

# MARC



**COTTAGE ENGINEERING SURVEYS**  
 Licensed Surveyors

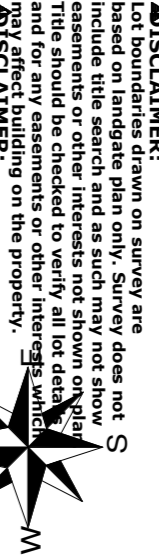
789 Guthrie Street, Osborne Park, Western Australia  
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2958  
 Email: perth@cottage.com.au Website: www.cottage.com.au

J/N: 474034 DATE: 20 Jul 20 SCALE: 1:200 DRAWN: Weightman

Client: **Blaven Way**  
 Lot 174 #29 Blaven Way, Ardross

Plan 7982

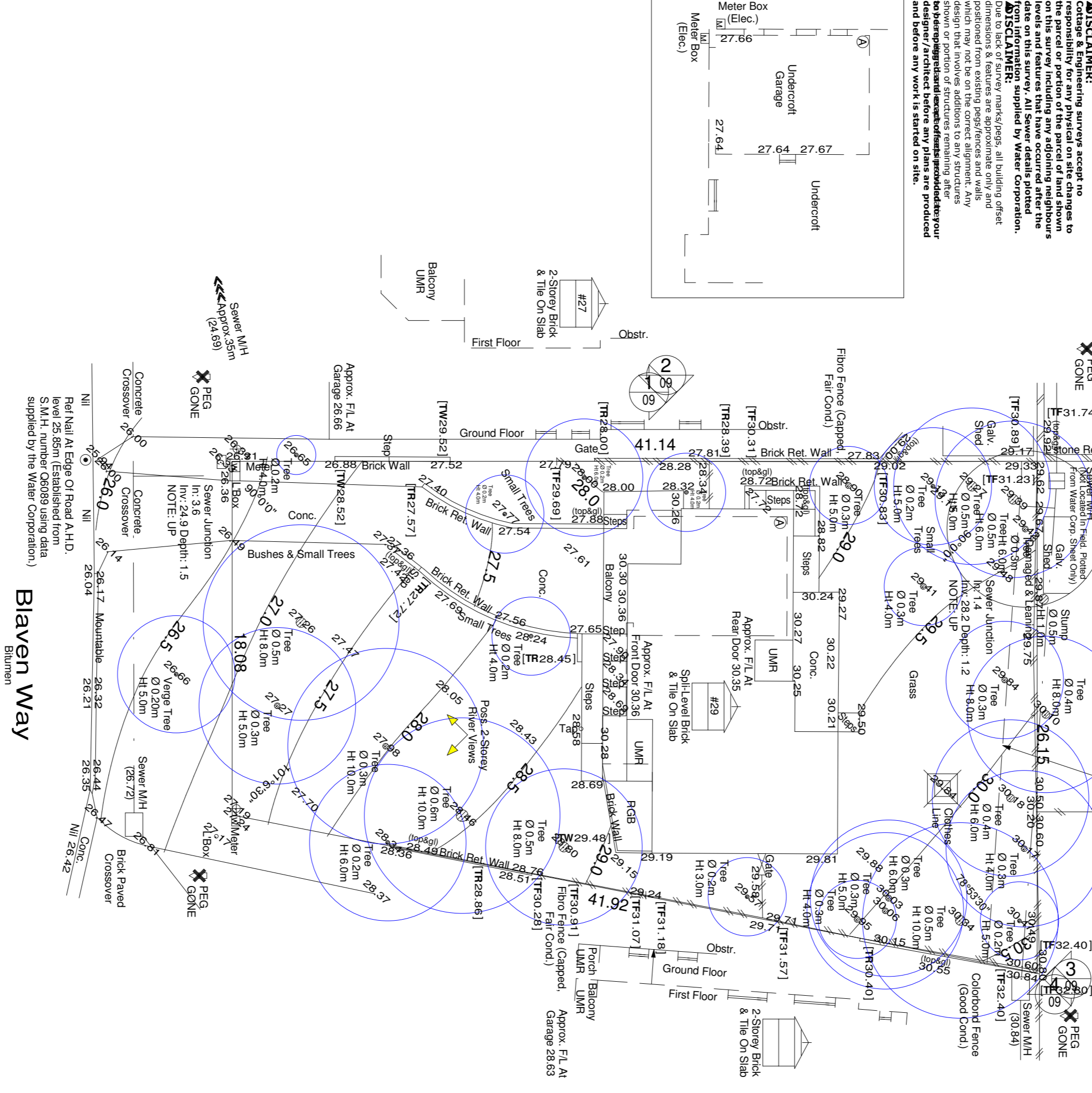
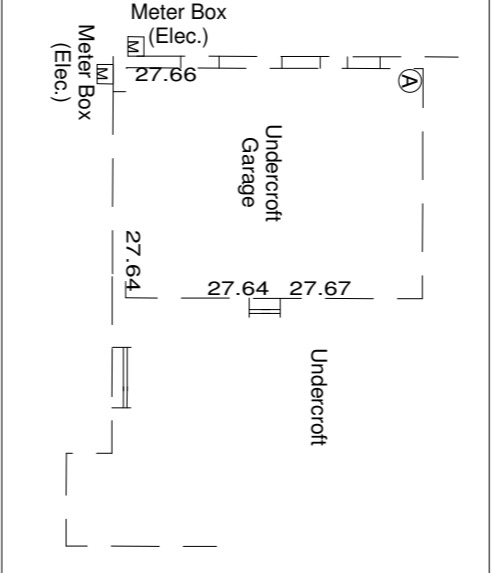
LEGEND	AREA
⊕	SEC Drome
⊕	Power Pole
⊕	Water Conn.
⊕	Top Pillar/Post
⊕	Top Wall
⊕	Top Retaining
⊕	Top Fence



**DISCLAIMER:**  
 Lot boundaries drawn on survey are based on landscape plan only. Survey does not include title of other sites as shown on the plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

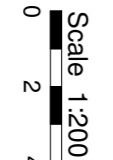
**DISCLAIMER:**  
 Survey shows visible features only and will not show locations of underground pipes or conduits. The location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any errors or omissions on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted are ASCEMETER, supplied by Water Corporation. Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and which may not be on the correct alignment. Any design work should be based on the survey shown or portion of structures remaining after design/contract before any plans are produced and before any work is started on site.



