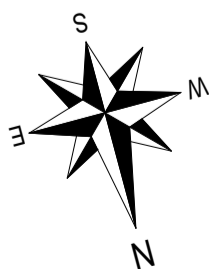


Site Classification:
(refer Eng. details)
N1 Wind classification
TC3 Terrain Category
FS Shielding
T0 Topography
R3 Corrosion Classification

General Notes:
* Stormwater disposal to council requirements
* Sand pad level may vary 100mm either way due to on site restrictions

Paver Note:
A header course is to be provided on the boundary line in all instances where the driveway paving is angled to the road alignment

B.A.L Designation:
Prone N/A



SITE PLAN
1:200

AREAS		
ID	Area	Perimeter
1st floor		
UPPER FLOOR	138.75	60.62
ALFRESCO	8.40	13.84
	147.15 m²	74.46 m
Ground floor		
GROUND FLOOR	166.16	74.66
GARAGE	37.21	25.94
ALFRESCO	25.17	21.38
PORCH	3.92	8.52
	232.46 m²	130.50 m
	379.61 m²	204.96 m

(SITE COVER = 50.29%
OPEN SPACE 49.71%)



Registered Builder No. 9032 ABN 38 059 497 773
Level 1/470 Scarborough Beach Road
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www.danmarhomes.com

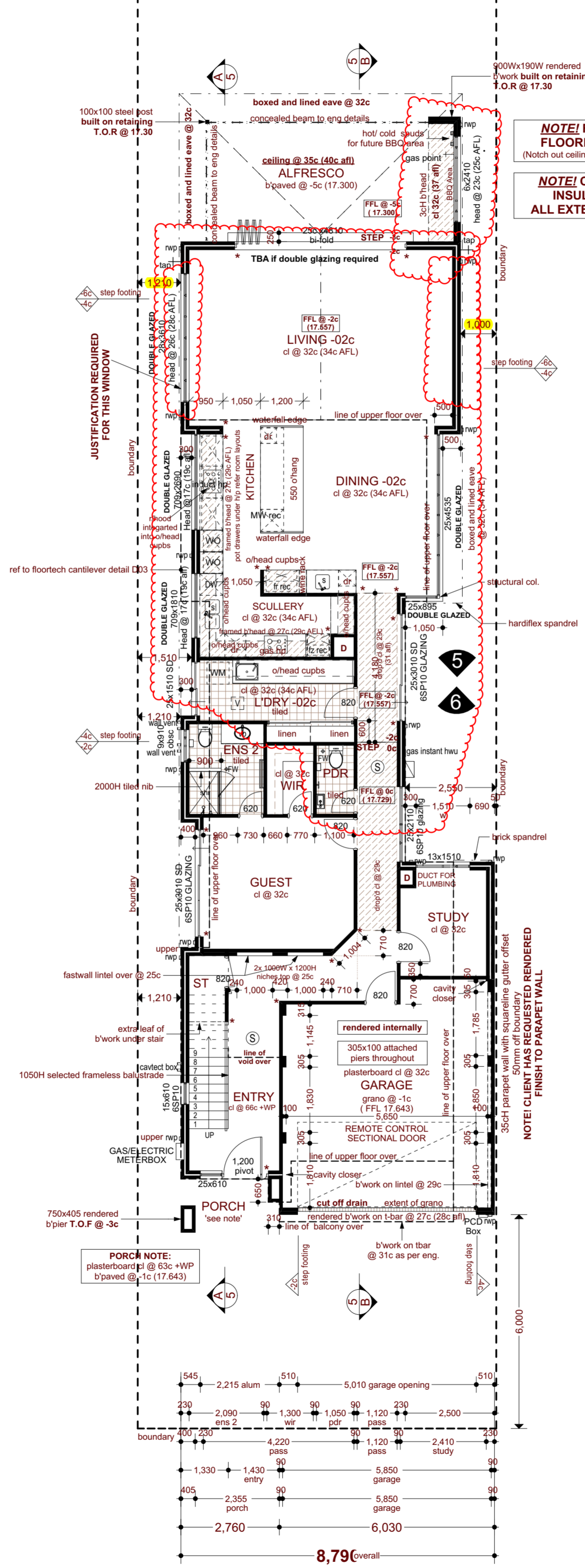
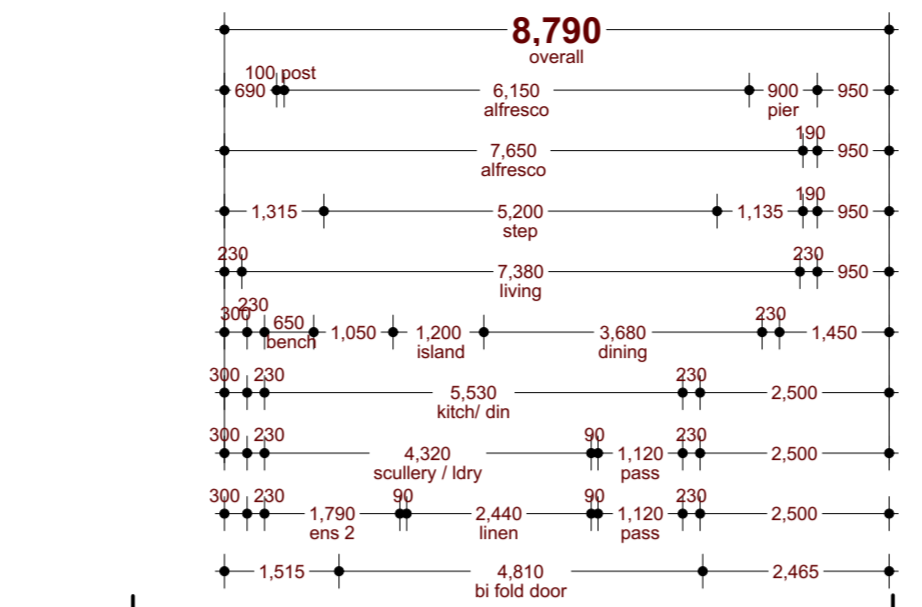
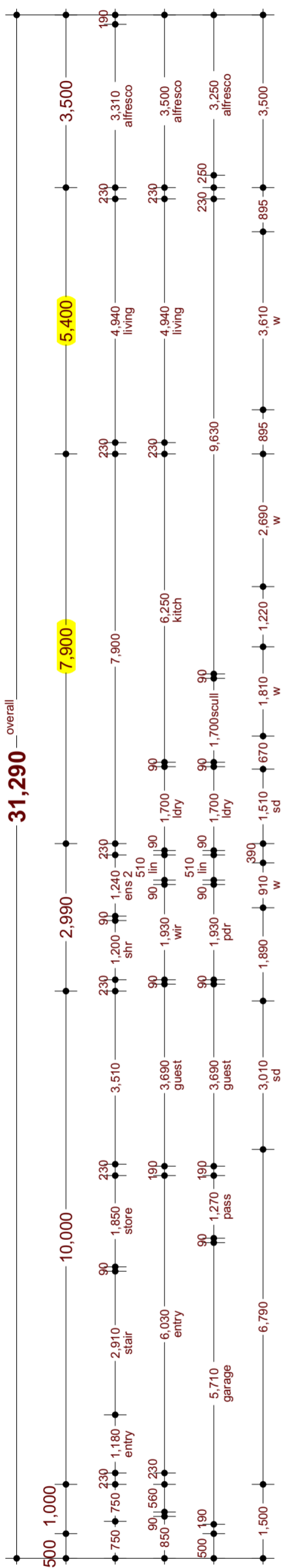
J/No: 10353 Date: 7/09/2021 Drawn: NF/ LK

