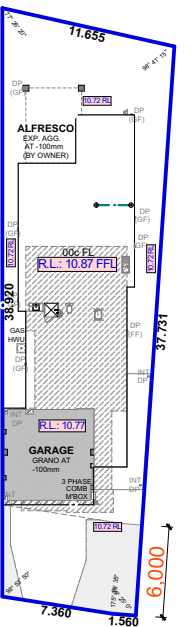


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NOTE:
REFER TO SLAB SETOUT
PLAN FOR SLAB, PLUMBING
PRELAY AND WET AREA
SETOUT

GAS AVAILABILITY: YES - M



ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	No (Approx. Only - Confirm With Shire)
GAS	Check Alinta	COMMS	Yes	PATH	Nil	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Mountable	VEG.	Light Grass Cover

JOB: 511156 DATE: 12 Oct 21 DRAWN: A. Poncini

ENERGY EFFICIENCY 6 STAR REQUIREMENTS	
CAVITY WALL INSULATION:	YES
(Extent between markers X-X)	
LIVING CEILING INSULATION:	R5.0
GARAGE CEILING INSULATION:	R5.0
ROOF INSULATION:	NIL
DESIGN CHANGES:	CEILING FAN TO DINING
WINDOW GLAZING:	SINGLE CLEAR & AS PER PLAN
ENERGY RATING COMPLETE:	NO

NKLIN		Local Authority: MELVILLE	Job No: G1407
Amendment:		Init:	Date Dwn: 20/09/21
Working Drawings		JS	Dwn By: JS
			Check: SIM
			Sales: DJ
			Scale: 1:200, 1:500
			Sheet # 01 Rev: 00



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Level 1, 42 Cedric Street, Stirling WA 6021
Phone (08) 6144 1000 Fax (08) 6144 1004
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Map Ref: StreetSmart® - GPS - Lat: -32.057934 Long: 115.820418

OWNER..... DATE.....

OWNER..... DATE.....

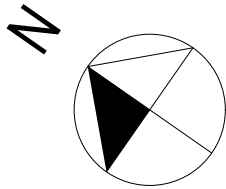
BUILDER..... DATE.....

Rev:	Date:	Amendment:
00	22/10/21	Working Drawings
01		
02		
03		
04		
05		
06		
07		

Job No: **G1407**

Date Drn:	20/09/21
Drn By:	JS
Check:	SIM
Sales:	DJ
Scale:	1:200, 1:500
Sheet #:	01
Rev:	00

NOTE:
G/F CEILING 31c U/S SLAB
F/F CEILING 30c + WP
UNLESS NOTED OTHERWISE
METAL DECK ROOF
G/F 25° PITCH W/- 500MM EAVE
G/F 5° PITCH W/- NIL EAVE
F/F 25° PITCH W/- 500MM EAVE
02c: DOUBLE HEIGHT FACE BRICK FINISH TO
EXTERNAL BWK UNLESS NOTED
OTHERWISE.



S:\Drafting\Working Drawings\Aveling Developments\G1407 Booth R00.pn

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NOTE :
SHADED AREA DENOTES
BULKHEAD OR SUSPENDED
CEILING BY CEILING FIXER
AT HEIGHT NOMINATED

NOTE:
REFER TO SLAB SETOUT
PLAN FOR SLAB, PLUMBING
PRE-LAY AND WET AREA
SETOUT

NOTE:
PROVIDE 01c LONGREACH
SOLID BRICK SILL (NOM. 290
x 76 x 90) TO OPENINGS

TILER NOTE:
NO HOB TO SHOWER IN
ENSUITE 1 & BATHROOM.
RECESS SHOWER FLOOR TO
DETAIL

CLIENT NOTE:
OWNER TO SUPPLY &
INSTALL SHOWER SCREENS,
MIRRORS &
ROBE/STORE/LINEN SLIDING
DOORS.

CLIENT NOTE:
BUILDER TO PROVIDE
INSTALL ONLY OF ALL WALL &
FLOOR TILING.

CEILING FIXER:
POST FIX CORNICE TO FULL
HEIGHT WALL TILING IN
ENSUITE 1 & 2, WC, POWDER,
& BATHROOM.

