



### SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
  - POWER POLE ○ PP
  - LIGHT POLE ○ LP
  - STAY POLE ○ SP
  - S. WIRE ANCHOR ○ SWA
  - UNI PILLAR ⊗
  - EXPOSED CABLES ○ EC
- GAS**
- PRE-LAID CONN. ○ GPL
  - METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
  - INSPECT. SHAFT ○ IS
  - INSPECT. OPENING ○ IO
  - HOUSE CONNECTION ○ HC
  - HOUSE CONN. INDICATOR ○ HCI
  - INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
  - PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
  - GULLY PIT □
  - LOT PIT ○ LDP
  - HOUSE CONN. ○ DHC
  - SIDE ENTRY PIT □
  - COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
  - HYDRANT ○ HY
  - FLUSH POINT ○ FP
  - WATER TAP ○ WTP
  - WATER METER ○ M
  - PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ◆
  - PEG FOUND ○ PF
  - PEG DISTURBED ○ PD
  - PEG GONE PG
  - STAKE FOUND ○ STF

### LOT RECORDS

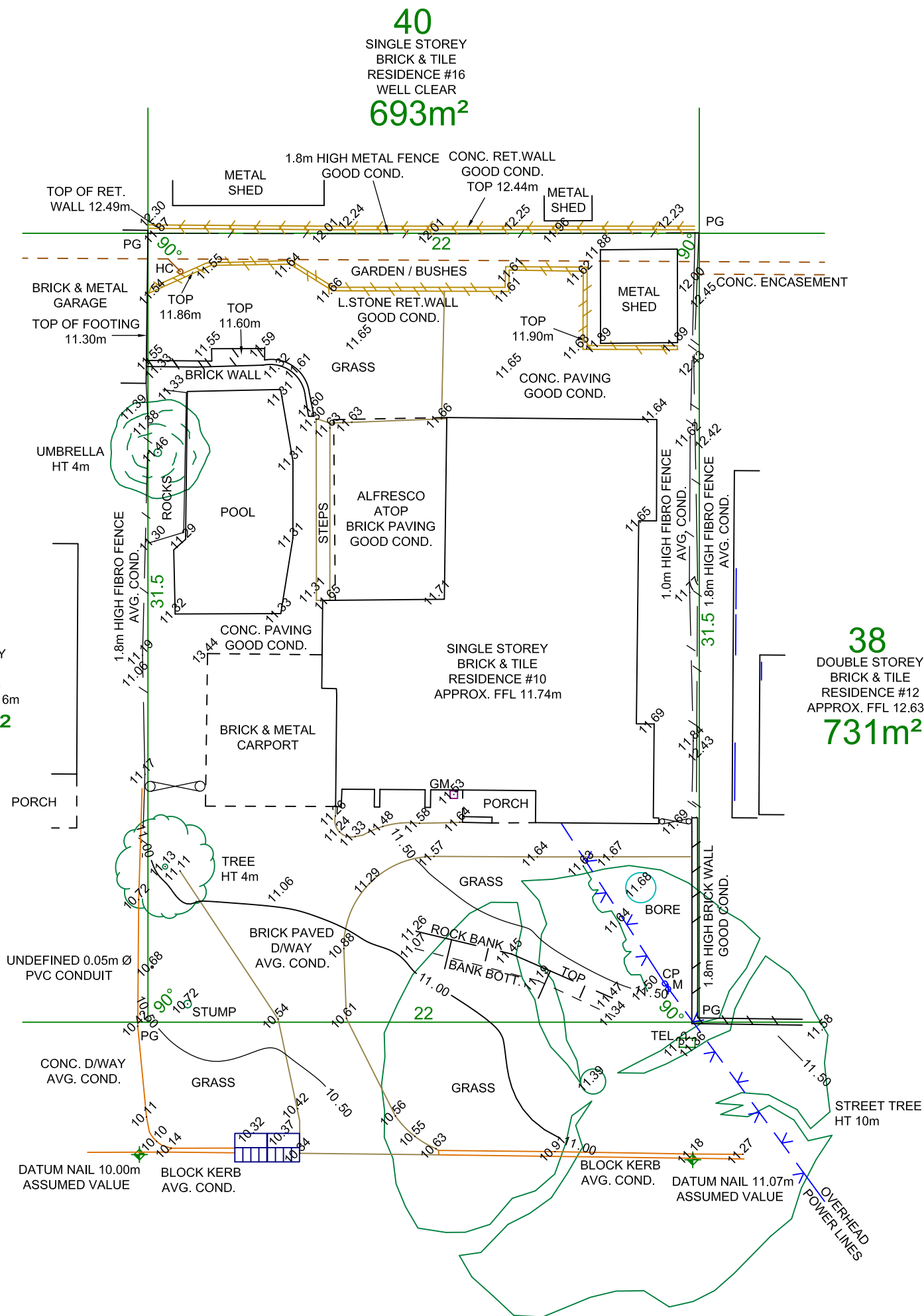
LOT SERVICE	STATUS	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓				
SEWERAGE	✓				
GAS	✓				
TELE.	✓				
DRAINAGE					✓
POWER	U/G		✓		✓
	O/H	✓			