**LOT MISCLOSE**  
 0.008 m

**SOIL DESCRIPTION**  
 Sand  
 Refer to Survey



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**FEATURE SURVEY**

JOB NUMBER: 5018  
 DRAWING NO.: A\_100.1  
 SCALE: 1:200  
 DATE: DEC 2020

ROBERTS RESIDENCE  
 ROBERTS

**COTTAGE ENGINEERING SURVEYS**  
 Licensed Surveyors

474034  
 JUN: 20  
 DATE: 20 Jul 20  
 SCALE: 1:200  
 DRAWN: Weightman

87-89 Guthrie Street, Osborne Park, Western Australia  
 Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998  
 Email: perth@cottage.com.au Website: www.cottage.com.au

Client: **Roberts**  
 Project: **LOT 174 #29 Blaven Way, Ardross**

Plan7982

OLD AREA	SEC. Dome
LEGEND	Power Pole
TP1 (0.00)	Water Pits
TP2 (0.00)	Water Comm.
TP3 (0.00)	Top Pillar/Post
TP4 (0.00)	Top Wall
TP5 (0.00)	Top Retaining
TP6 (0.00)	Top Fence

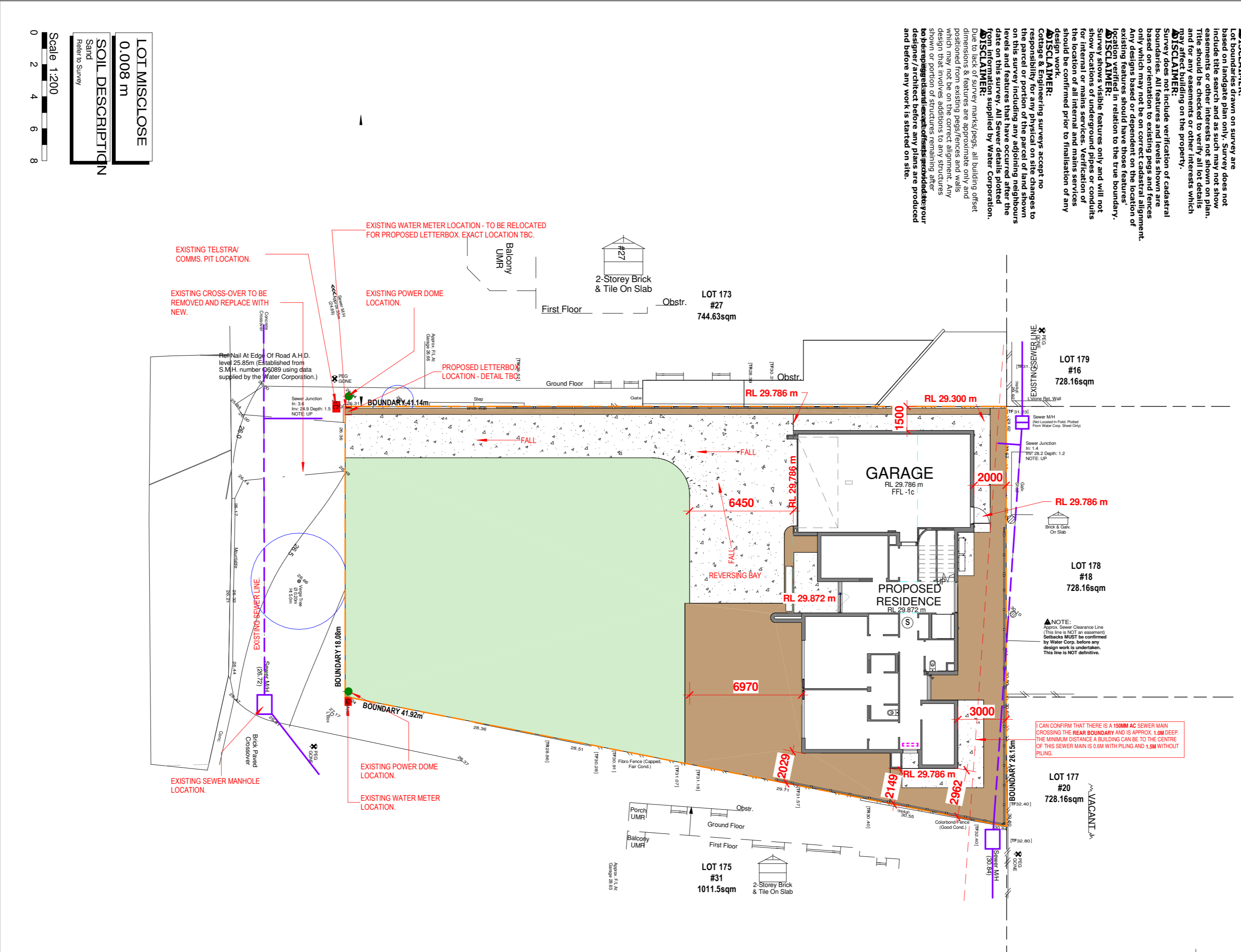
**DISCLAIMER:**  
 Plans shown on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which affect the property.

**DISCLAIMER:**  
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences shown on the plan. Any design based on the location of existing features should have those features location verified in relation to the true boundary.

**DISCLAIMER:**  
 Survey shows the location of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours date on this survey. All sewer details plotted from information supplied by Water Corporation.

**DISCLAIMER:**  
 Due to lack of survey marks/pegs, all building offset positions from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after demolition should be confirmed prior to production and before any work is started on site.

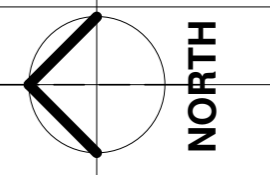


LOT MISCLOSE  
 0.008 m

SOIL DESCRIPTION  
 Sand  
 Refer to Survey

Scale 1:200

0 2 4 6 8



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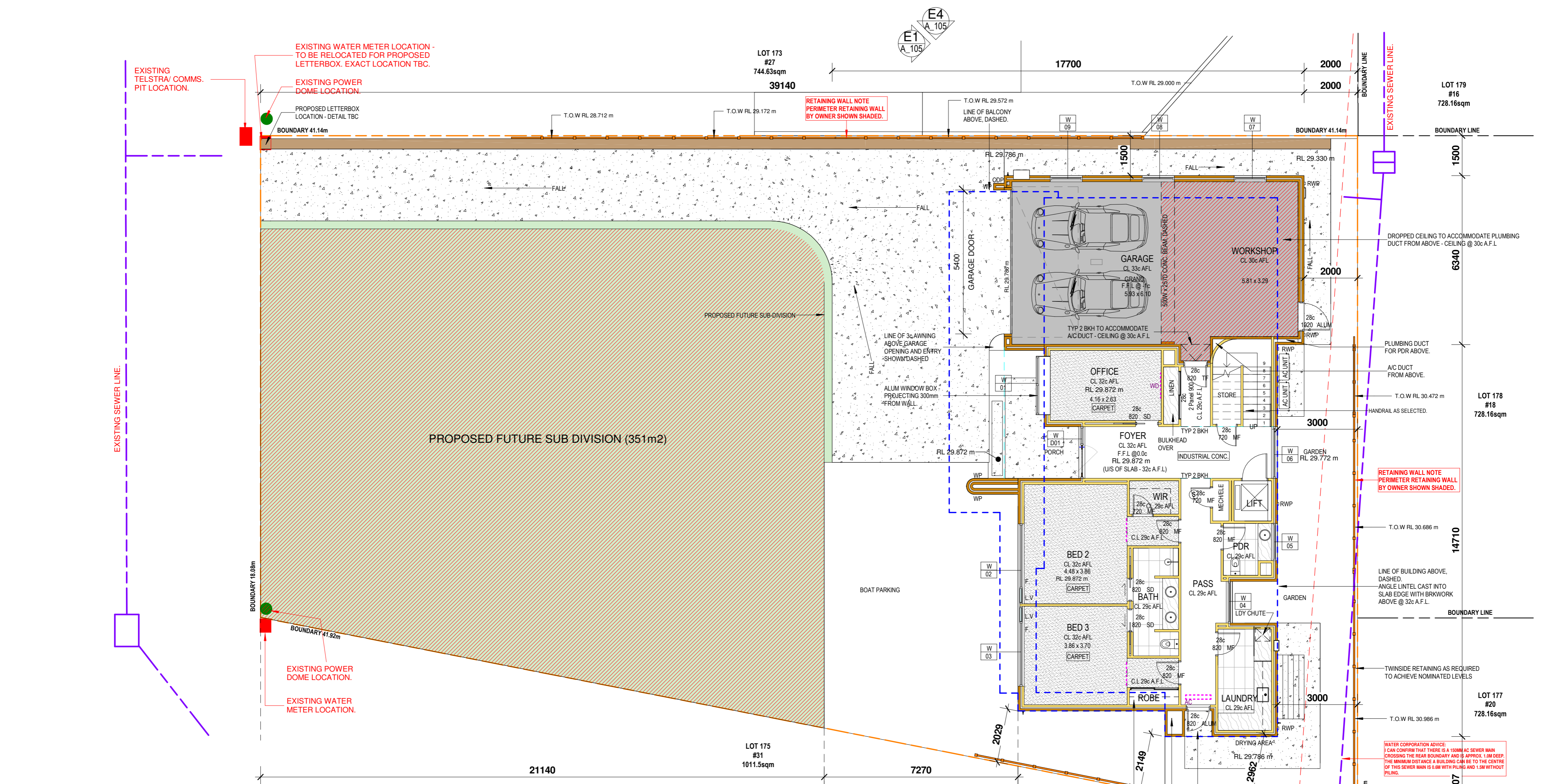
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10 20 40mm