NOTE! PLAN IS NOT TO SCALE ON A3



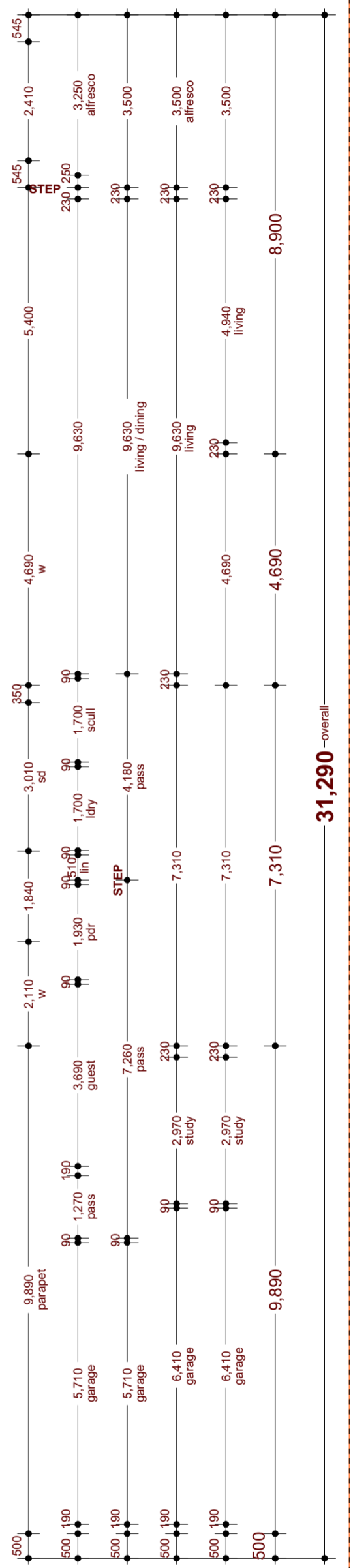
GENERAL NOTES:
 * Check all dimension on site prior to construction
 * All services to be chased into walls except at meterbox location.
 * R4.1 insulation to internal ceilings & garage only
 * 2c face (laid half/third bond) - walls start w/ longreach brick b'work throughout unless otherwise noted
 * Shelf & rail @ 1700 afl to robes
 * 4 equal shelves to linen & pantry (where applicable)
 * 1 shelf @ 1700 afl to broom
 * 1050H selected balustrade/handrail (internal/external) where applicable
 * Metal beads * * * to all trafficable corners
 * Final position of exhaust fans, rainwater pipes (rwp) & cavetec boxes will be determined on site to suit relevant situation
 * Homeguard termite protection to garage parapet wall

