

Drawing  
**Elevations**

Site  
82 Lamond Street Alfred Cove WA 6154

Client  
**Bennett & Jamieson**

Project      Sheet size      Sheet  
HH20-074      A3      A.04.2

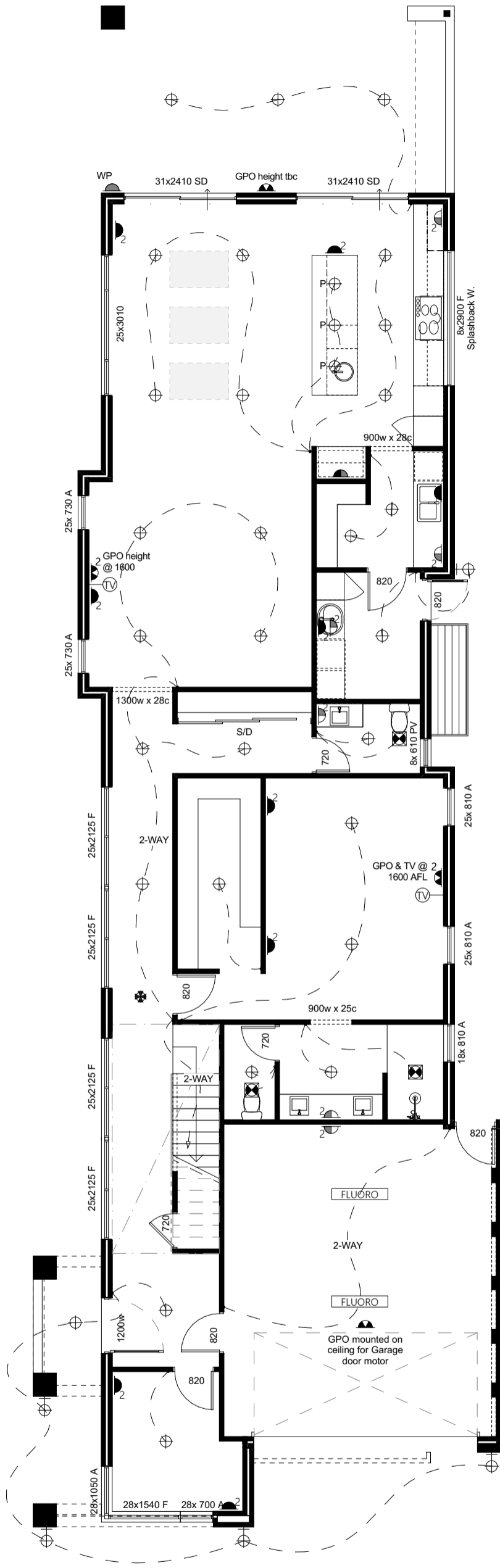
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**Electrical Ground Floor Plan**  
scale: 1:100

**NOTE:**  
Provide Power to Rangehood,  
Hot Plate & Wall ovens

**NOTE:**  
Reverse cycle air-conditioning vents  
and unit locations to be confirmed on  
site by air-conditioning contractor

**Electrical Legend**

WP = Water proof  
4 = Four Gang  
2 = Double

- Smoke detectors to be hard wired, interconnected and using scattered light, transmitted light or ionization in accordance with NCC - BCA Vol 2, clause 3.7.2.2 (d)
- Ensure GPO's are min. 150mm from Basins and 500mm from Troughs
- All Mechanical exhaust fans are to be flumed externally & sealed

- 300 gpo
- 500 gpo
- 925 gpo
- 1050 gpo
- 2000 gpo
- Nominated height
- Ceiling Light Point
- LED downlight
- Down Light 240v
- Wall light Bayonet Point
- FLUORO Fluoro bayonet point
- Ceiling Spotlight
- Wall Spotlight
- Cabinet Light
- Star Light
- Low voltage downlight
- Exhaust Fan
- 2 Lamp Exhaust Fan / Light
- Ex Fan / Heater / Light
- Wall mounted exhaust fan
- Smoke Alarm
- Motion Sensor
- Phone Point
- TV Point
- Gas point
- Meter and fuse box
- Ceiling Fan with light