ROBERTS RESIDENCE  
 ROBERTS

SITE PLAN - SK07C  
 General drawings updated

JOB NUMBER 5018  
 DRAWING NO. A\_101  
 SCALE 1:200  
 DATE DEC 2020



**LEGEND:**

F.F.L	FINISHED FLOOR LEVEL.	W.I.R.	WALK IN ROBE.	GEB:	ELECT / GAS METER BOX.
R.L	REDUCED LEVEL.	B.I.R.	BUILT IN ROBE.	HWU:	HOT WATER UNIT.
P.L	PAVING LEVEL.			R.W.P:	RAIN WATER PIPE.
A.F.L	ABOVE FLOOR LEVEL.	VU:	VANITY UNIT.	C.D.P:	CAVITY DOWN PIPE.
N.G.L	NATURAL GROUND LEVEL.	SHR:	SHOWER.		
C.L	CEILING LEVEL.	F.W	FLOOR WASTE.	COL:	COLUMN - TO ENG'S DETAILS.
T.O.W	TOP OF WALL.	WP	WASTE PIPE.	"B":	BEAM - TO ENG'S DETAILS.
				BK R.W	BRICK RETAINING WALL TO ENG'S DETAILS.
- - -	EXTEND OF BUILDING LINE ABOVE / BELOW SHOWN DASHED.	CBRD	CUPBOARD.	<b>MECHANICAL NOTE:</b>	
		LN:	LINEN CUPBOARD.	A/C:	AIR CONDITIONING UNIT.
		BR:	BROOM CUPBOARD.	WD:	AC WALL DIFFUSER.
		TR:	SS TROUGH	A/P:	CEILING ACCESS PANEL.
SS:	SS SINK	WM:	WASHING MACHINE.	RAG	RETURN AIR GRILLE.
HP:	HOT PLATE.	DR:	DRYER MACHINE.	FCU	FAN COIL UNIT.
RH:	RANGE HOOD.	P.D:	PLUMBING DUCT		
OHC:	OVERHEAD CUPBOARD.				
PTY:	PANTRY CUPBOARD.				
W.O:	WALL OVEN.				
FR:	FRIDGE				

NORTH

**MARC**

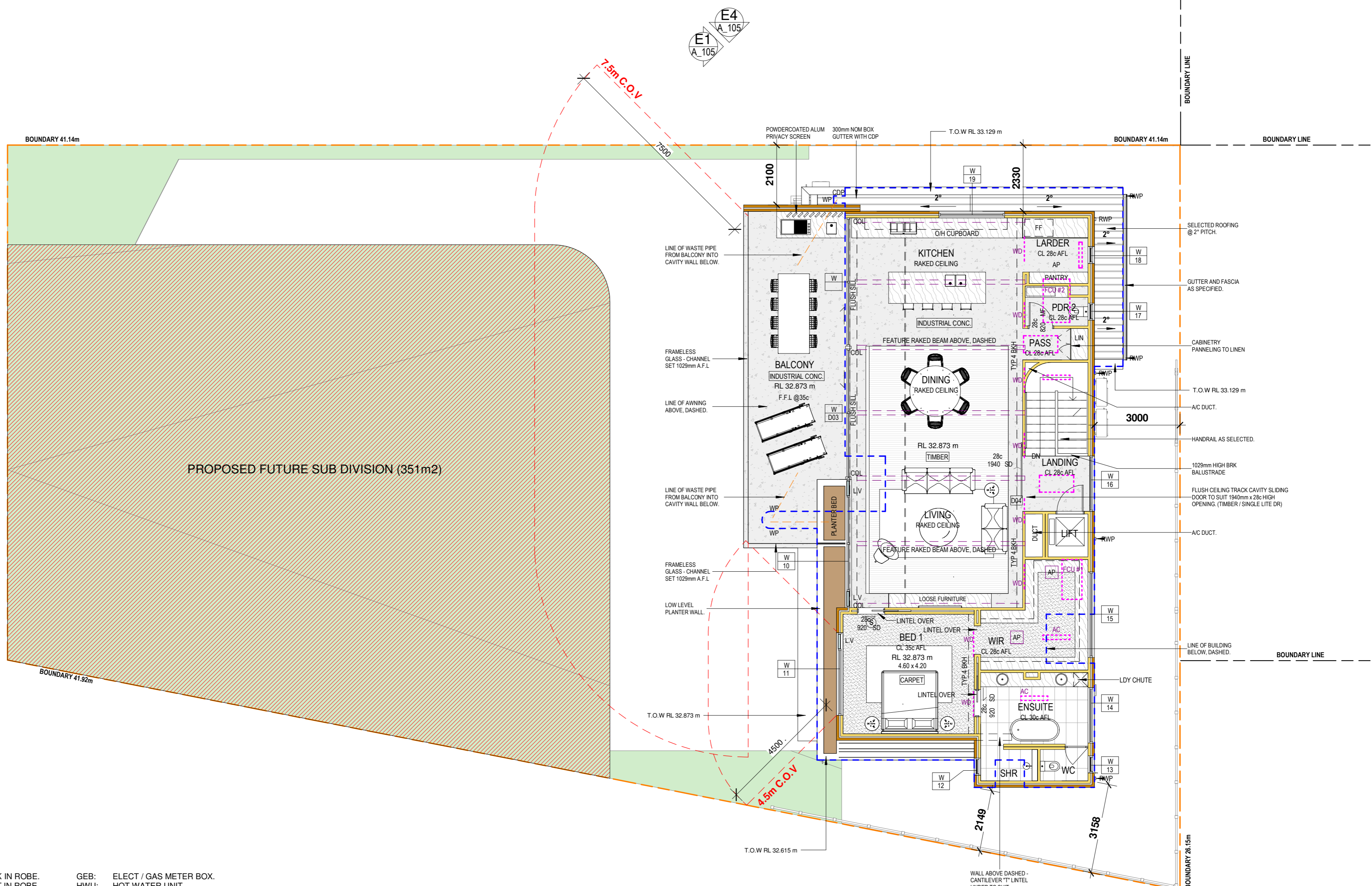
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10 20 40mm