AREA: ESTAB 07/1974  
 COASTAL DISTANCE >10km  
 LOT: 37  
 AREA: 693 m<sup>2</sup>

APPROX. AHD + 4.22m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY  
 SEWER INVERT LEVEL 9.53  
 SEWER BROUGHT UP 0.00  
 DEPTH TO CONNECTION 2.27



## HARTUNG WAY

BITUMEN

⚡ - GATE

**GROUND COVER**  
 SANDY / GRASS / WEED  
 BUSHES / SMALL TREES

TITLE : FEATURE SURVEY	LOT : 37 No. 10 HARTUNG WAY		
CLIENT : MANOJ THAKUR	SUBURB : BULL CREEK	P : 10955	
BUILDER : C U BUILDING GROUP PTY LTD	AUTHORITY : CITY OF MELVILLE		C/T : 1384/72



P: (08) 9354 8511  
 W: www.linkssurveying.com.au  
 E: info@linkssurveying.com.au

UBD REF : 328 L 7	GPS : S 32.05041°	E 115.86017°
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**NOTE** This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

SHEET 1 of 1	BUILDER'S REF 20099	SURVEYED 01/12/20	SCALE @ A3 1:200	DWG No 40971-01-100	REV A
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# SITE COVER

RESIDENCE AREA : 229.37m<sup>2</sup>  
 TOTAL SITE AREA : 693.00m<sup>2</sup>  
 SITE COVERAGE = 33.10%

R-20

**40**  
 SINGLE STOREY  
 BRICK & TILE  
 RESIDENCE #16  
 WELL CLEAR  
**693m<sup>2</sup>**

JOB N<sup>o</sup>. **20099**  
 SHEET N<sup>o</sup>. **A3** of 15  
 SCALE. 1:200  
**WORKING DRAWINGS**

