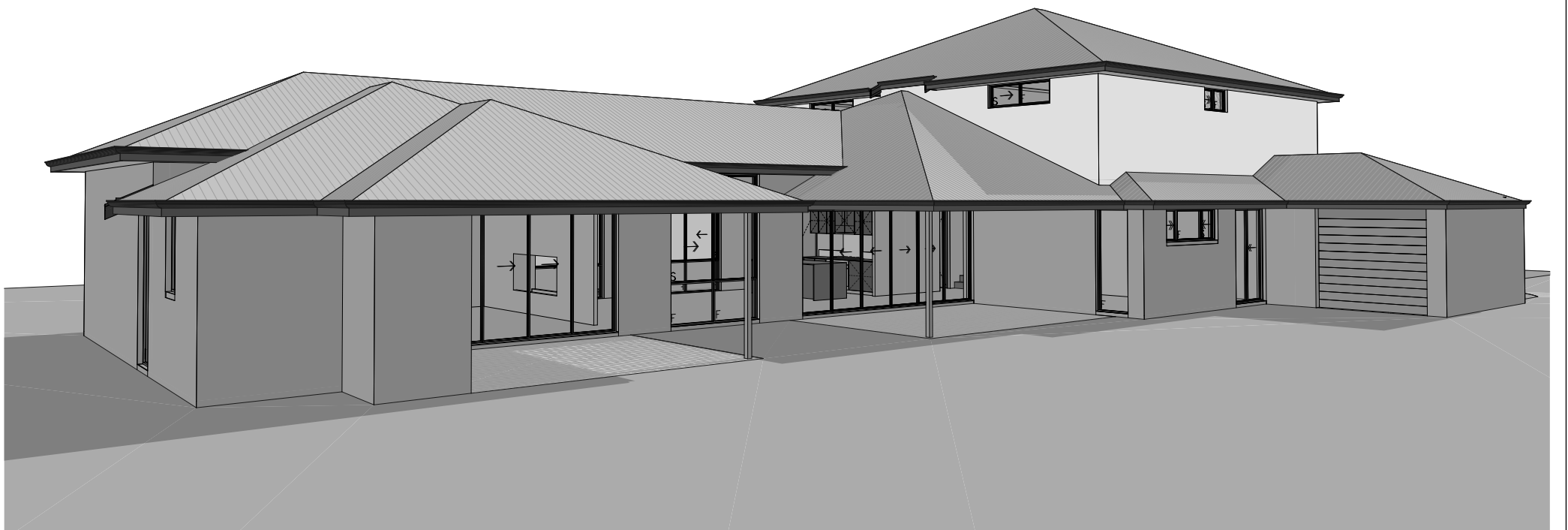




THIS IS ONE OF THE DRAWINGS
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OWNERDATE.....

BUILDERDATE.....



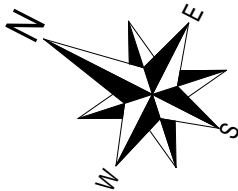
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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VARIATIONS:			
REV:	DESCRIPTION:	INT:	DATE:
'1'	CONTRACT (SILVER)	JJM	19.07.21
'2'	VO2 (ITEMS 1-17); VO3 (ITEMS 1-55)	TD	11.10.21
'3'	CONTRACT (CHARCOAL)	JJM	19.10.21
'4'	SITE SURVEY	ES	29.10.21
'5'			
'6'			
'7'			
'8'			
'9'			

CLIENT:		ROEVES	
SITE ADDRESS:		LOT 511 (#10) MALDON WAY MELVILLE WA 6153	
SALES:	CL	DRAWN:	JJM
		CHECKED:	CB

PREMIUM VENADO	
PERSPECTIVES	
DATE: 29/10/2021	SHEET N°:
SCALE: 1:100	20 of 20
REVISION N°:	JOB N°:
04	2104015r



SITE COVERAGE

ZONED R15
% ALLOWED 50%
SITE AREA 904.97m²
SITE COV. AREA 315.31m²

OPEN SPACE = 65.2%

NOTE: Approximate Sewer Only
Check Water Corporation For Junction

Invert and Depth
Sewer Junction
In: 1.6 Up: 1.0
Approx. Inv: 9.4
Approx. Depth: 1.4
Approx. Sewer Only
Check Water Corp.