(U.N.O.) UNLESS NOTED OTHERWISE
ON PLAN THE FOLLOWING SHALL
APPLY.

BRICKLAYER NOTE

6"MM RODS & 3" OF LONGREACH
BRICK TO TOP OF INTERNAL WALLS
BETWEEN Z-Z

EXTENT OF RENDER BETWEEN R-R.

REFER TO CONSTRUCTION DETAIL
SHEET & ENGINEER CERTIFIED
DETAILS

REFER TO ENGINEERS TIE DOWN
DETAILS

ROOF CARPENTER NOTE

REFER TO ENGINEERS TIE DOWN
DETAILS

REFER TO BUILDERS ROOF
CARPENTER SPECIFICATION

FIXING CARPENTER NOTE

PROVIDE GALLOW'S BRACKET
SUPPORT TO SHELVES OVER
1800"MM LONG (MAX. 1800"MM)

ALL SHELVES 450 DEEP (U.N.O.)

HANG RAIL CENTRE TO BE 250"MM
OFF WALL/ BACK OF SHELF.

WIR/ROBE:
SHELF & RAIL AT 1800"MM A.F.L.

PANTRY: 4 SHELVES
TOP SHELF AT 1800"MM A.F.L.
BOTTOM SHELF AT 600"MM A.F.L.
EQ. SPACE SHELVES BETWEEN

LINEN: 4 SHELVES
TOP SHELF AT 1800"MM A.F.L.
EQ. SPACE ALL SHELVES TO F.F.L.

BROOM:
1x SHELF AT 1800"MM A.F.L.

PROVIDE DRAFTPROOF SEAL TO
ENTRY, GARAGE/ENTRY & LAUNDRY
EXTERNAL DOORS WHERE
APPLICABLE

TOWEL RAILS FIXED AT 1100"MM A.F.L.

CLIENT NOTE

NOTED DIMENSIONS WILL TAKE
PREFERENCE TO SCALE.

DIMENSIONS SHOWN ON PLANS
ARE TO BRICKWORK. INTERNAL
SPACES WILL ALTER IN SIZE TO
ACCOMMODATE WALL FINISHES

HIFLEX TO ALL EXTERNAL
CEILINGS & EAVE LININGS U.N.O.

NUMBER AND SPACING OF RAIN
WATER PIPES IS APPROXIMATE &
GOVERNED BY ROOF STRUCTURE
& AT THE PLUMBERS DISCRETION.