NOTES:
 * **FLOORTECH flooring system** (notch out ceiling joists where required)
 * R1 9/2.0 cavity wall insulation to all cavity walls
 * Anticon insulation to entire roof
 * Double glazing & 6SP10 glazing as noted.
 * Floor tiling throughout to suit 6 star. (by client after handover).
 * Reflux valve to sewer line
 * r/hood to be flexiducted through ceiling to external air
 * 1x coat sealer & 2x coats 'maxi wash' internal wall paint



NOTE! FLOORTECH FLOORING SYSTEM
 (Notch out ceiling joists where required)

NOTE! CAVITY WALL INSULATION TO ALL EXTERNAL WALLS



GROUND FLOOR PLAN
 1:100

ENGINEERING NOTES:
 * Plans to be read in conjunction w/ engineer's details
 * Refer to engineer's details for tie down requirements
 * Head & Sill flashing to all windows/sliding doors as required
 * Roof holding down straps to be built into brickwork at max 1200 centres and fixed over roof purlins
 * Longreach bricks over internal/external door and windows with openings greater than 1600 and/or less than 3c brickwork above (including T-bar)
 * Screw fixed all sliding door heads to lintel/t-bar over
 * Reinforced bed joints to b'work over t-bars throughout as per engineer's details
 * Galvanised rods to isolated piers throughout as engineer's details