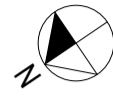
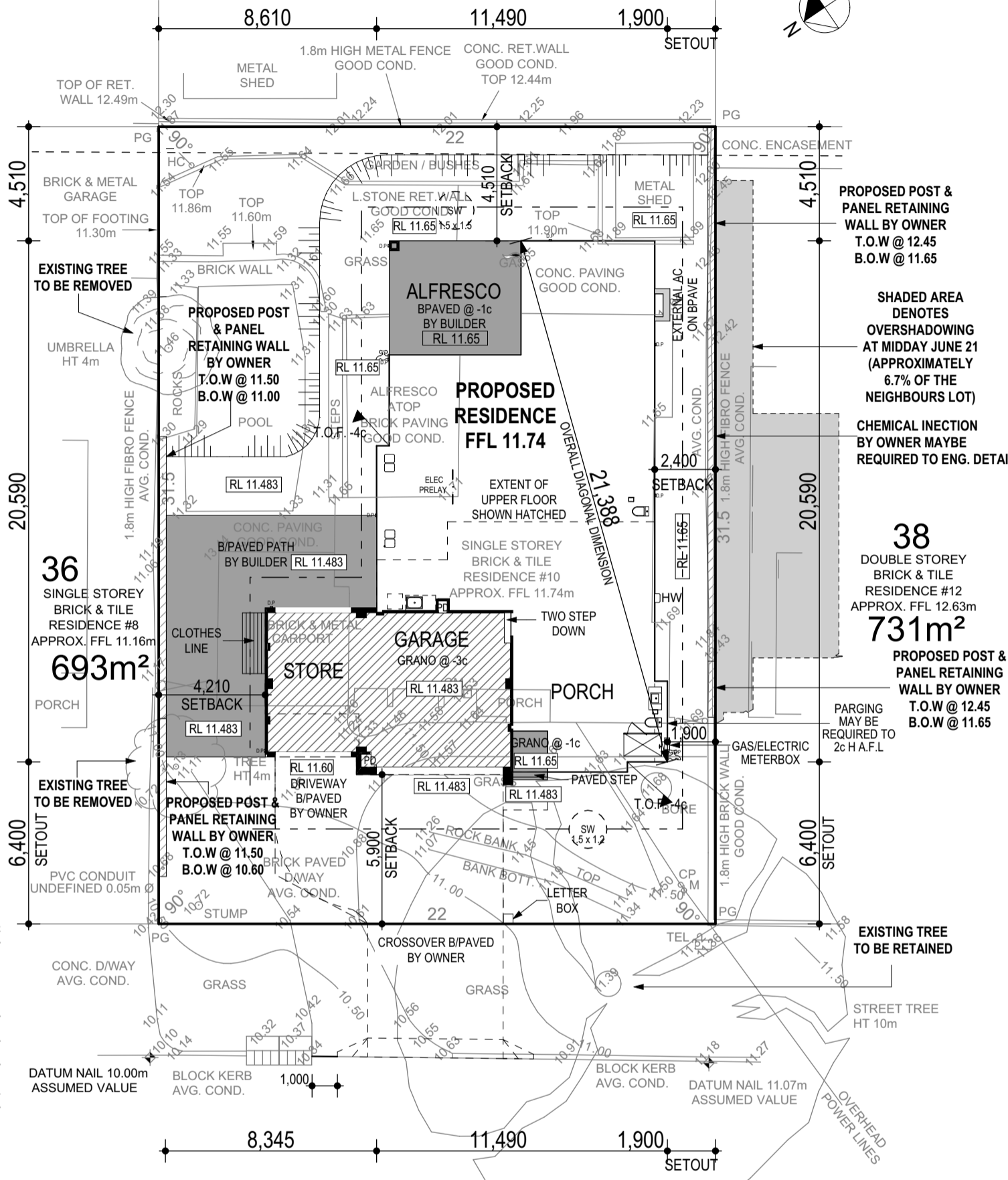


**C U BUILDING GROUP**  
 U4/25 Belgrave Street, Belmont WA 6104  
 +61 (08) 6113 1828 | info@cubuildinggroup.com.au

CLIENT: **MANOJ THAKUR & RASHMI THAKUR**  
 PROJECT: **LOT 37 #10 HARTUNG WAY, BULLCREEK WA 6149**  
 TITLE: **SITE PLAN**

NO.	DATE	REVISIONS
1	03/12/20	WORKING DRAWINGS
2	17/12/20	WORKING DRAWINGS
3	19/02/20	WORKING DRAWINGS - REV. 1
4	03/03/20	WORKING DRAWINGS - PLANNING
5	16/03/20	WORKING DRAWINGS - PLANNING

CLIENT SIGNATURE 1	DATE	CLIENT SIGNATURE 2	DATE	BUILDER'S REPRESENTATIVE	DATE



## SERVICE LEGEND

- POWER**
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  - DATUM NAIL ✦
  - PEG FOUND ○ PF
  - PEG DISTURBED ○ PD
  - PEG GONE ○ PG
  - STAKE FOUND ○ STF

## LOT RECORDS

STATUS	LOT SERVICE			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓			
SEWERAGE	✓			
GAS	✓			
TELE.	✓			
DRAINAGE				✓
POWER	U/G ✓			✓
	O/H ✓			

AREA: ESTAB 07/1974  
 COASTAL DISTANCE >10km  
 LOT: 37  
 AREA: 693 m<sup>2</sup>  
 APPROX. AHD + 4.22m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY  
 SEWER INVERT LEVEL 9.53  
 SEWER BROUGHT UP 0.00  
 DEPTH TO CONNECTION 2.27

Soak Well Type	No.	Capacity
SW 1500x1200	1	2.1 m3
SW 1500x1500	1	2.7 m3
<b>Total Capacity</b>		<b>4.8 m3</b>
Roof Area GF		145.3 m2
Paved Area		56.3 m2
Roof Area UF		150.8 m2
<b>Total Area</b>		<b>352.3 m2</b>
Capacity Required (Area x 0.0122)		<b>4.3 m3</b>
Extra Capacity Provided		<b>0.5 m3</b>