**Planning Approval**

Drawing  
Electrical Ground Floor plan

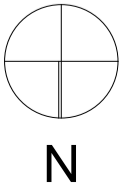
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
























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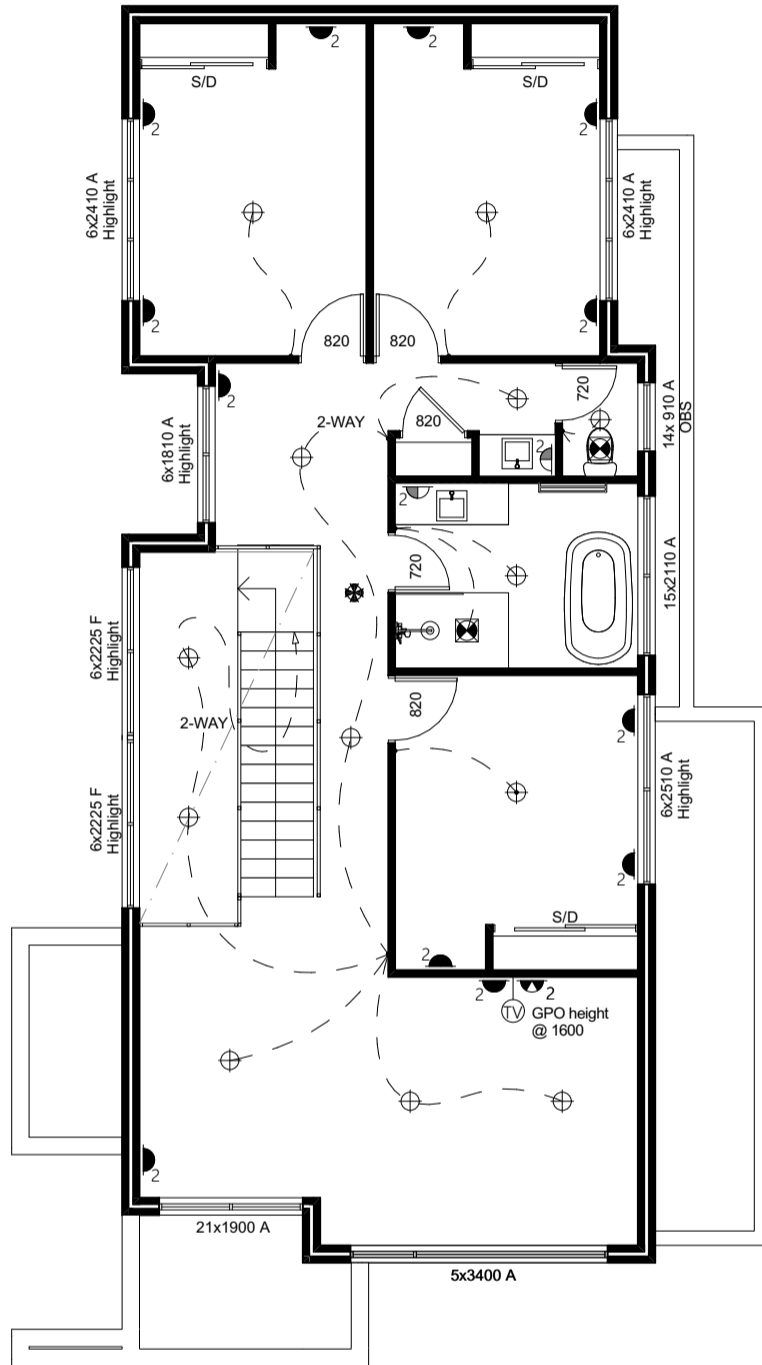


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-  Star Light
-  Low voltage downlight
-  Exhaust Fan
-  2 Lamp Exhaust Fan / Light
-  Ex Fan / Heater / Light
-  Wall mounted exhaust fan
-  Smoke Alarm
-  Motion Sensor
-  Phone Point
-  TV Point
-  Gas point
-  Meter and fuse box
-  Ceiling Fan with light



### Electrical First Floor Plan

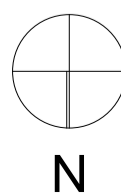
scale: 1:100

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Drawing	Electrical First floor plan	
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