**ROBERTS RESIDENCE**  
**ROBERTS**

**GROUND FLOOR PLAN - SK07C**  
 General drawings updated

JOB NUMBER 5018  
 DRAWING NO. A\_102  
 SCALE 1 : 100  
 DATE DEC 2020

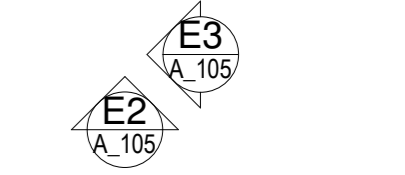
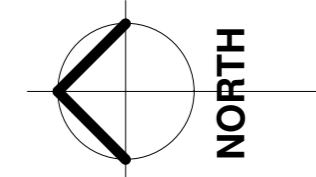


**LEGEND:**

- |                             |                       |   |
|-----------------------------|-----------------------|---|
| F.F.L FINISHED FLOOR LEVEL. | W.I.R: WALK IN ROBE.  | GEB: ELECT / GAS METER BOX.                   |
| R.L REDUCED LEVEL.          | B.I.R: BUILT IN ROBE. | HWU: HOT WATER UNIT.                          |
| P.L PAVING LEVEL.           |                       | R.W.P: RAIN WATER PIPE                        |
| A.F.L ABOVE FLOOR LEVEL.    | VU: VANITY UNIT.      | C.D.P: CAVITY DOWN PIPE                       |
| N.G.L NATURAL GROUND LEVEL. | SHR: SHOWER.          |   |
| C.L CEILING LEVEL.          | F.W FLOOR WASTE.      | COL: COLUMN - TO ENG'S DETAILS.               |
| T.O.W TOP OF WALL.          | WP WASTE PIPE         | "B": BEAM - TO ENG'S DETAILS.                 |
|                             |                       | BK R.W BRICK RETAINING WALL TO ENG'S DETAILS. |

- |   |                      |                             |
|---|----------------------|-----------------------------|
| --- EXTEND OF BUILDING LINE ABOVE / BELOW SHOWN DASHED. | CBRD CUPBOARD.       | <b>MECHANICAL NOTE:</b>     |
|   | LIN: LINEN CUPBOARD. | A/C: AIR CONDITIONING UNIT. |
|   | BR: BROOM CUPBOARD.  | WD: AC WALL DIFFUSER.       |
|   | TR: SS TROUGH        | A/P: CEILING ACCESS PANEL.  |
|   | WM: WASHING MACHINE. | RAG RETURN AIR GRILLE.      |
|   | DR: DRYER MACHINE.   | FCU FAN COIL UNIT.          |
|   | P.D: PLUMBING DUCT   |                             |

- |                         |
|-------------------------|
| SS: SS SINK             |
| HP: HOT PLATE.          |
| RH: RANGE HOOD.         |
| OHC: OVERHEAD CUPBOARD. |
| PTY: PANTRY CUPBOARD.   |
| W.O: WALL OVEN.         |
| FR: FRIDGE              |



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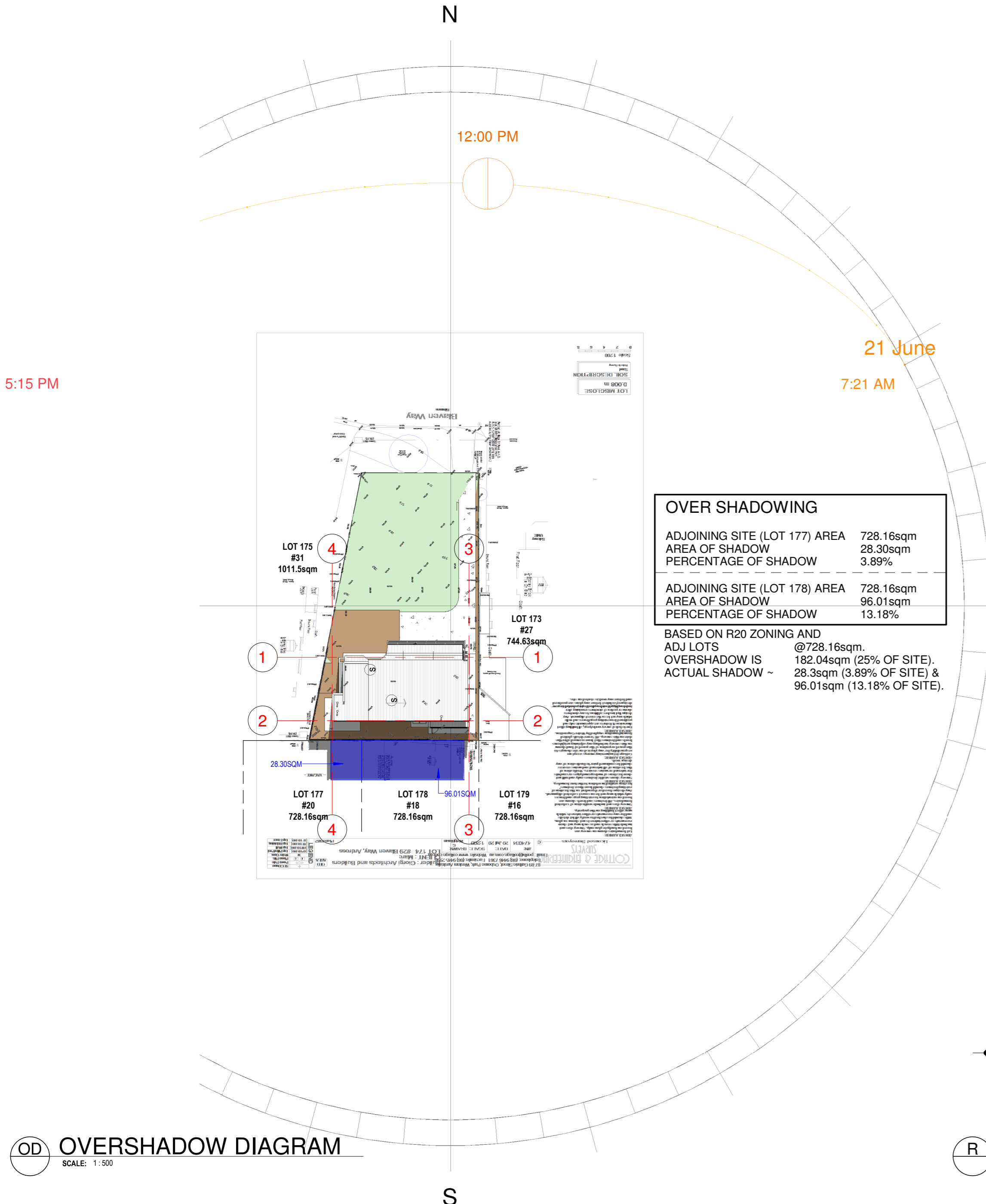
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UPPER FLOOR PLAN - SK07C