LEGEND		
⊕	Power Dome	
○	Power Pole	
⊕	Phone Pits	
⊕	Water Conn.	
TP 10.00	Top Pillar/Post	
TW 10.00	Top Wall	
TR 10.00	Top Retaining	
TF 10.00	Top Fence	

Soak Well Type	No.	
SW 1200x600	2	1.4 m3
SW 1200x1200	3	4.1 m3
Total Capacity		5.4 m3
Roof Area GF		255.3 m2
Paved Area		2.7 m2
Roof Area UF		148.0 m2
Total Area		406.0 m2
Capacity Required (Area x 0.0122)		5.0 m3
Extra Capacity Provided		0.5 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

CONCRETE NOTE:
SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:
STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

SITE CLASSIFICATION : A
FOOTING DETAIL : A85CFTW
WIND CATEGORY : N1
CORROSION CLASS : R3

ELECTRICAL NOTE:
3 - PHASE POWER

TERMITE TREATMENT NOTE:
TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014
THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

OVERSHADOWING DIAGRAM:
SHADOW CAST ON JUNE 21ST AT 12 PM
NEIGHBOURING LOT 512 SIZE: 769m²
OVERSHADOWING: 126.7m² = 16.4%

- LOCATION OF SERVICES

PRELAY NOTE:
PLUMBING PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN.

Proposed L'stone Retaining. Limestone Retaining (required)
Proposed Panel & Post Retaining. Panel & Post Retaining (required)

LOT MISCLOSE
0.020 m

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE: DRIVEWAY & CROSSOVER POSITION IS SUBJECT TO SEPERATE APPROVAL BEING SAUGHT BY OWNER.

Scale 1:200
0 2 4 6 8

COTTAGE SURVEYS

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 509165 GPS Lat: -32.036462 Long: 115.845818
CLIENT ROEVES ORDER # 2104015R
ADDRESS #10 Maldon Way LOT Lot 511 (Plan 7208)
SUBURB Mt Pleasant
LGA CITY OF MELVILLE AREA 905m² VOL. 1224 FOL. 787
DRAWN J. Genovese DATE 09 Sep 21 SSA No

ROADS Bitumen
KERBS Non-Mount / Nil
FOOTPATH Nil
SOIL Sand
DRAINAGE Good
VEGETATION Refer to Survey

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No (Approximate Only Confirm With Shire)

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OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:
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'5'
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'9'

CLIENT: ROEVES
SITE ADDRESS: LOT 511 (#10) MALDON WAY MELVILLE WA 6153

SALES: CL DRAWN: JJM CHECKED: CB

PREMIUM VENADO

SITE PLAN

DATE: 29/10/2021 SHEET N°: 03 of 20
SCALE: 1:100, 1:200
REVISION N°: 04 JOB N°: 2104015r

CL @ 31c THRU/OUT

ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS (NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION
CONFORMING TO A.S. 1684, U.N.O

TRIM OUT CEILING JOISTS TO 550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W
ALL LINENS, BUILT-IN PTYRS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUPDS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES

PROVIDE R4.0 INSULATION TO CEILING THRU' OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED "CONSTRUCTION ISSUE" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION

UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:

EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)

BRICK LAYER NOTE:

RUN SCULLERY BENCHTOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUIT BENCHTOP SELECTION.

NOTE:

DOUBLE GLAZING WINDOWS THROUGHOUT EXCLUDING ENSUITE, BATH, PDR AND WC.

TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC

BUILDING CODE OF AUSTRALIA AND AS3660.1:2014
THROUGH THE USE OF TERMITE RESISTANT MATERIALS
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*MASONARY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

The ground floor plan shows a large residence with a triple garage on the left, a central living and dining area, a kitchen, a theatre, and a master suite. The plan includes numerous dimensions for walls, windows, and furniture placement. Key features include:

- Garage:** Triple garage with a 4.00m wide opening and a 2.410m wide opening.
- Living/Dining:** Large open-plan area with a 4.00m wide section and a 2.180m wide section.
- Kitchen:** Includes a gas pt, fire place opening, and a 2.180m wide section.
- Theatre:** A large room with a 4.00m wide section and a 2.180m wide section.
- Master Suite:** Includes a dressing, ens 1, and a 2.180m wide section.
- Other Rooms:** Alfresco 1, Alfresco 2, Games, Living/Dining, Kitchen, Theatre, Store, Dressing, Ens 1, Ens 2, PDR 1, Scull, WC, and a triple garage.