<p>Scale as shown on A2</p> <p>DANMAR HOMES Registered Builder No. 9032 ABN 38 059 497 773 Level 1/470 Scarborough Beach Road Osborne Park WA 6017 P.O.Box 1814, Osborne Park DC WA 6916 Tel (08) 9445 7833 Fax (08) 9445 7933 www.danmarhomes.com</p>	<p>House type: SPECIAL</p> <p>Proposed residence Client: JOHN Lot No: 121 #5 Venus Street BATEMAN</p>	<p>This plan forms part of the documents as noted below</p> <p>Contract- <input type="checkbox"/> Final Plans- <input type="checkbox"/> Clients: _____ Date: _____ Builder: _____</p>	<p>Site Classification: (refer Eng. details) N1 Wind classification TC3 Terrain Category FS Shielding TO Topography R3 Corrosion Classification</p> <p>B.A.L Designation: Prone N/A</p> <p>Note: Dimensions on plan do not allow for plastering/flooring finish.</p>	<p>Variations:</p> <table border="1"> <tr> <th>V/O No.</th> <th>Date/Dwn.</th> <th>Chkd.</th> </tr> <tr> <td>6 STAR</td> <td>02/06/21 NF</td> <td></td> </tr> </table>	V/O No.	Date/Dwn.	Chkd.	6 STAR	02/06/21 NF		<p>Sheet 1 of 16</p> <p>Job No: 10353</p> <p>Current Date: 7/09/2021</p> <table border="1"> <tr> <th>Drawn</th> <th>Date</th> <th>Chkd.</th> </tr> <tr> <td>NF/LK</td> <td>7/09/2021</td> <td>#Check</td> </tr> </table> <p>© copyright</p>	Drawn	Date	Chkd.	NF/LK	7/09/2021	#Check
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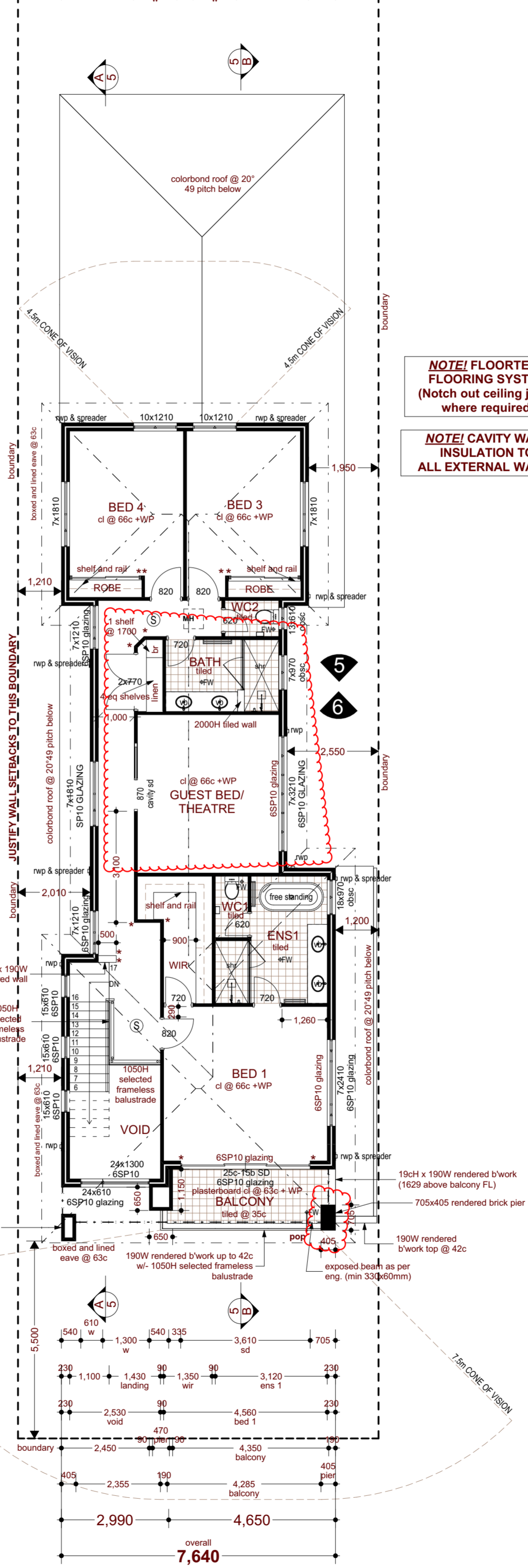
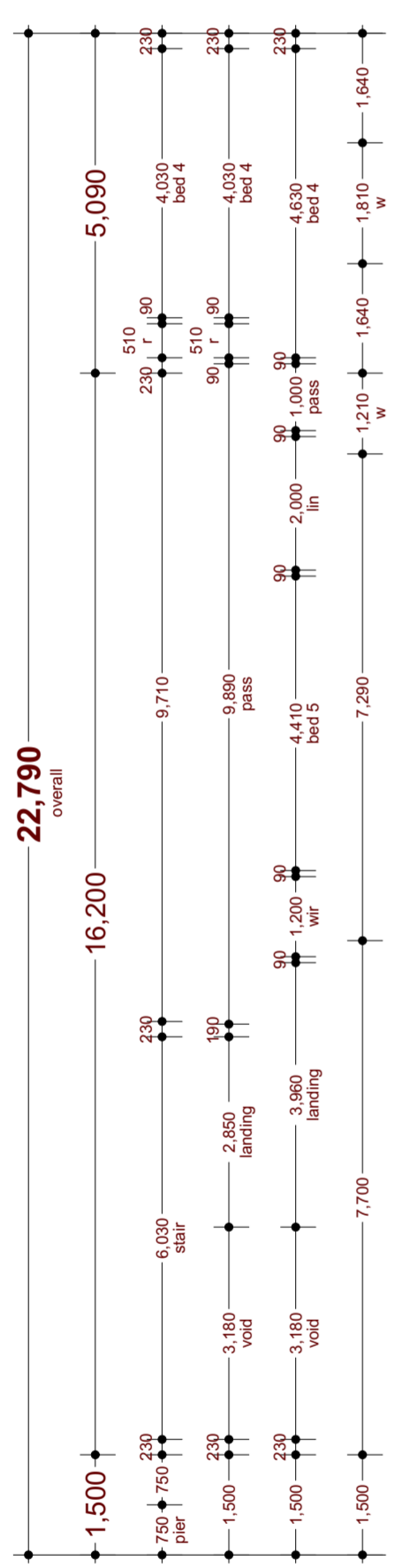
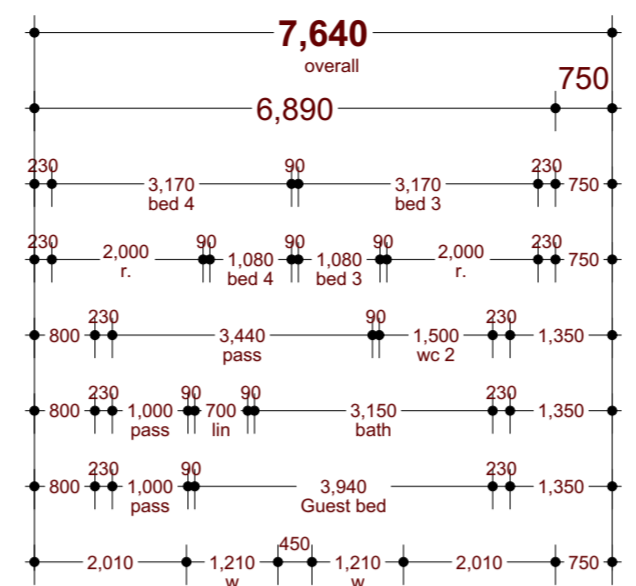
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NOTE! PLAN IS NOT TO SCALE ON A3