NOTE: ALL DOWNPIPES CONNECTED TO INTERCONNECTED SOAKWELLS WITH PVC STORMWATER PIPE

**GROUND COVER**  
 SANDY / GRASS / WEED BUSHES / SMALL TREES

TITLE : FEATURE SURVEY  
 CLIENT : MANOJ THAKUR  
 BUILDER : C U BUILDING GROUP PTY LTD

LOT : 37 No. 10 HARTUNG WAY  
 SUBURB : BULL CREEK P : 10955  
 AUTHORITY : CITY OF MELVILLE C/T : 1384/72

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UBD REF : 328 L 7 GPS : S 32.05041° E 115.86017°

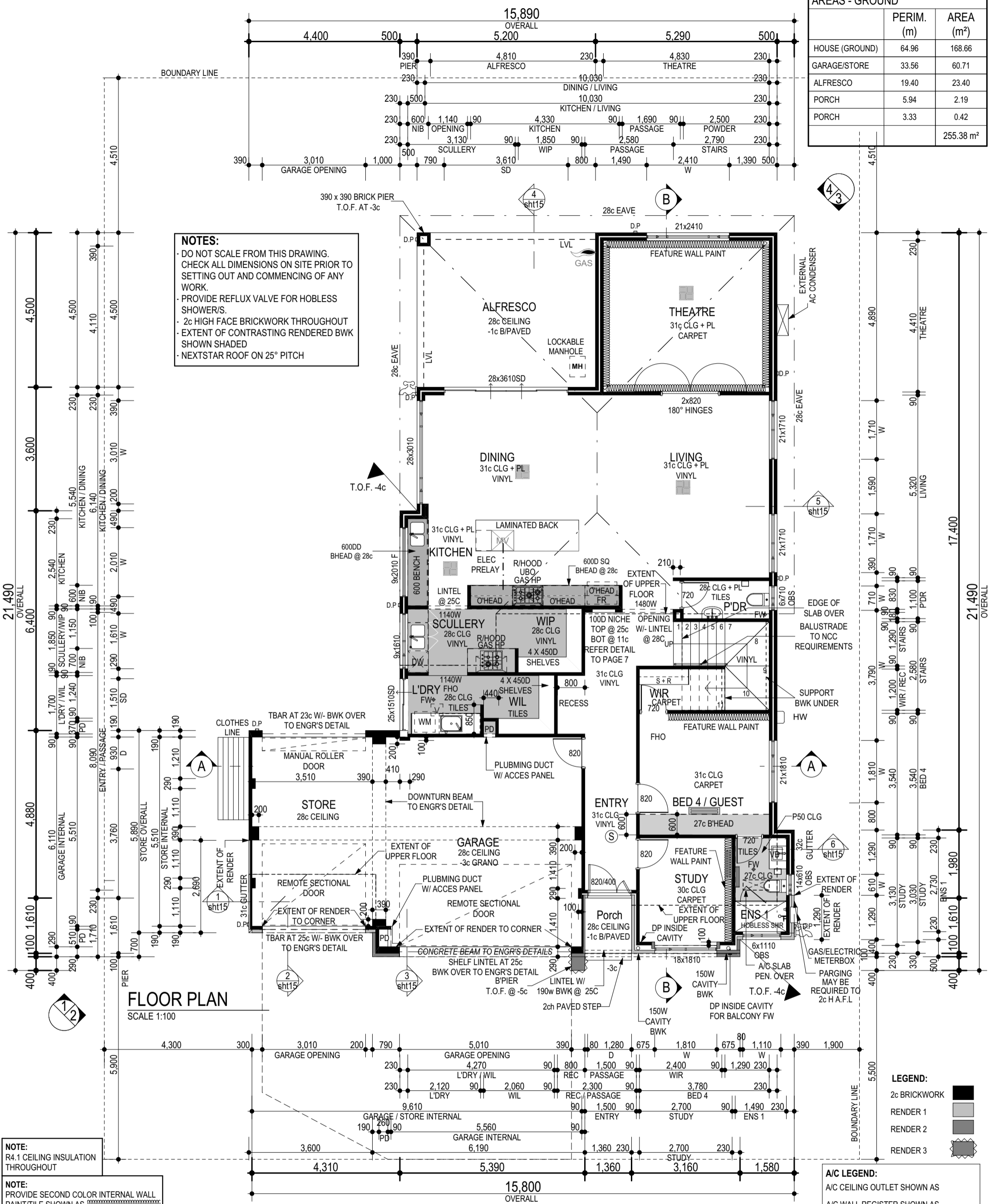


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SHEET 1 of 1 BUILDER'S REF 20099 SURVEYED 01/12/20 SCALE @ A3 1:200 DWG No 40971-01-100 REV A