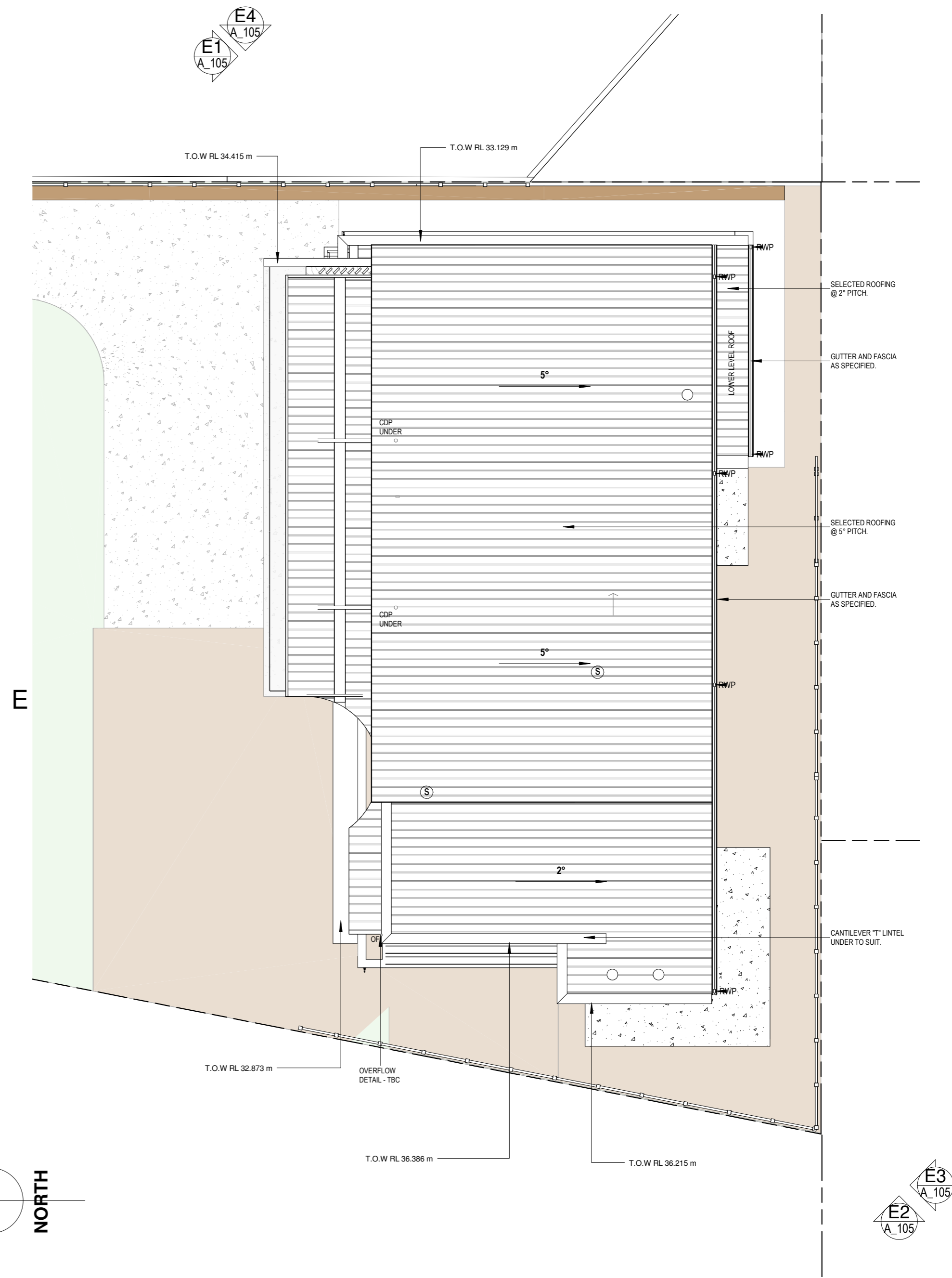
General drawings updated

JOB NUMBER 5018  
 DRAWING NO. A\_103  
 SCALE 1 : 100  
 DATE DEC 2020



OVER SHADOWING	
ADJOINING SITE (LOT 177) AREA	728.16sqm
AREA OF SHADOW	28.30sqm
PERCENTAGE OF SHADOW	3.89%
ADJOINING SITE (LOT 178) AREA	728.16sqm
AREA OF SHADOW	96.01sqm
PERCENTAGE OF SHADOW	13.18%

BASED ON R20 ZONING AND ADJ LOTS @728.16sqm.  
 OVERSHADOW IS 182.04sqm (25% OF SITE).  
 ACTUAL SHADOW ~ 28.3sqm (3.89% OF SITE) & 96.01sqm (13.18% OF SITE).



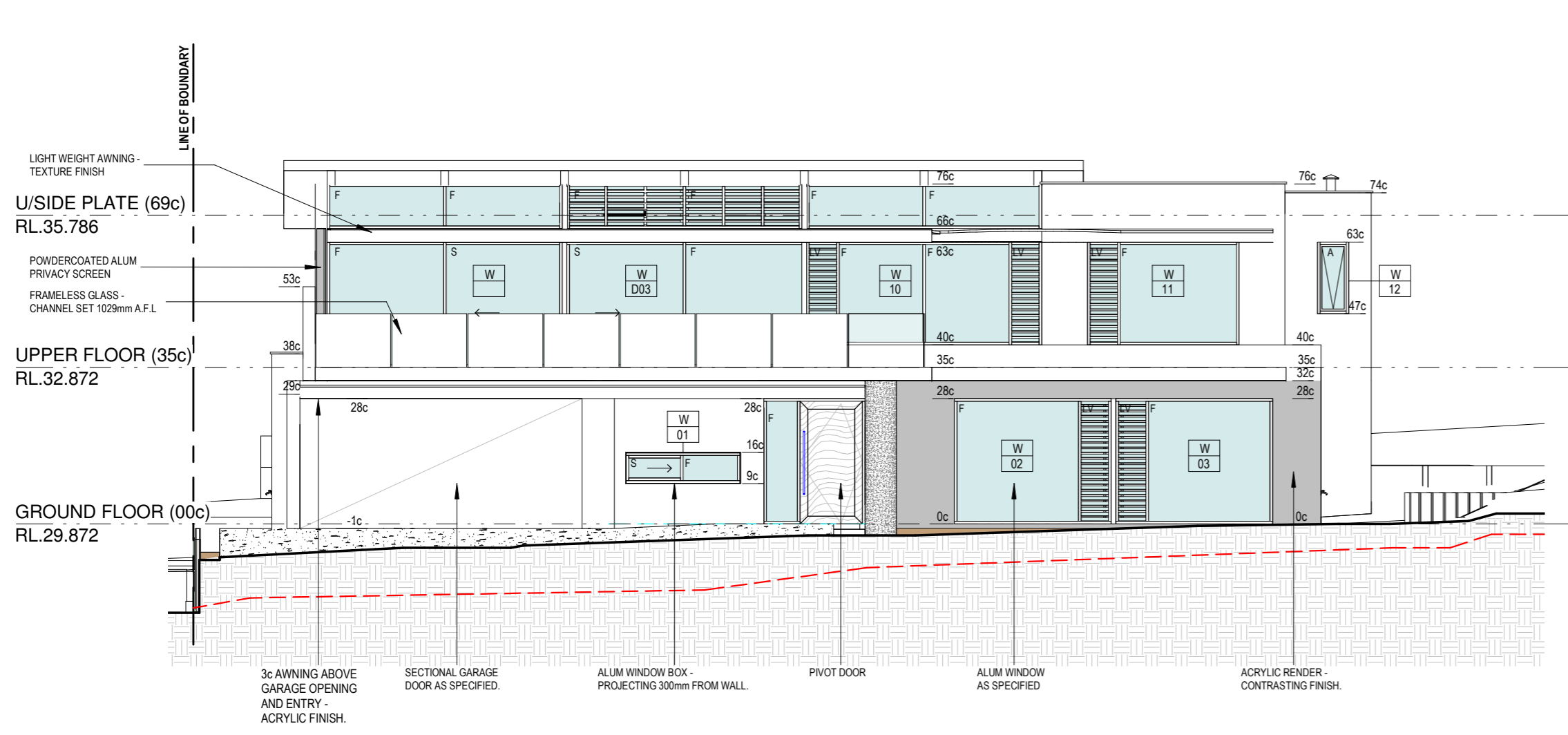
**OD OVERSHADOW DIAGRAM**  
 SCALE: 1:500