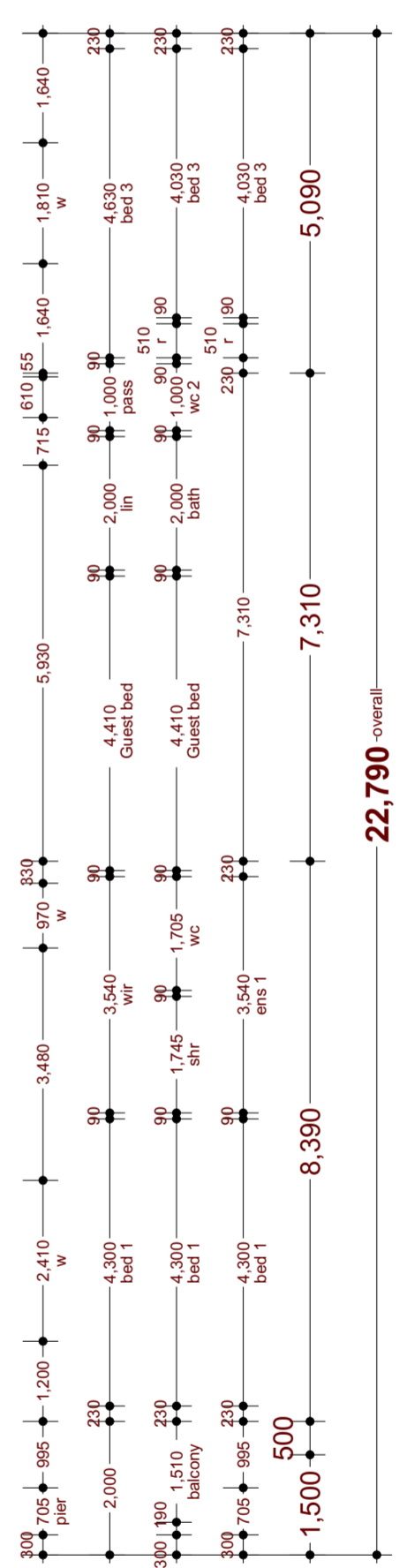
GENERAL NOTES:
 * Check all dimension on site prior to construction
 * All services to be chased into walls except at meterbox location.
 * R4.1 insulation to internal ceilings & garage only
 * 2c face (laid half/third bond) - walls start w/ longreach brick unless otherwise noted
 * Shelf & rail @ 1700 aft to robes
 * 4 equal shelves to linen.
 * FH Mirrored sliding doors w/ cornice soffits to robes.
 * 1050H selected balustrade/handrail (internal/external) where applicable
 * Metal beads " ** " to all trafficable corners
 * Final position of exhaust fans, rainwater pipes (rwp) & cavtect boxes will be determined on site to suit relevant situation
 * Homeguard termite protection to garage parapet wall

NOTES:
 * FLOORTECH flooring system (notch out ceiling joists where required)
 * R1 9/2.0 cavity wall insulation to all cavity walls
 * Double glazing & 6SP10 glazing as noted.
 * Floor tiling throughout to suit 6 star. (by client after handover).
 * 1x coat sealer & 2x coats 'maxi wash' internal wall paint.
 * Anticon insulation to entire roof



NOTE! FLOORTECH FLOORING SYSTEM
 (Notch out ceiling joists where required)