ROOF AREA - GROUND [m2 O...]	145.28	
AREAS - GROUND		
	PERIM. (m)	AREA (m²)
HOUSE (GROUND)	64.96	168.66
GARAGE/STORE	33.56	60.71
ALFRESCO	19.40	23.40
PORCH	5.94	2.19
PORCH	3.33	0.42
		255.38 m²



**NOTES:**

- DO NOT SCALE FROM THIS DRAWING. CHECK ALL DIMENSIONS ON SITE PRIOR TO SETTING OUT AND COMMENCING OF ANY WORK.
- PROVIDE REFLUX VALVE FOR HOBLESS SHOWER/S.
- 2c HIGH FACE BRICKWORK THROUGHOUT
- EXTENT OF CONTRASTING RENDERED BWK SHOWN SHADED
- NEXTSTAR ROOF ON 25° PITCH

**FLOOR PLAN**  
SCALE 1:100

**LEGEND:**

2c BRICKWORK	
RENDER 1	
RENDER 2	
RENDER 3	

**A/C LEGEND:**

A/C CEILING OUTLET SHOWN AS

A/C WALL REGISTER SHOWN AS

LOCATION OF A/C OUTLET/REGISTER SHOWN APPROXIMATE ONLY AND SUBJECT TO MANUFACTURER'S SPECIFICATION.