The plan also shows a boundary line, a 31.490 overall dimension, and a 16.690 overall dimension. The plan is oriented with North at the top.

INTERNAL DOORS NOTE:

ALL OF INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD:

GROUND FLOOR:

UPPER FLOOR SLAB:

UPPER FLOOR WALLS:

ROOF TYPE:

CFTW

Double Brick, Slab on Ground

Concrete on Metal Truss

Timber Wall, 100mm Thermal Clad

Colorbond

SITE CLASSIFICATION

FOOTING DETAIL

WIND CATEGORY

CORROSION CLASS

A

A85-CFTW

N1

R3

RENDER NOTE

EXTENT OF RENDER COLOUR 1 TO PORCH & GARAGE. EXTENT OF RENDER COLOUR 2 TO GARAGE BLADE WALL, PORCH T-BAR, AROUND MASTER SUITE AND RETURNS.

EXTENT OF RENDER COLOUR 1 TO ENTIRE UPPER FLOOR. EXTENT AS SHOWN ON PLANS.

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BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521

9 SANGIORGIO COURT

OSBORNE PARK WA 6017

Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:

REV. DESCRIPTION:

INT. DATE:

DATE:

CLIENT:

ROEVES

SITE ADDRESS:

LOT 511 (#10) MALDON WAY

MELVILLE WA 6153

SALES: CL

DRAWN: JUM

CHECKED: CB

PREMIUM VENADO

GROUND FLOOR PLAN (A2)

DATE: 29/10/2021

SCALE: 1:100, 1:1

SHEET N°:

06 of 20

REVISION N°:

04

JOB N°:

2104015r

AREAS

Name Area Perimeter

HOUSE-GROUND 249.582 93.960

HOUSE - UPPER 129.781 45.580

TRIPLE GARAGE 52.394 30.160

ALFRESCO 2 26.628 21.580

ALFRESCO 1 26.000 21.000

PORCH 3.094 7.220

TOTAL 487.479 m²

CL @ 31c THRU'OUT
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
(NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

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CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE
NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
FRAME CONSTRUCTION
CONFORMING TO A.S. 1684. U.N.O
TRIM OUT CEILING JOISTS TO
550 X 550 AT MAN-HOLE LOCATION
ENSURE ROOFING MEMBERS ARE KEPT CLEAR
OF RANGEHOOD FLUE

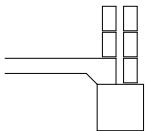
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TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUPDS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES
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course bricks laid in THIRD BOND)