NOTE! CAVITY WALL INSULATION TO ALL EXTERNAL WALLS

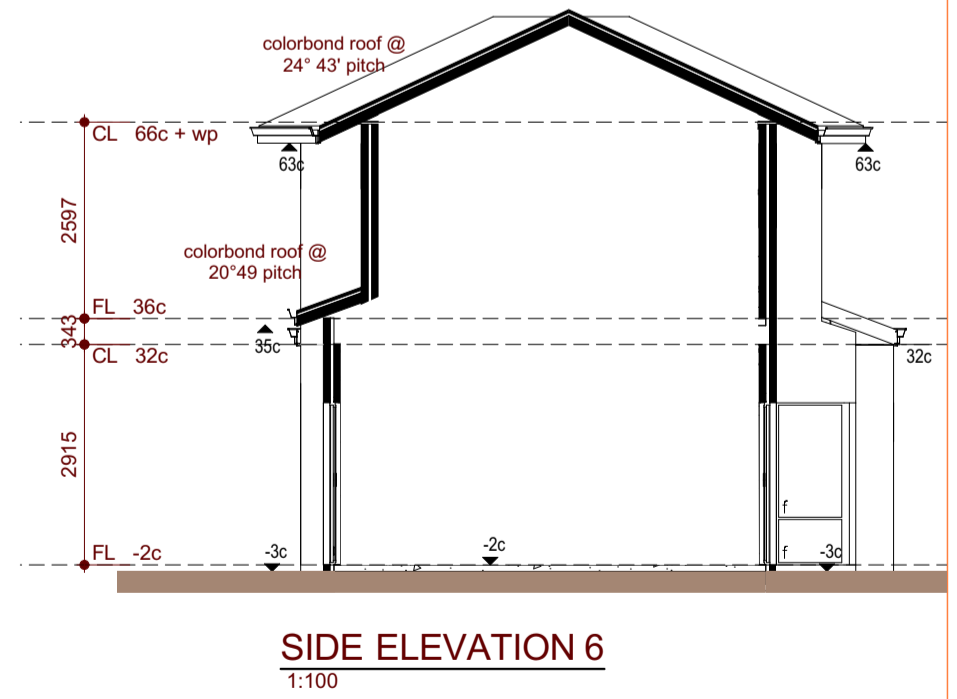