**NOTE:**  
R4.1 CEILING INSULATION THROUGHOUT

**NOTE:**  
PROVIDE SECOND COLOR INTERNAL WALL PAINT/TILE SHOWN AS

**NOTE:**  
PROVIDE FULL HEIGHT TILING TO ENSUITE 1, ENSUITE 2, WC2, BATHROOM AND POWDER.

**NOTE:**  
PROVIDE JASON WINDOWS THROUGHOUT

**NOTE:**  
31c CEILING THROUGHOUT GROUND FLOOR UNLESS OTHERWISE STATED.

**NOTE:**  
PROVIDE DUCTED REVERSE CYCLE AIR CONDITIONING TO BUILDER'S RANGE

CLIENT SIGNATURE 1	DATE
CLIENT SIGNATURE 2	DATE
BUILDER'S REPRESENTATIVE	DATE

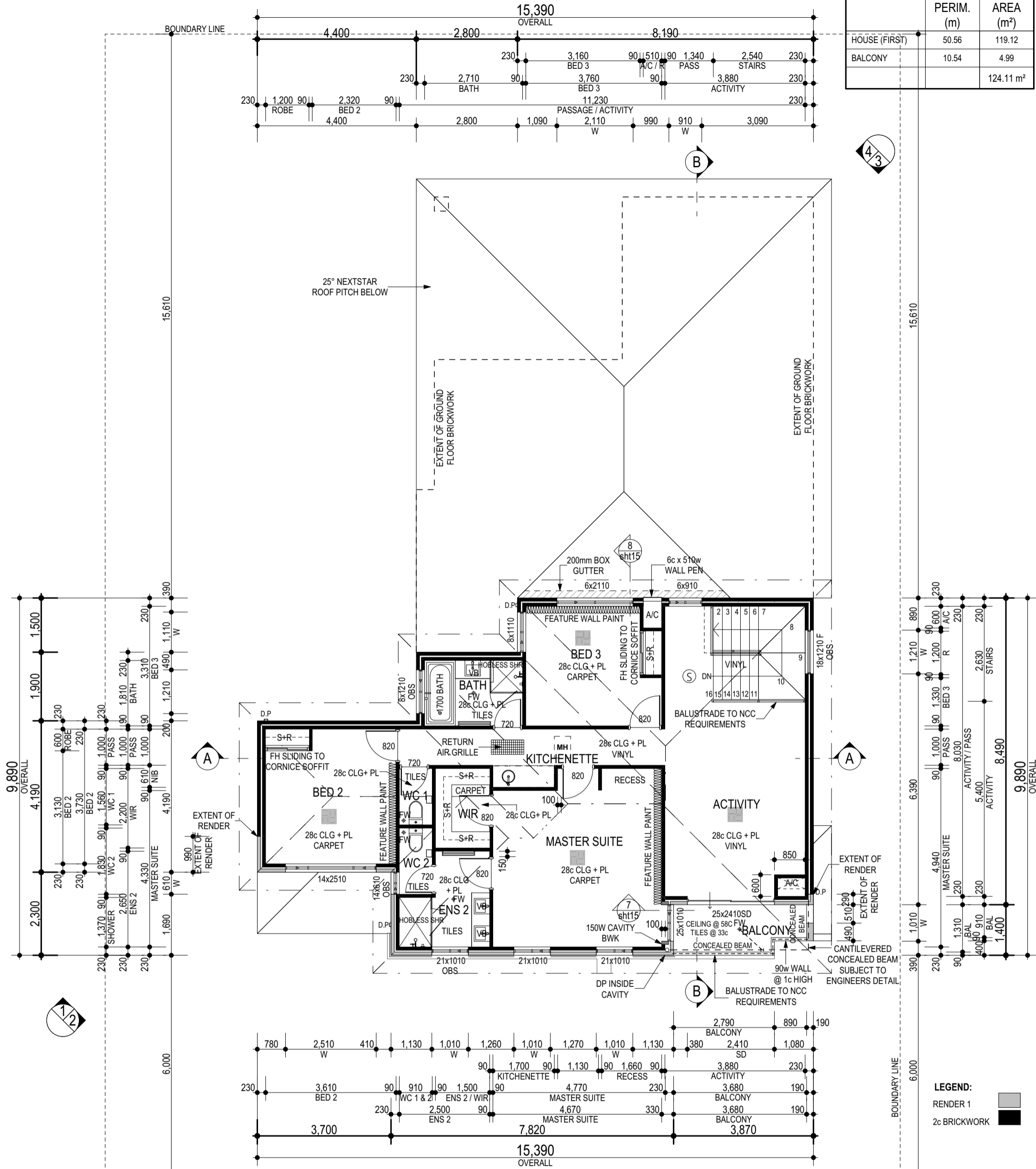
Nº.	DATE	REVISIONS	DRAWN	CHK
1	03/12/20	WORKING DRAWINGS	BQ	MFC
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4	03/03/20	WORKING DRAWINGS - PLANNING	VW	
5	16/03/20	WORKING DRAWINGS - PLANNING	LK	

CLIENT	MANOJ THAKUR & RASHMI THAKUR
PROJECT	LOT 37 #10 HARTUNG WAY, BULLCREEK WA 6149
TITLE	GROUND FLOOR PLAN

**C U BUILDING GROUP**  
U4/25 Belgravia Street, Belmont WA 6104  
+61 (08) 6113 1928 | info@cubuildinggroup.com.au

JOB Nº.	<b>20099</b>	
SHEET Nº.	<b>A3</b>	
	2	of 15
SCALE.	1:1, 1:100	
<b>WORKING DRAWINGS</b>		

ROOF AREA - UPPER [m2 ...]		150.81
AREAS - UPPER		
	PERIM. (m)	AREA (m <sup>2</sup> )
HOUSE (FIRST)	50.56	119.12
BALCONY	10.54	4.99
		124.11 m <sup>2</sup>