BRICK LAYER NOTE:
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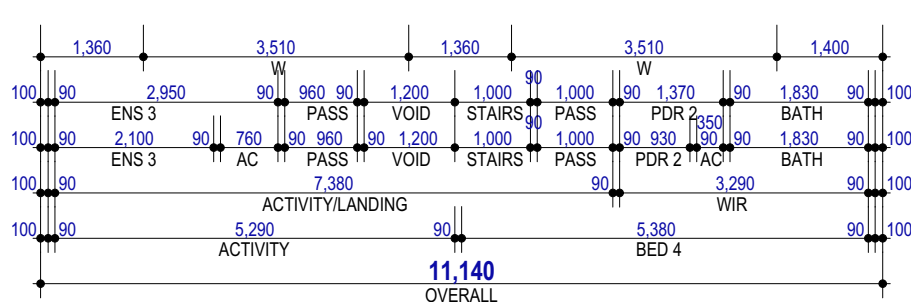
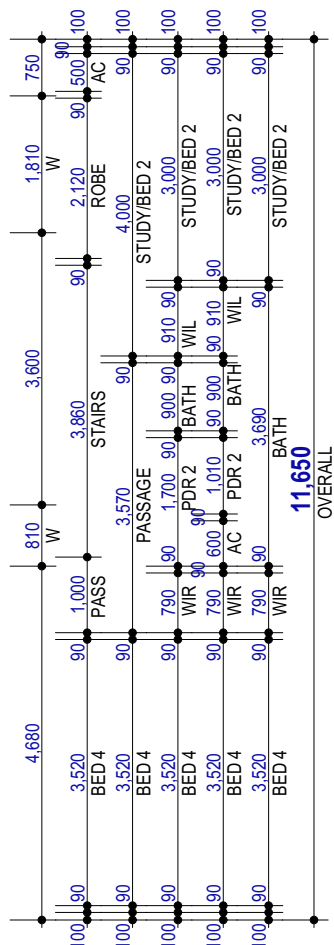
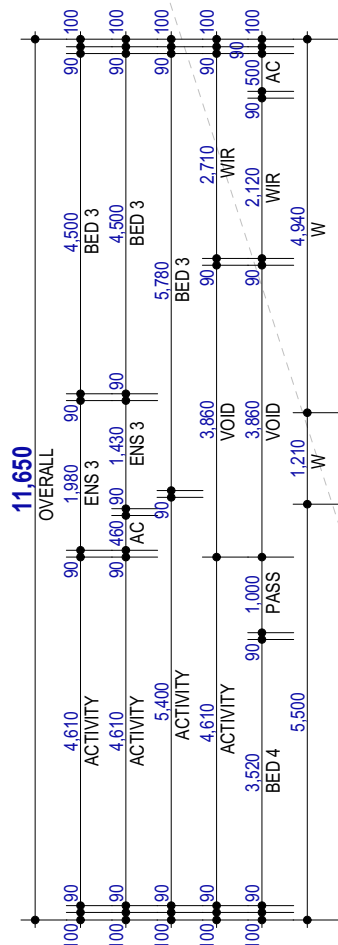