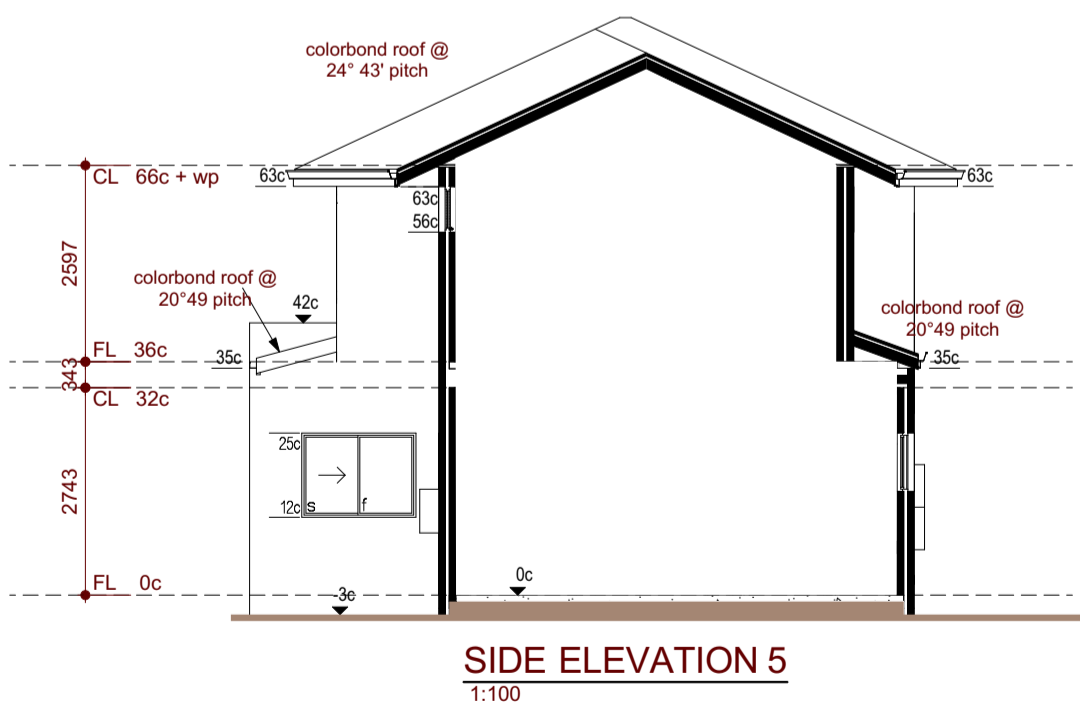
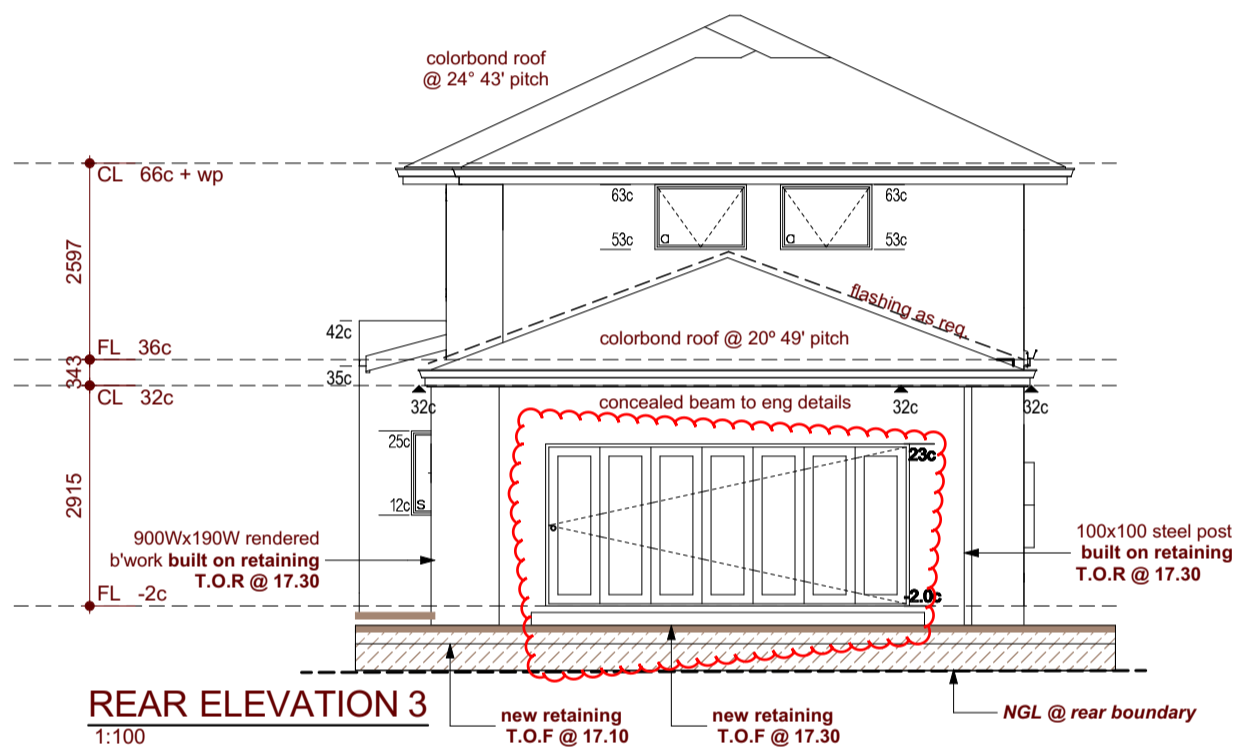
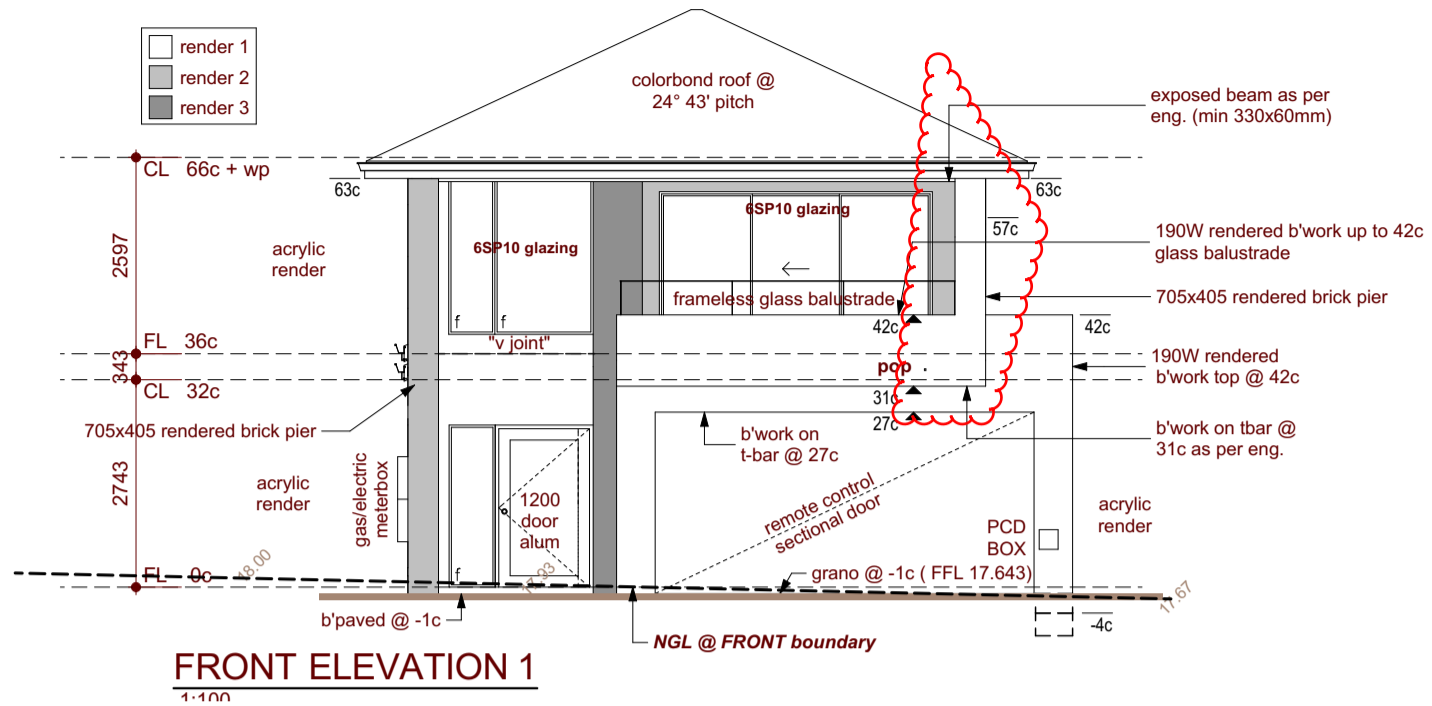