**R ROOF PLAN PLANNING**  
 SCALE: 1:100

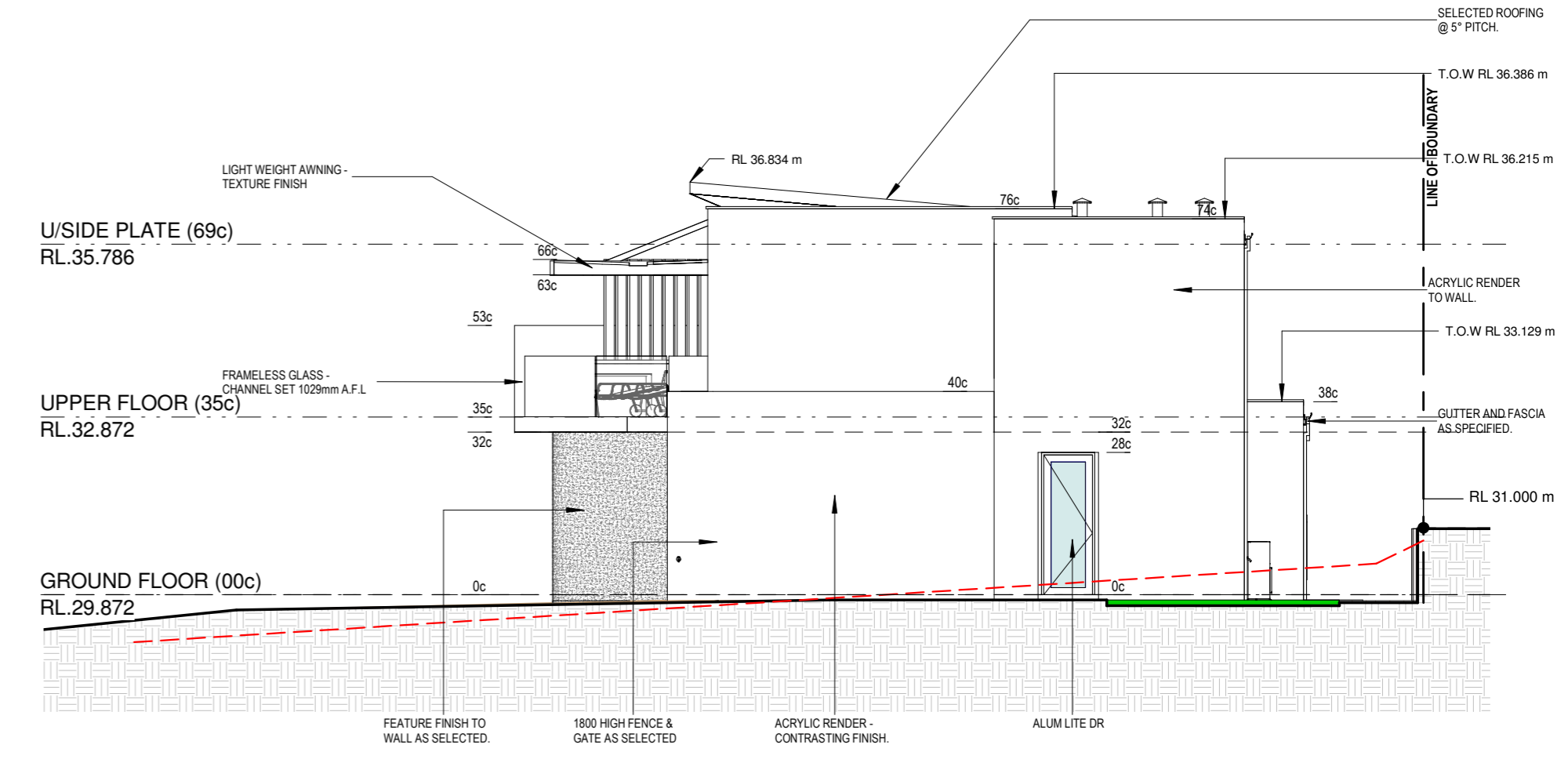
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ROOF / OVERSHADOW PLANS - SK07C  
 General drawings updated