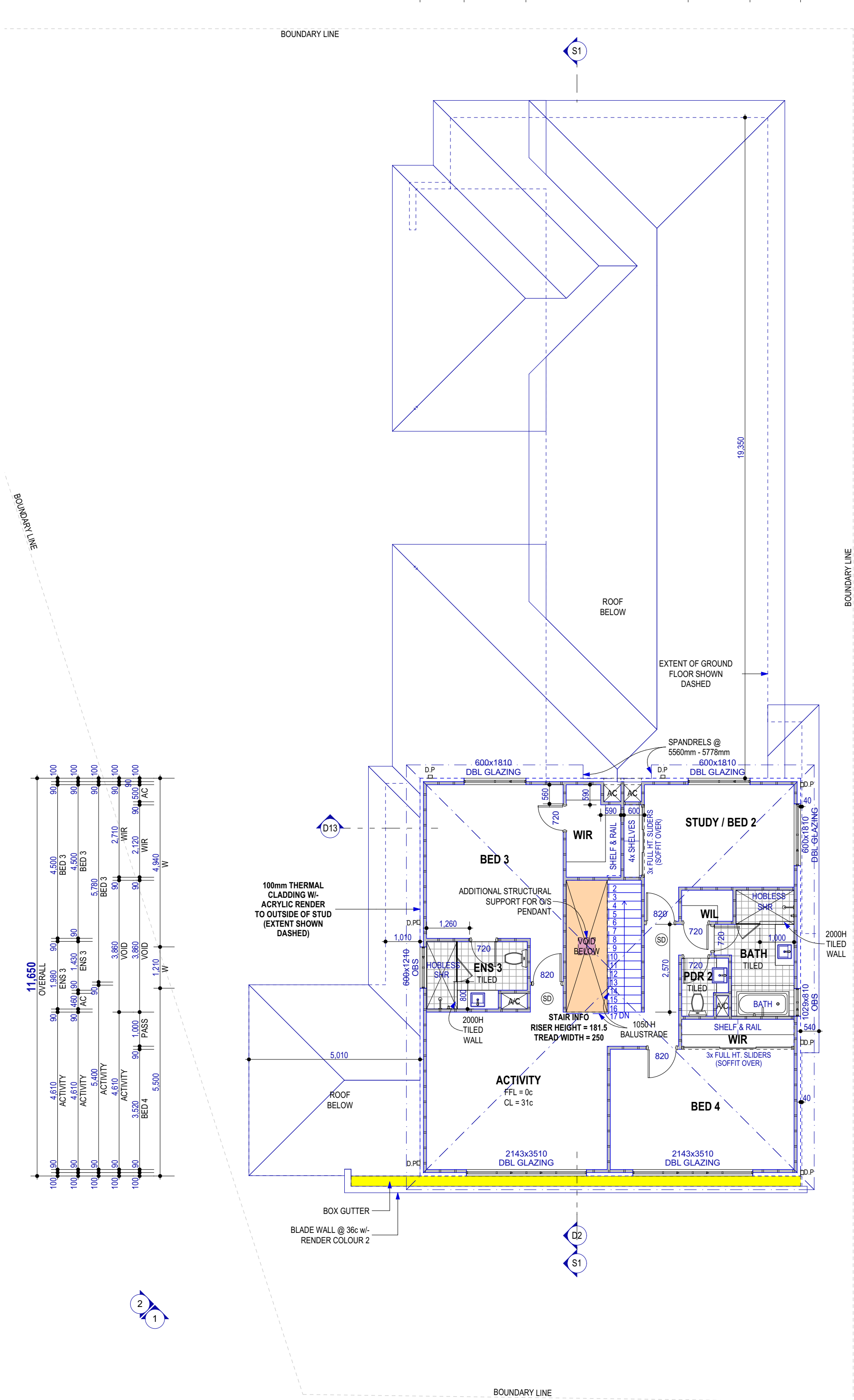
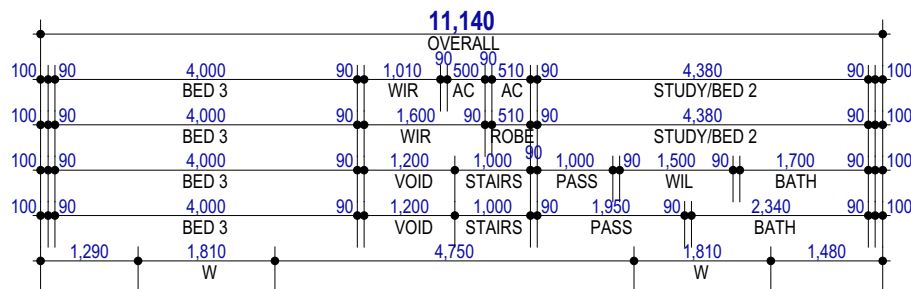
NOTE:
DOUBLE GLAZING WINDOWS THROUGHOUT
EXCLUDING ENSUITE, BATH, PDR AND WC.