UPPER FLOOR PLAN
 1:100

ENGINEERING NOTES:
 * Plans to be read in conjunction w/ engineer's details
 * Refer to engineer's details for tie down requirements
 * Head & Sill flashing to all windows/sliding doors as required
 * Roof holding down straps to be built into brickwork at max 1200 centres and fixed over roof purlins.
 * Longreach bricks over internal/external door and windows with openings greater than 1600 and/or less than 3c brickwork above (including T-bar)
 * Screw fixed all sliding door heads to lintel/bar over
 * Reinforced bed joints to b'work over T-bars throughout as per engineer's details
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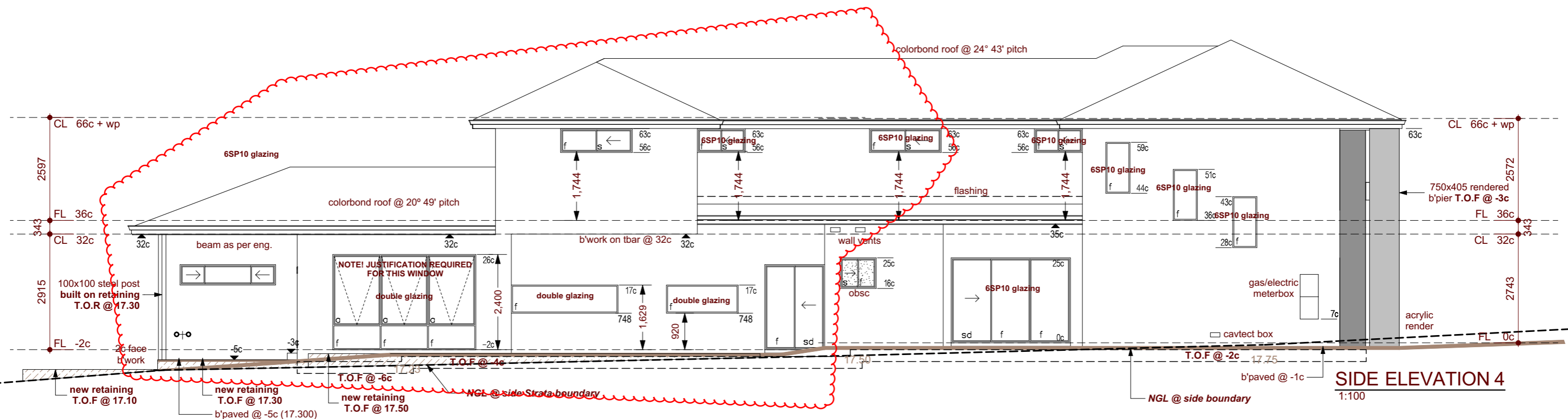
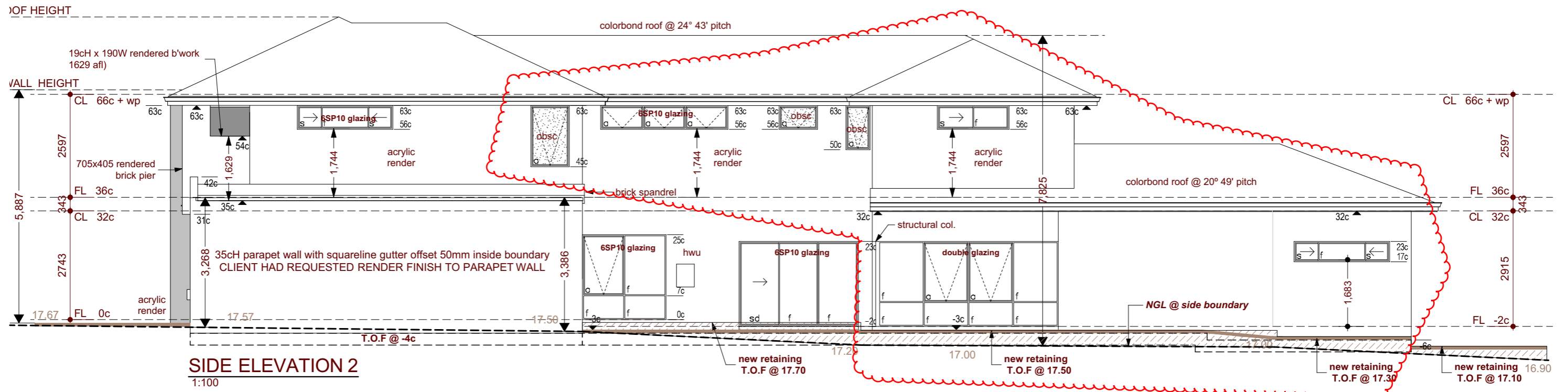
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Note: Upper floor bedroom windows to be protected in accordance with Part 3.9.2.5



<p>Scale as shown on A3</p> <p>DANMAR HOMES</p> <p>Registered Builder No. 9032 ABN 38 059 497 773 Level 1/470 Scarborough Beach Road Osborne Park WA 6017 P.O.Box 1814, Osborne Park DC WA 6916 Tel (08) 9445 7833 Fax (08) 9445 7933 www.danmarhomes.com</p>	<p>House type : SPECIAL</p> <p>Proposed residence</p> <p>Client: JOHN</p> <p>Lot No: 121 #5</p> <p>Venus Street</p> <p>BATEMAN</p>	<p>This plan forms part of the documents as noted below</p> <p>Contract- <input type="checkbox"/></p> <p>Final Plans- <input type="checkbox"/></p> <p>Client/s:</p> <p>Date:</p> <p>Builder:</p>	<p>Site Classification:</p> <p>(refer Eng. details)</p> <p>N1 Wind classification</p> <p>TC3 Terrain Category</p> <p>FS Shielding</p> <p>T0 Topography</p> <p>R3 Corrosion Classification</p> <p>B.A.L Designation:</p> <p>Prone N/A</p> <p>Note: Dimensions on plan do not allow for plastering/flooring finish.</p>	<p>Variations:</p> <table border="1"> <thead> <tr> <th>V/O No.</th> <th>Date/Dwn.</th> <th>Chkd.</th> </tr> </thead> <tbody> <tr> <td>6 STAR</td> <td>02/06/21 NF</td> <td></td> </tr> </tbody> </table>	V/O No.	Date/Dwn.	Chkd.	6 STAR	02/06/21 NF		<p>Sheet 3 of 16</p> <p>Job No: 10353</p> <p>Current Date: 7/09/2021</p> <table border="1"> <thead> <tr> <th>Drawn</th> <th>Date</th> <th>Chkd.</th> </tr> </thead> <tbody> <tr> <td>NF/ LK</td> <td>7/09/2021</td> <td>#Check</td> </tr> </tbody> </table> <p>© copyright</p>	Drawn	Date	Chkd.	NF/ LK	7/09/2021	#Check
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