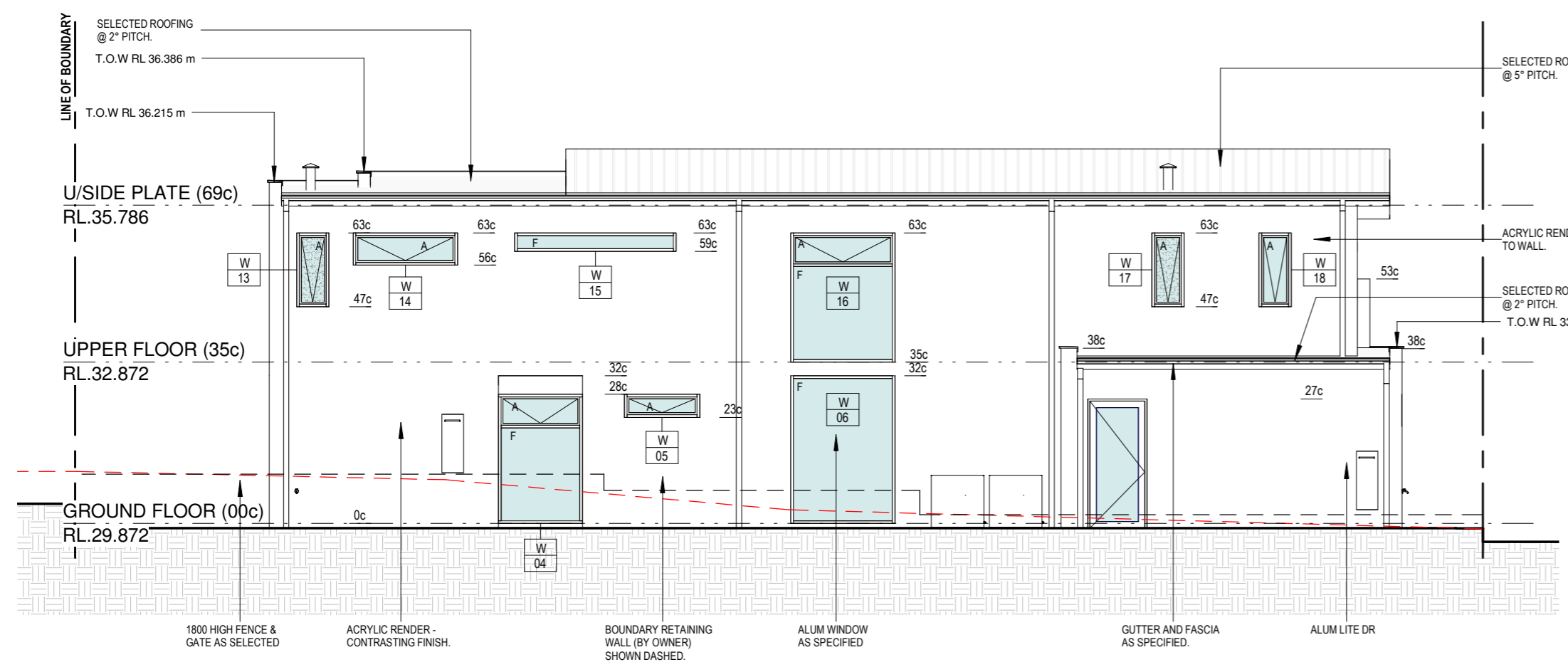
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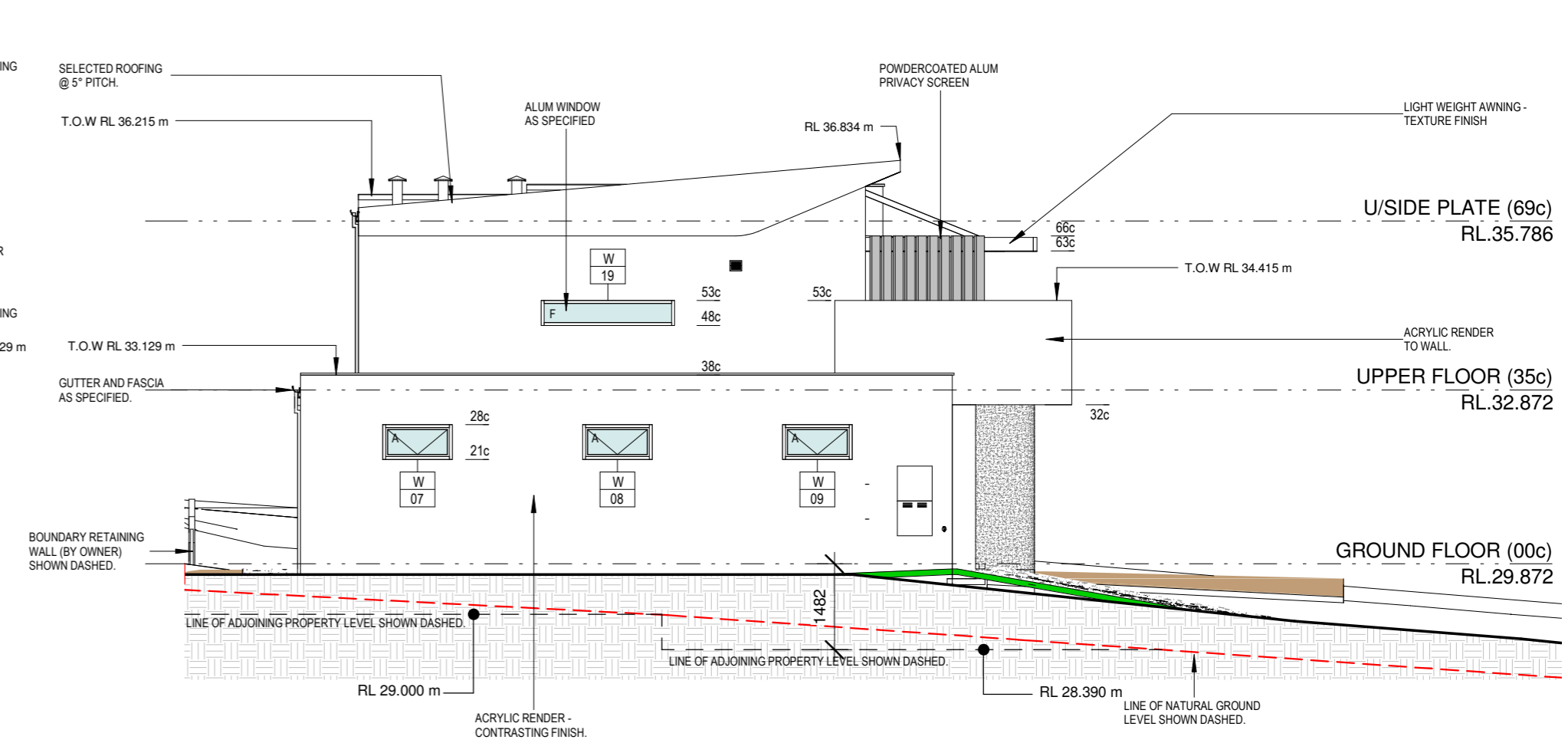
**E1 NORTH ELEVATION**  
A\_102 SCALE: 1:100



**E2 EAST ELEVATION**  
A\_102 SCALE: 1:100



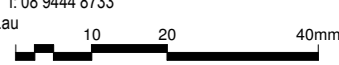
**E3 SOUTH ELEVATION**  
A\_102 SCALE: 1:100