INTERNAL DOORS NOTE:
ALL OF INTERNAL DOORS TO BE 2040H (25c) U.N.O
BUILD METHOD: CFTW
GROUND FLOOR: Double Brick, Slab on Ground
UPPER FLOOR SLAB: Concrete on Metal Truss
UPPER FLOOR WALLS: Timber Wall, 100mm Thermal Clad
ROOF TYPE: Colorbond

UPPER FLOOR HEIGHTS
EFL = 3086mm
CL = 5778mm
HEIGHT O/A = 2692mm (31c)

UPPER FLOOR GLAZING
UPPER FLOOR WINDOWS TO COMPLY WITH BCA 3.9.2.5

RENDER NOTE
EXTENT OF RENDER COLOUR 1 TO PORCH & GARAGE. EXTENT
OF RENDER COLOUR 2 TO GARAGE BLADE WALL, PORCH T-BAR,
AROUND MASTER SUITE AND RETURNS.
EXTENT OF RENDER COLOUR 1 TO ENTIRE UPPER FLOOR.
EXTENT AS SHOWN ON PLANS.



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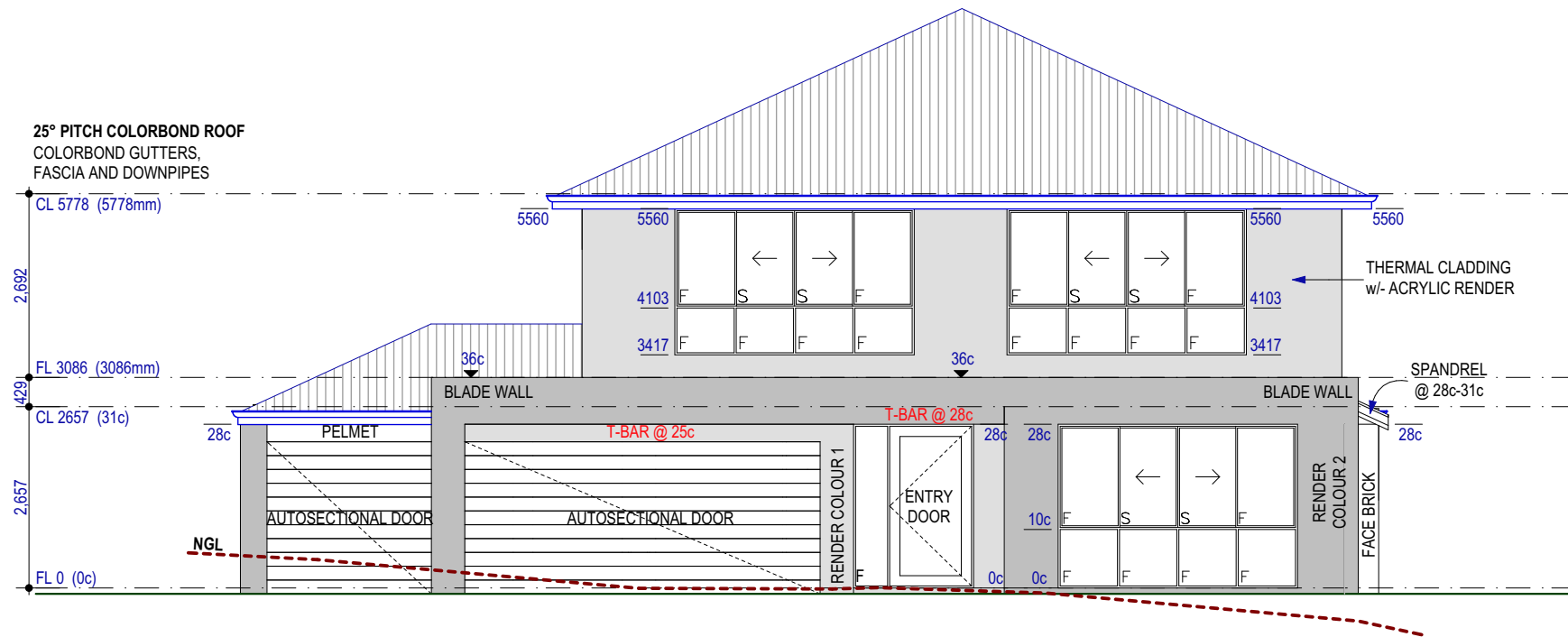
101
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK, WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIAIONS:	DESCRIPTION:	INT.	DATE:
REV:	CONTRACT (SILVER)	JJM	19.07.21
"2"	VO2 (ITEMS 1-17); VO3 (ITEMS 1-55)	JJM	11.10.21
"3"	CONTRACT (CHARCOAL)	JJM	18.10.21
"4"	SITE SURVEY	ES	29.10.21

CLIENT: **ROEVES**
SITE ADDRESS: **LOT 511 (#10) MALDON WAY
MELVILLE WA 6153**
SALES: CL DRAWN: JJM CHECKED: CB

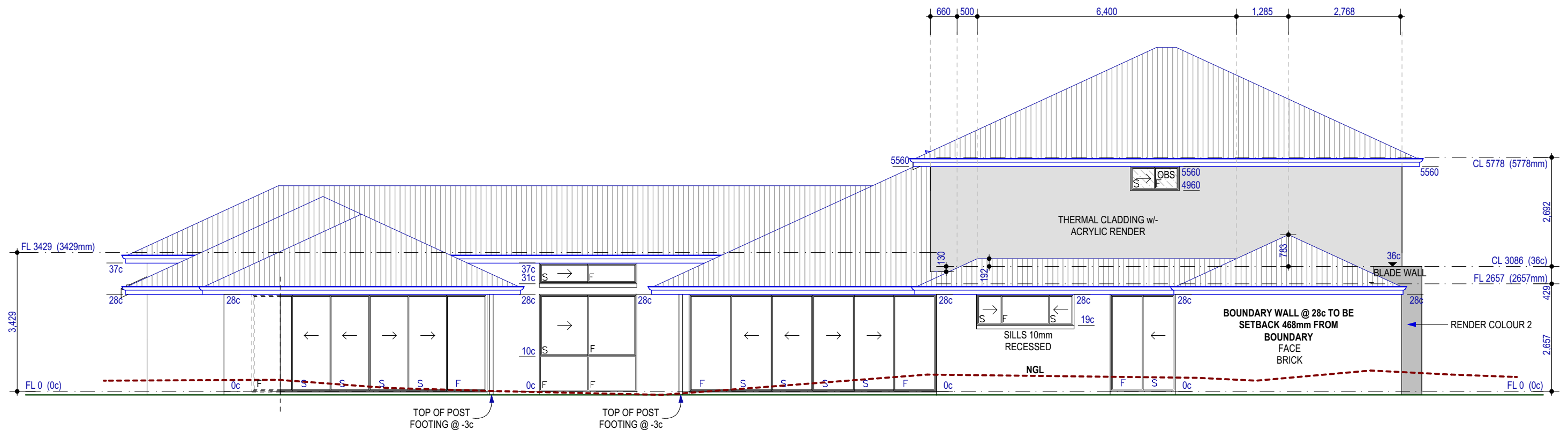
PREMIUM VENADO
UPPER FLOOR PLAN (A2)
DATE: 29/10/2021 SHEET N°: 07 of 20
SCALE: 1:100, 1:1
REVISION N°: 04 JOB N°: 2104015r