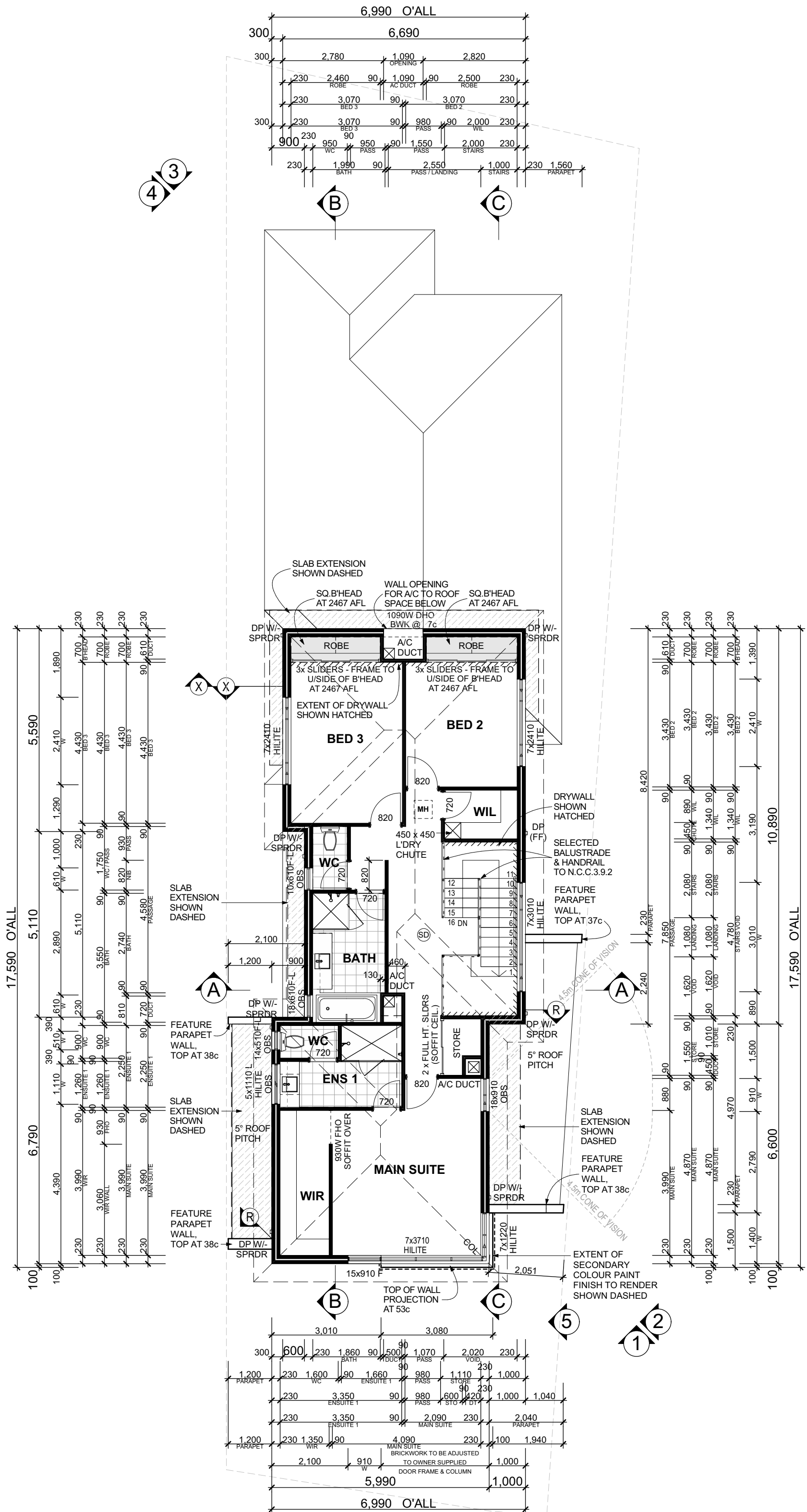
ALL STRUCTURAL BEAMS IN
ACCORDANCE WITH THE
ENGINEERS SIGNED DETAILS
AND SPECIFICATIONS

LEGEND:

RL	REDUCED LEVEL
FFL	FINISHED FLOOR
LEVEL	LEVEL
AFL	ABOVE FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
GF	GROUND FLOOR
FF	FIRST FLOOR
SF	SECOND FLOOR
FL	FLOOR LEVEL
CL	CEILING LEVEL
PD	PLUMBING DUCT
WP	WALL PLATE
AF	ALUMINIUM FRAME
MF	METAL FRAME
TF	TIMBER FRAME
TSO	CAVITY SLIDING DOOR
PL	PRIVACY LOCK
OBS	OBSCURE GLASS
DS	DOUBLE GLAZING
DR	DOUBLE REBATE
GB	GLAZING BARS
AQ	AQUACHECK LINING
PB	PLASTERBOARD
FC	FIBRE CEMENT
SC	SKIM COAT (PLASTER)
PF	PAINT FINISH
PPR	PAINT FINISH RENDER
AT	ACRYLIC TEXTURE
EPS	EXPANDED POLYSTYRENE
DP	DOWNPIPE
SPRDR	SPRINKLER
RWH	RAIN WATER HEAD
NB	NOT TO BOND
FW	FLOOR WASTE

ENERGY EFFICIENCY 6 STAR REQUIREMENTS

CAVITY WALL INSULATION: **YES**
(Extent between markers X-X)
LIVING CEILING INSULATION: **R5.0**
GARAGE CEILING INSULATION: **R5.0**
ROOF INSULATION: **NIL**
DESIGN CHANGES: **CEILING FAN TO DINING**
WINDOW GLAZING: **SINGLE CLEAR & AS PER PLAN**
ENERGY RATING COMPLETE: **NO**