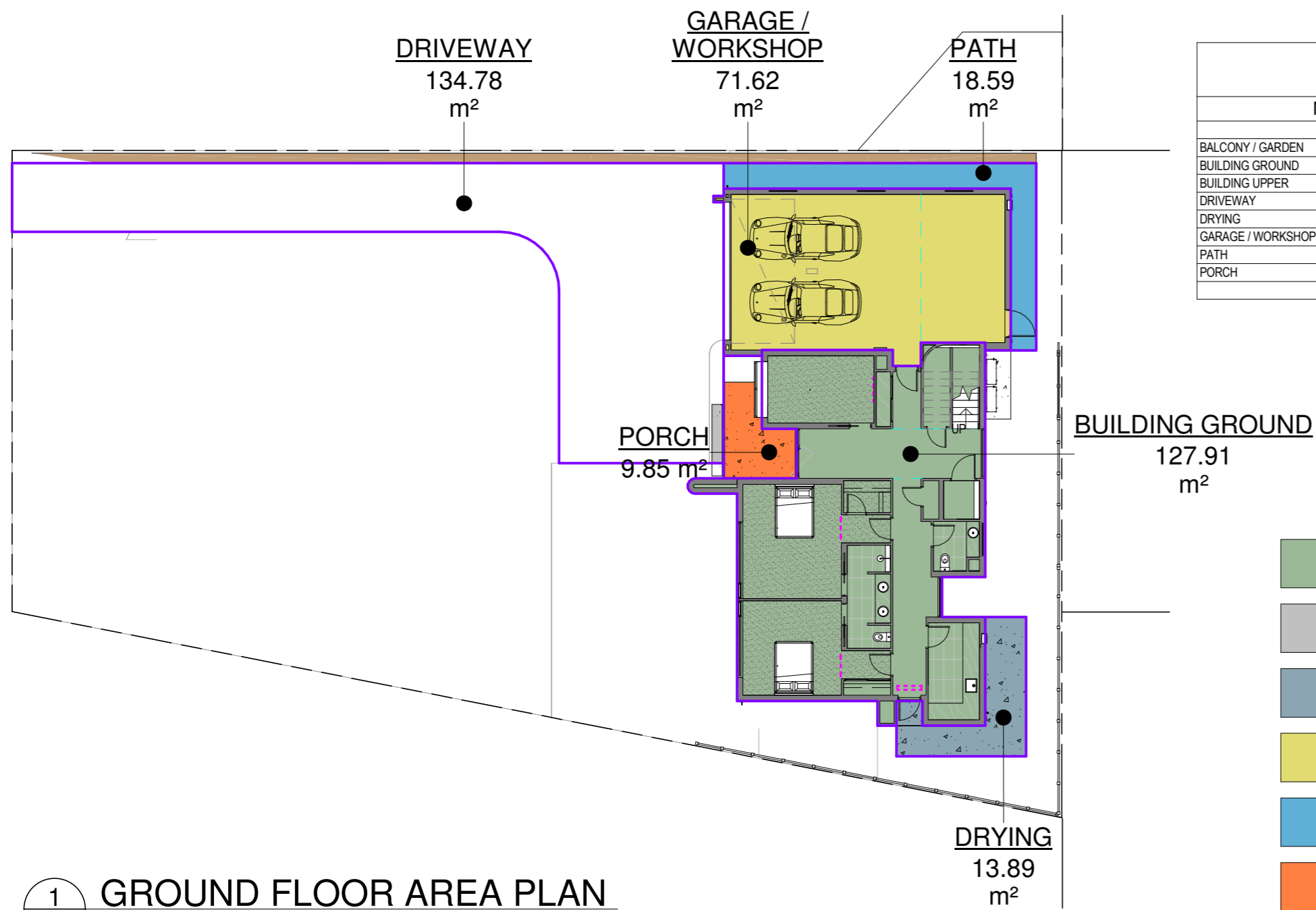


**E4 WEST ELEVATION**  
A\_102 SCALE: 1:100

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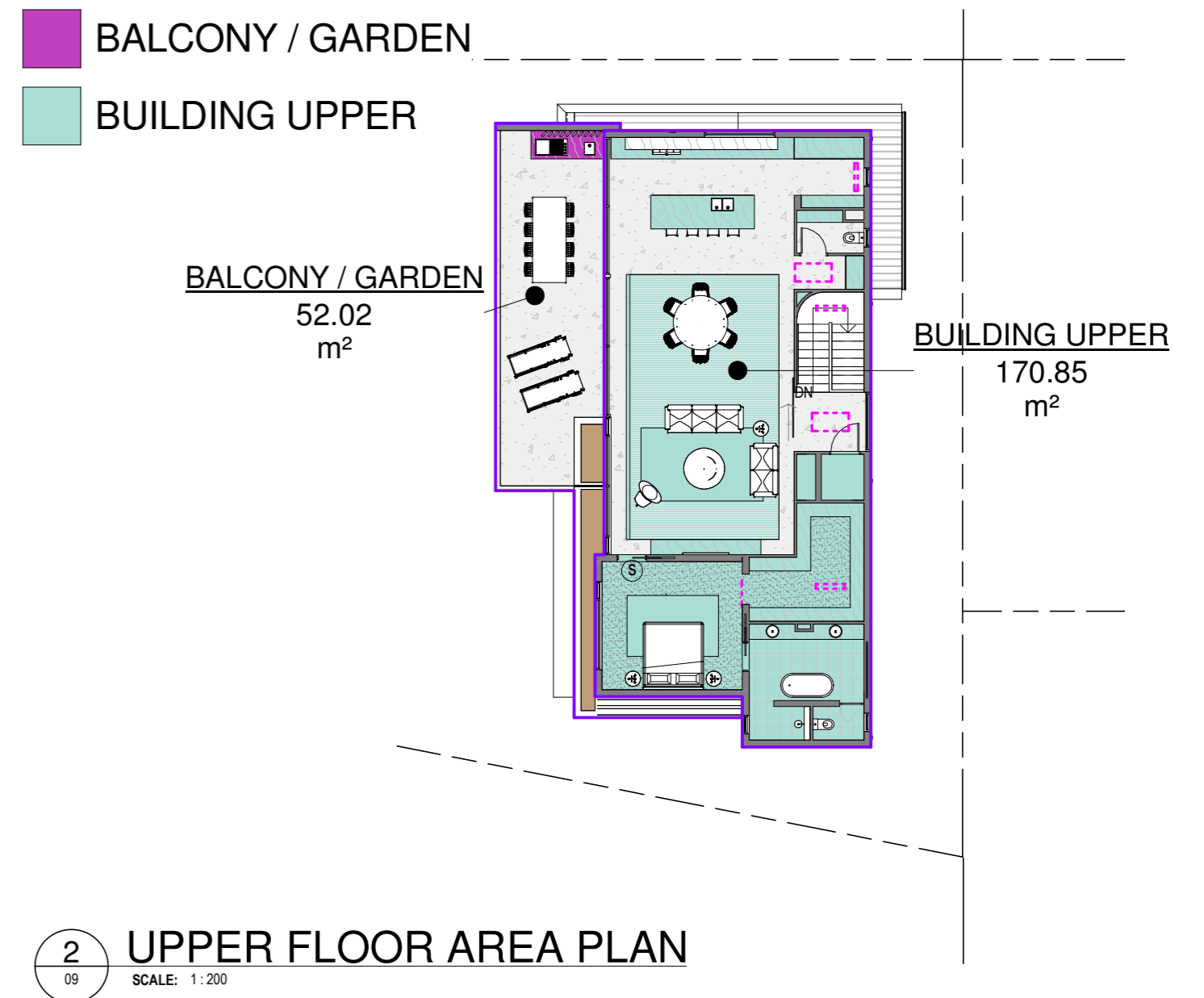




Gross Floor Areas		
Name	Area	Perimeter
BALCONY / GARDEN	52 m <sup>2</sup>	57
BUILDING GROUND	128 m <sup>2</sup>	62
BUILDING UPPER	171 m <sup>2</sup>	59
DRIVEWAY	135 m <sup>2</sup>	79
DRYING	14 m <sup>2</sup>	23
GARAGE / WORKSHOP	72 m <sup>2</sup>	38
PATH	19 m <sup>2</sup>	39
PORCH	10 m <sup>2</sup>	15
	600 m <sup>2</sup>	373

- BUILDING GROUND
- DRIVEWAY
- DRYING
- GARAGE / WORKSHOP
- PATH
- PORCH

**1** GROUND FLOOR AREA PLAN  
SCALE: 1:200



**2** UPPER FLOOR AREA PLAN  
SCALE: 1:200