AREAS		
Name	Area	Perimeter
HOUSE-GROUND	249.582	93.960
HOUSE - UPPER	129.781	45.580
TRIPLE GARAGE	52.394	30.160
ALFRESCO 2	26.628	21.580
ALFRESCO 1	26.000	21.000
PORCH	3.094	7.220
TOTAL	487.479 m²	



RENDER NOTE
EXTENT OF RENDER COLOUR 1 TO PORCH & GARAGE. EXTENT OF RENDER COLOUR 2 TO GARAGE BLADE WALL, PORCH T-BAR, AROUND MASTER SUITE AND RETURNS.
EXTENT OF RENDER COLOUR 1 TO ENTIRE UPPER FLOOR. EXTENT AS SHOWN ON PLANS.

1 ELEVATION
1:100



2 ELEVATION
1:100

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'4' SITE SURVEY

INT: DATE:
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TD 11.10.21
JJM 19.10.21
ES 29.10.21

CLIENT:

ROEVES

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MELVILLE WA 6153**

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PREMIUM VENADO

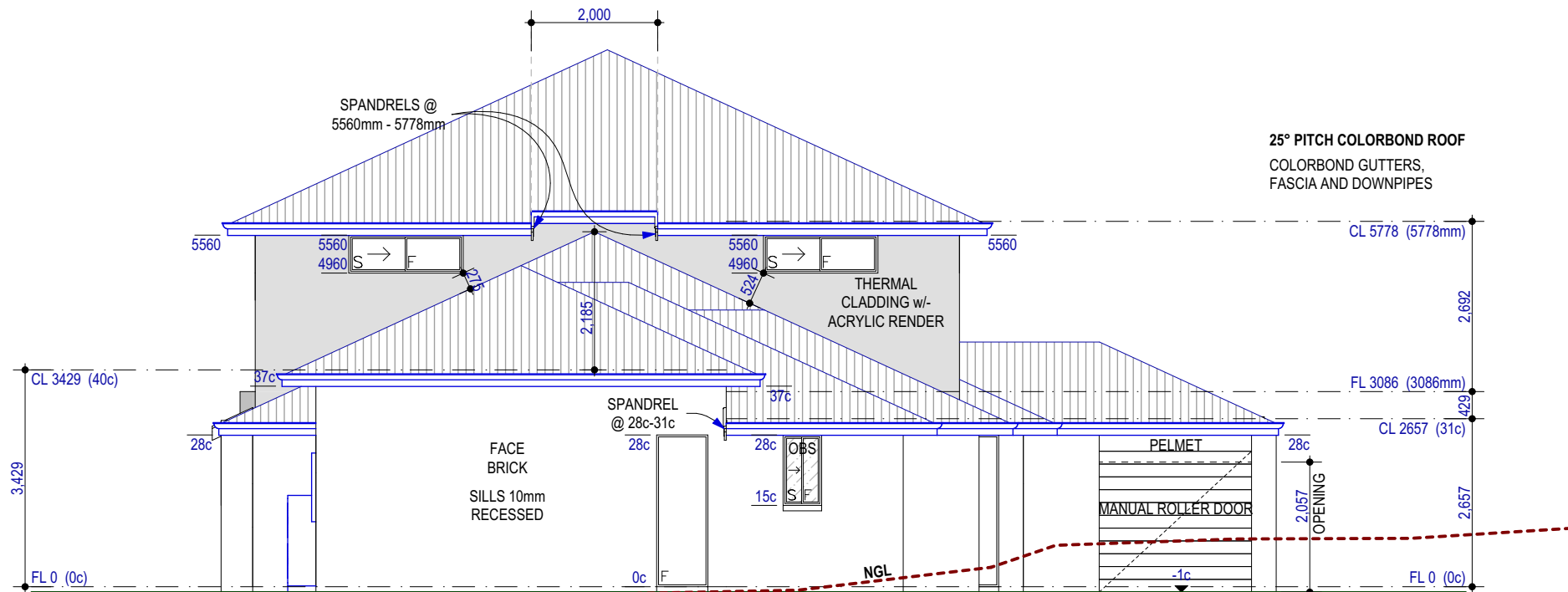
ELEVATIONS 01

DATE: 29/10/2021
SCALE: 1:100

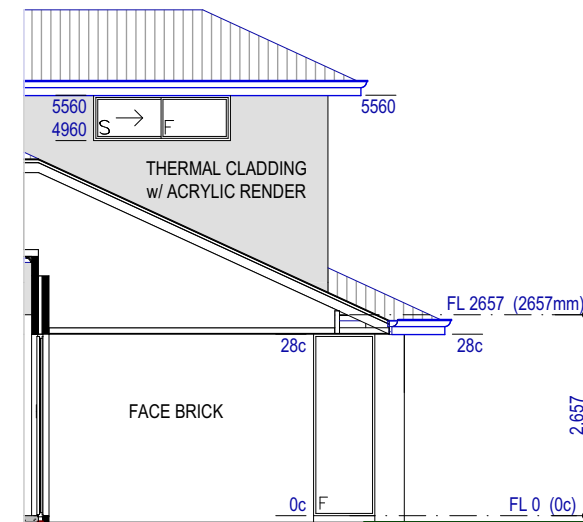
REVISION N°: 04

SHEET N°:
08 of 20

JOB N°: 2104015r



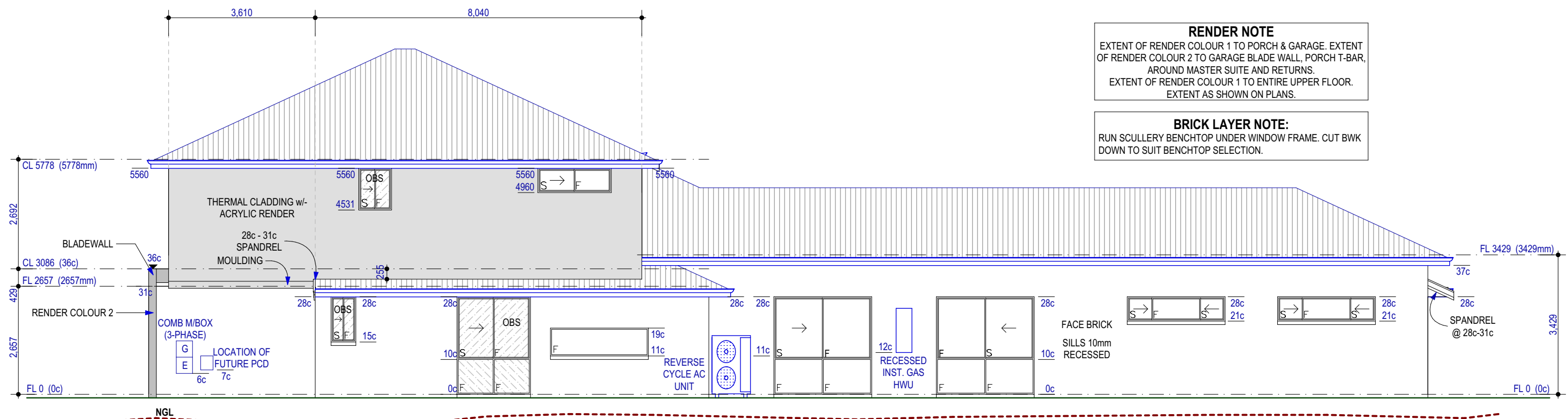
3 ELEVATION
1:100



5 ELEVATION
1:100

RENDER NOTE
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EXTENT OF RENDER COLOUR 1 TO ENTIRE UPPER FLOOR.
EXTENT AS SHOWN ON PLANS.

BRICK LAYER NOTE:
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4 ELEVATION
1:100

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ROEVES

SITE ADDRESS:

LOT 511 (#10) MALDON WAY
MELVILLE WA 6153

SALES: CL DRAWN: JJM CHECKED: CB

PREMIUM VENADO

ELEVATIONS 02

DATE: 29/10/2021
SCALE: 1:100

REVISION N°: 04

SHEET N°:
09 of 20

JOB N°:
2104015r