ID	FIRST FLOOR	M²	PERIM.
05	FIRST FLOOR	109.83	50.56
		109.83 m²	50.56 m
ID	ROOF	M²	PERIM.
FF	ROOF AREA	135.46	54.16

AVELING
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BUILDING CONTRACTOR N° 12788
Level 1, 42 Cedric Street, Stirling WA 6021
Phone (08) 6144 1000 Fax (08) 6144 1004
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Dwg: **FLOOR PLAN FF**
Client: **BOOTH**
Site: **LOT 88 (#6b)
WEAVER COURT,
KARDINYA**
Map Ref: StreetSmart® - GPS - Lat: -32.057934 Long: 115.820418

CONTRACTS		D10A-02-LH FRANKLIN		Local Authority: MELVILLE		Job No: G1407	
OWNER.....	DATE.....	Rev: 00	Date: 22/10/21	Amendment:	Working Drawings	Init: JS	Date Dm: 20/09/21
OWNER.....	DATE.....	01					Dm By: JS
BUILDER.....	DATE.....	02					Check: SIM
		03					Sales: DJ
		04					Scale: 1:100
		05					Sheet #03
		06					Rev: 00
		07					

NOTE:
TO SCALE ON
A2 SHEET

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NOTE:
LIGHT GREY SHADING TO RENDER INDICATES PRIMARY COLOUR

NOTE:
DARK GREY SHADING TO RENDER INDICATES SECONDARY COLOUR

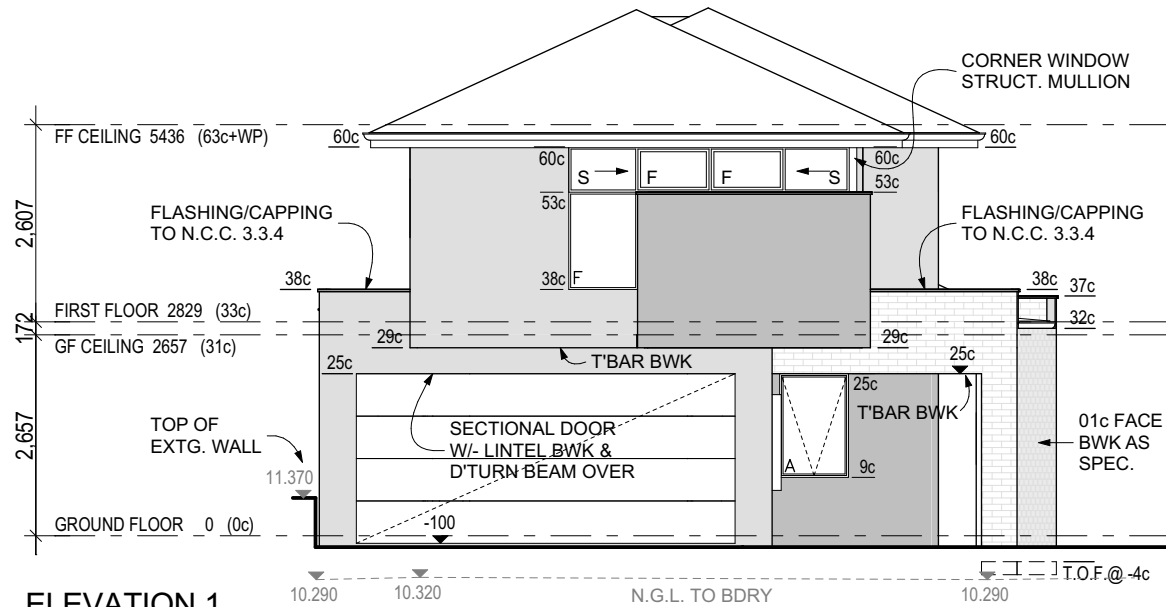
NOTE:
01c SOLID LONGREACH BRICK SILLS TO OPENINGS WHERE APPLICABLE.