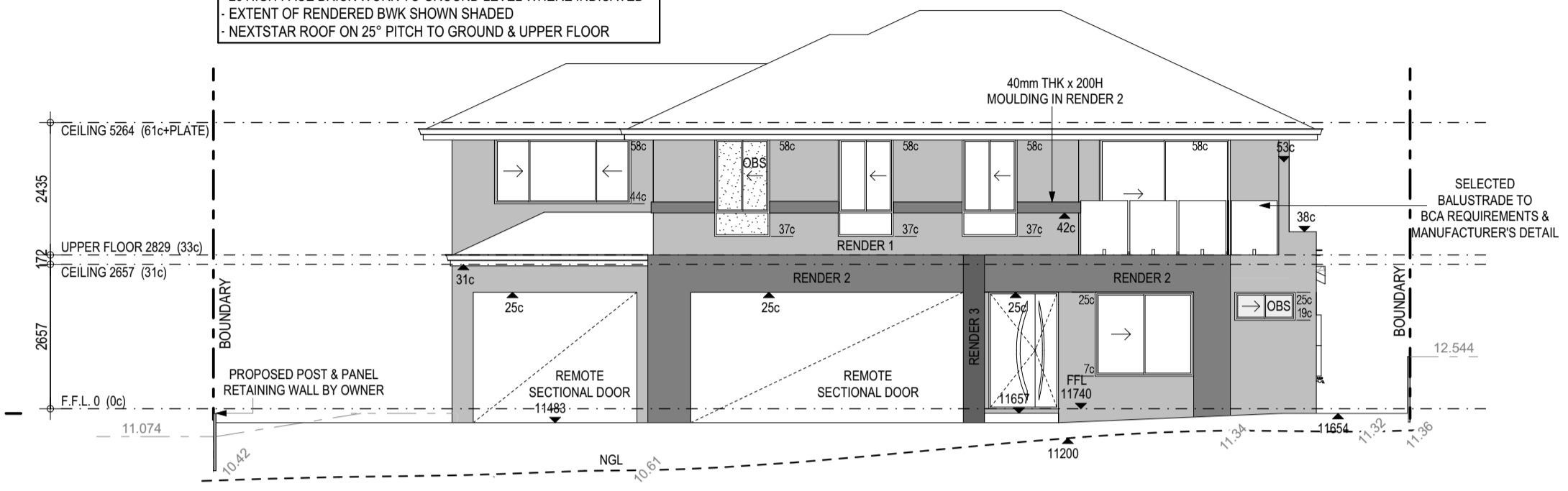
**UPPER FLOOR**  
SCALE 1:100

**A/C LEGEND:**  
A/C CEILING OUTLET SHOWN AS  
A/C WALL REGISTER SHOWN AS  
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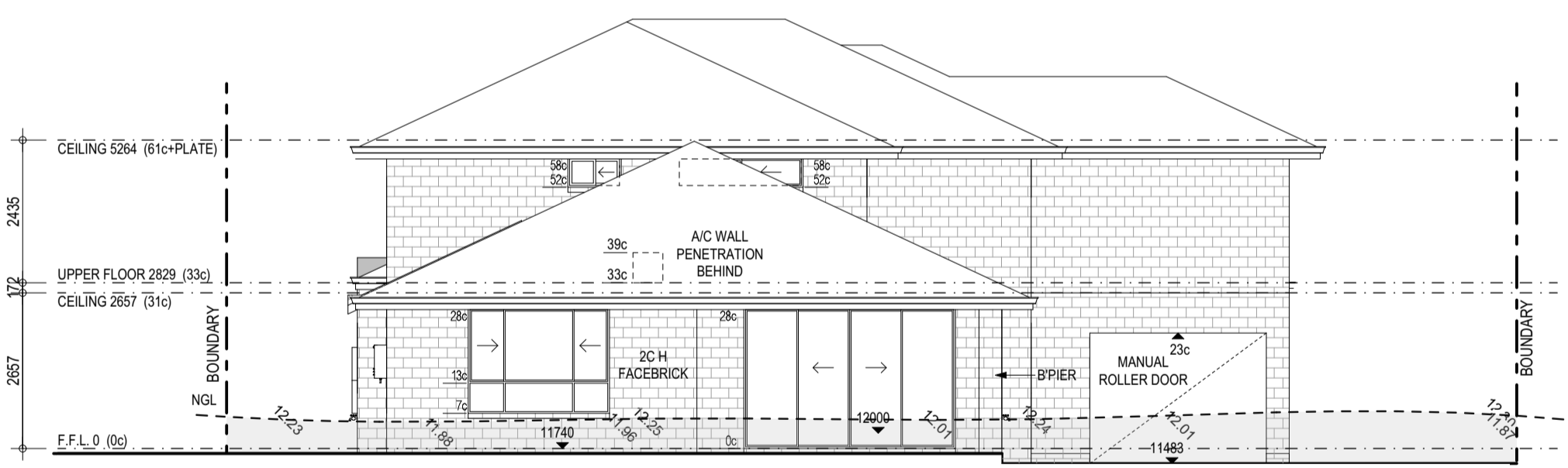
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- 2c HIGH FACE BRICKWORK THROUGHOUT  
- EXTENT OF CONTRASTING RENDERED BWK SHOWN SHADED  
- NEXTSTAR ROOF ON 25° PITCH

<b>NOTE:</b> PROVIDE JASON WINDOWS THROUGHOUT	<b>NOTE:</b> R4.1 CEILING INSULATION THROUGHOUT	<b>NOTE:</b> PROVIDE FULL HEIGHT TILING TO ENSUITE 1, ENSUITE 2, BATHROOM AND POWDER.	<b>NOTE:</b> PROVIDE SECOND COLOR INTERNAL WALL PAINT/TILE SHOWN AS																																			
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**NOTE:**  
 - 2c HIGH FACE BRICK WORK TO GROUND LEVEL WHERE INDICATED  
 - EXTENT OF RENDERED BWK SHOWN SHADED  
 - NEXTSTAR ROOF ON 25° PITCH TO GROUND & UPPER FLOOR