NOTE:
PROVIDE ANTICON TO UNDERSIDE OF LOW PITCH ROOF CLADDING AS SPEC. (GARAGE/PORCH)

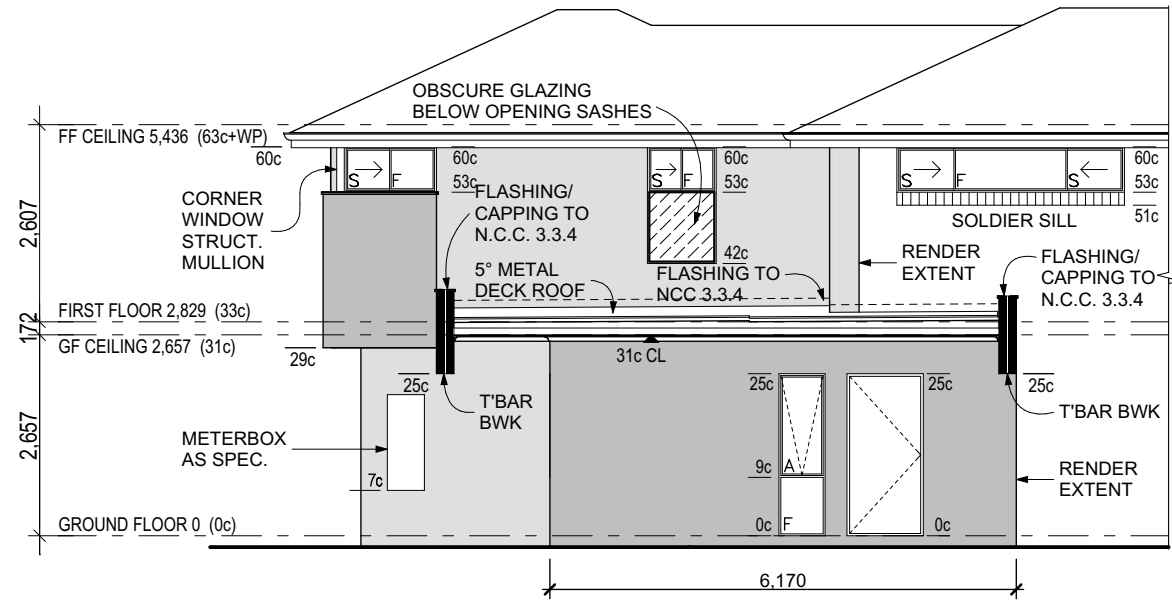
NOTE:
G/F CEILING **31c U/S SLAB**
F/F CEILING **30c + WP**
UNLESS NOTED OTHERWISE

METAL DECK ROOF
G/F **25° PITCH W/- 500MM EAVE**
G/F **5° PITCH W/- NIL EAVE**
F/F **25° PITCH W/- 500MM EAVE**

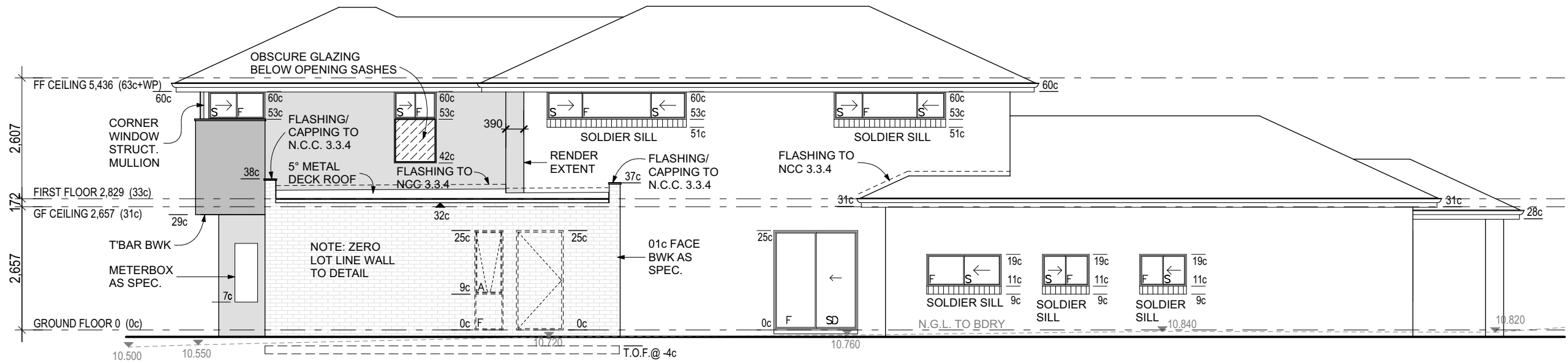
02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.



ELEVATION 1
1:100



ELEVATION 5
1:100



ELEVATION 2
1:100

NOTE:
ALL CLEAR GLAZING TO WINDOWS (INCLUDING LOUVRES) & DOORS ARE TO BE 6mm SUNERGY NEUTRAL GLASS (#2)

ALL OBSCURE GLAZED WINDOWS ARE TO BE 6.38mm VIRIDIAN COMFORT PLUS TRANSLUCENT GLAZING



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Drwg: **ELEVATIONS 1**

Client: **BOOTH**

Site: **LOT 88 (#6b)
WEAVER COURT,
KARDINYA**

Map Ref: StreetSmart® - GPS - Lat: -32.057934 Long: 115.820418

CONTRACTS

OWNER..... DATE.....

OWNER..... DATE.....

BUILDER..... DATE.....

D10A-02-LH FRANKLIN

Rev: 00
Date: 22/10/21
Amendment: Working Drawings

Local Authority:
MELVILLE

Job No: **G1407**

Date Drn: **20/09/21**

Drn By: JS

Check: SIM

Sales: DJ

Scale: 1:100

Sheet #:04 Rev: 00

CONTRACT
PLANS

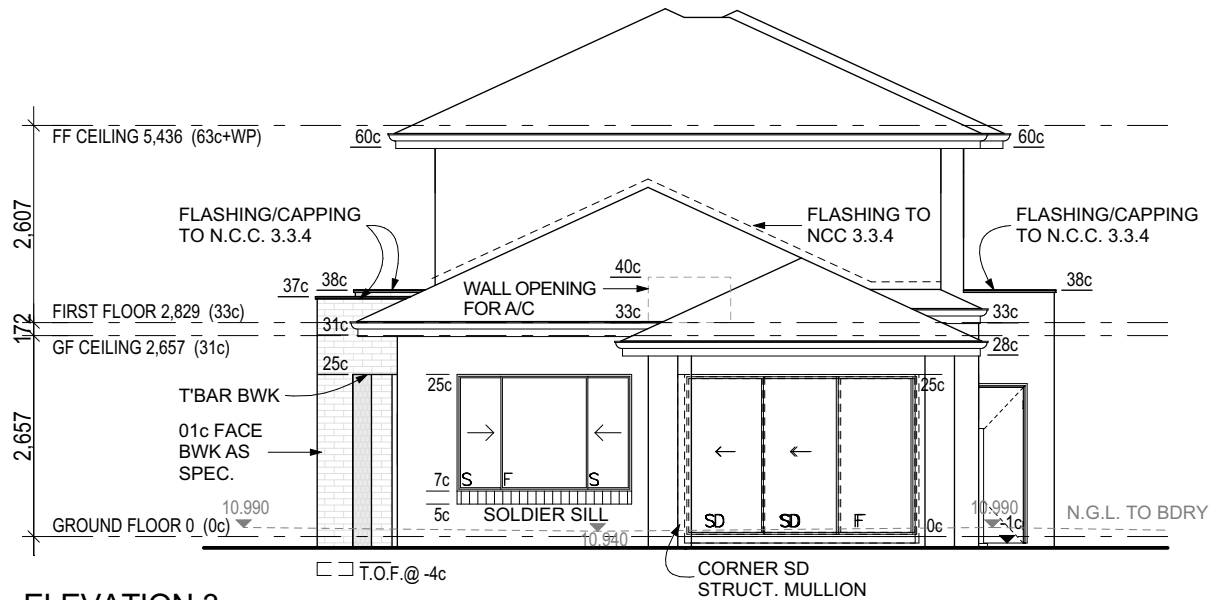
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NOTE: LIGHT GREY SHADING TO RENDER INDICATES PRIMARY COLOUR	NOTE: DARK GREY SHADING TO RENDER INDICATES SECONDARY COLOUR	NOTE: 01c SOLID LONGREACH BRICK SILLS TO OPENINGS WHERE APPLICABLE.	NOTE: PROVIDE ANTICON TO UNDERSIDE OF LOW PITCH ROOF CLADDING AS SPEC. (GARAGE/PORCH)