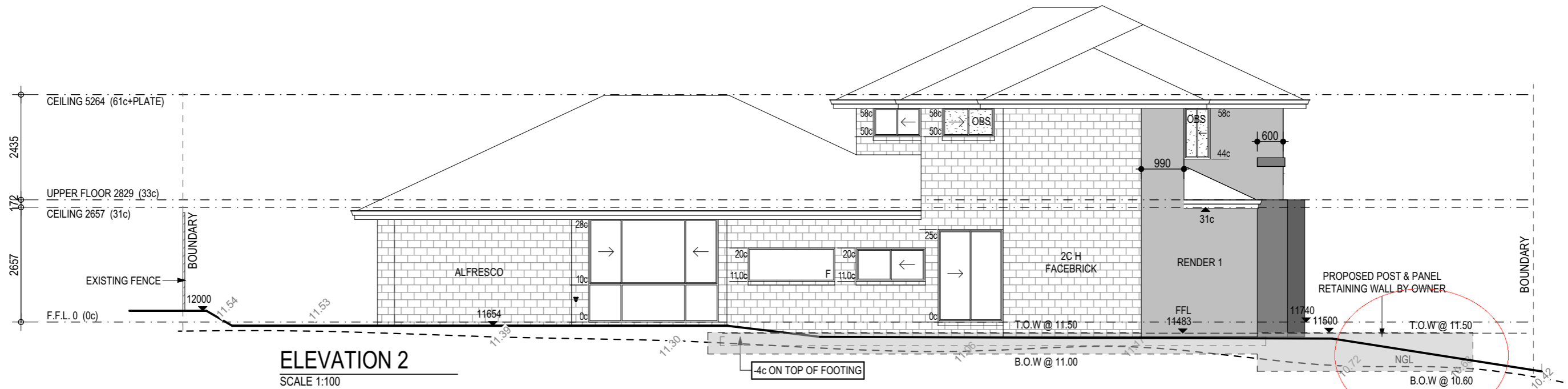
**ELEVATION 1**  
 SCALE 1:100



**ELEVATION 3**  
 SCALE 1:100

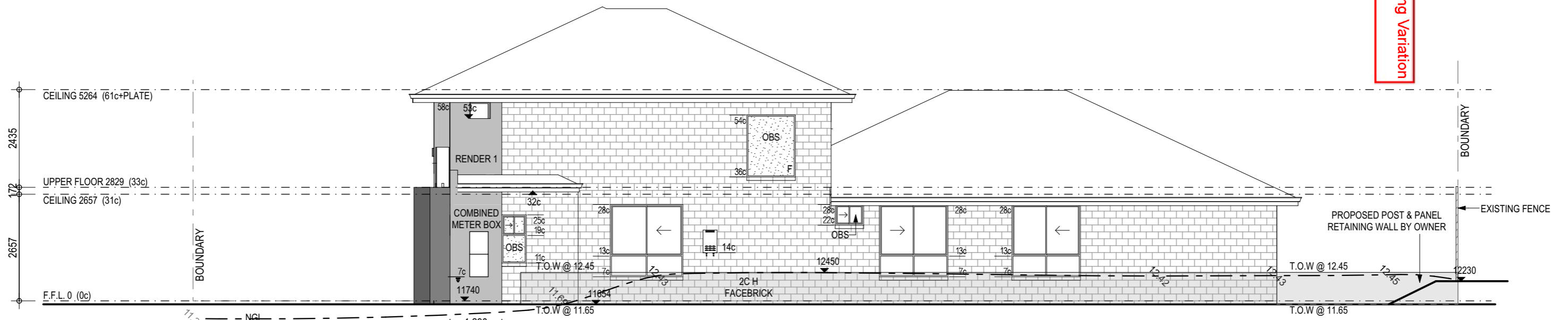
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D:\OneDrive\CU Building Group\CU Building Group - CUBG001 JOBS\AA Bull Creek - 20099 - Lot 37 #10 Hartung Way\8. Working Drawings\Drafting\WD VS- 20099 #10 Hartung Way.pln




**ELEVATION 2**  
SCALE 1:100

↑  
Fill/Retaining Variation



**ELEVATION 4**  
SCALE 1:100

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