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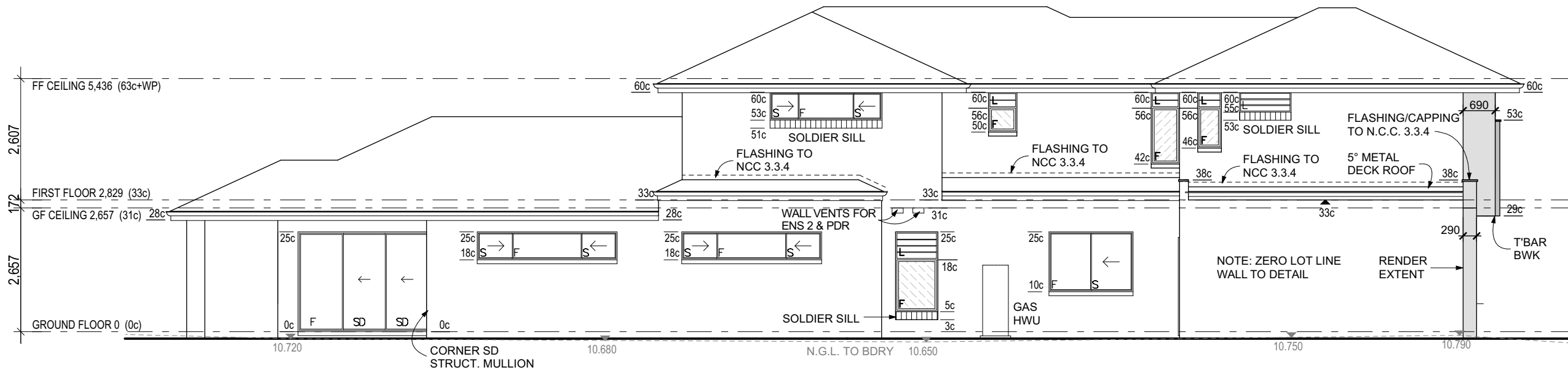
NOTE:
G/F CEILING **31c** U/S SLAB
F/F CEILING **30c** + WP
UNLESS NOTED OTHERWISE

METAL DECK ROOF
G/F **25° PITCH** W/- **500MM** EAVE
G/F **5° PITCH** W/- **NIL** EAVE
F/F **25° PITCH** W/- **500MM** EAVE

02c DOUBLE HEIGHT FACE BRICK FINISH TO EXTERNAL BWK UNLESS NOTED OTHERWISE.



ELEVATION 3
1:100



ELEVATION 4
1:100

NOTE:
ALL CLEAR GLAZING TO WINDOWS (INCLUDING LOUVRES) & DOORS ARE TO BE 6mm SUNERGY NEUTRAL GLASS (#2)

ALL OBSCURE GLAZED WINDOWS ARE TO BE 6.38mm VIRIDIAN COMFORT PLUS TRANSLUCENT GLAZING

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	Client: BOOTH	OWNER..... DATE.....		Rev: 00 01 02 03 04 05 06 07	Date: 22/10/21	Amendment: Working Drawings	Init: JS Date Drn: 20/09/21
	Site: LOT 88 (#6b) WEAVER COURT, KARDINYA	OWNER..... DATE.....					Drn By: JS
	Map Ref: StreetSmart® - GPS - Lat: -32.057934 Long: 115.820418	BUILDER..... DATE.....					Check: SIM Sales: DJ Scale: 1:100 Sheet #: 05 Rev: 00