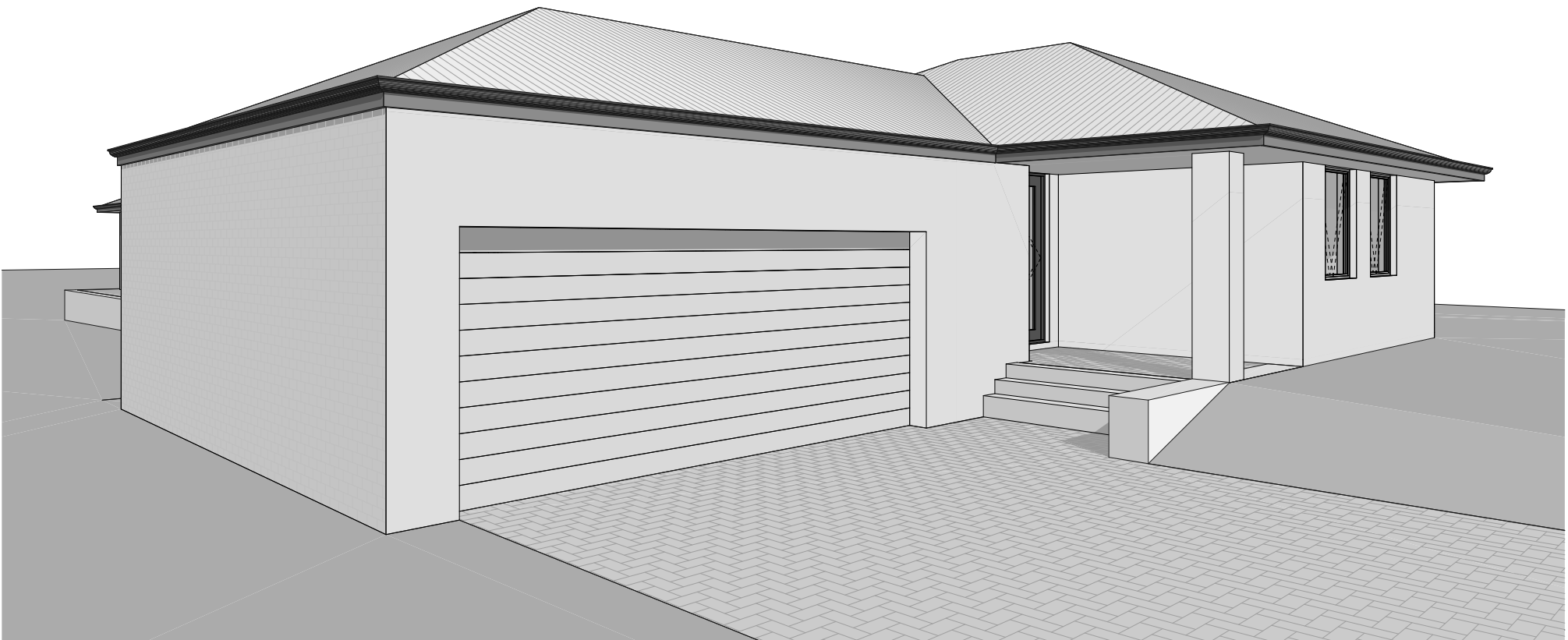




THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT :
OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....



BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

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VARIATIONS:
REV: DESCRIPTION:
'1' CONTRACT DRAWINGS
'2' SVO2 (ITEMS 1-9)
'3' SVO3 (7 ITEMS)
'4'
'5'
'6'
'7'
'8'
'9'

INT: DATE:
SA 02.09.21
JJM 28.09.21
TD 15.10.21

CLIENT: **JOHNSON**

SITE ADDRESS:
**LOT 319 (#6) CANNA WAY
ARDROSS WA 6163**

SALES: AQ DRAWN: SA CHECKED: CB

REWARD TREASURE 13
PERSPECTIVES

DATE: 18/10/2021 SHEET N°:
SCALE: 1:100 14 of 14

REVISION N°: 02 JOB N°: 2104010

SEC Dome
Power Pole
Phone Pits
Water Conn.
TP 10.00 Top Pillar/Post
TW 10.00 Top Wall
TR 10.00 Top Retaining
TF 10.00 Top Fence

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

SITE COVERAGE

ZONED	R25
% ALLOWED	50%
SITE AREA	746.44m ²
SITE COV. AREA	264.18m ²

OPEN SPACE =64.6%

No.	Soak Well Type
2.0 m3	2 SW 1200x900
4.1 m3	3 SW 1200x1200
6.1 m3	Total Capacity
416.8 m2	Roof Area GF
38.6 m2	Paved Area
455.4 m2	Total Area
5.7 m3	Capacity Required (Area x 0.0125)
0.4 m3	Extra Capacity Provided

NOTE: ALL DOWNPIPES
CONNECTED TO SOAKWELLS
WITH PVC STORMWATER PIPE

CONCRETE NOTE:

SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLUX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:

STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

SITE CLASSIFICATION	: A
FOOTING DETAIL	: DF-A3POD
WIND CATEGORY	: N1
CORROSION CLASS	: R3

PRELAY NOTE:

PLUMBING PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN

LOCATION OF SERVICES

Proposed L'stone Retaining.	Limestone Retaining (required)
Proposed Panel + Post Retaining.	Panel & Post Retaining (required)
Proposed Panel + Post Retaining.	Retaining (Recommended) for Landscaping

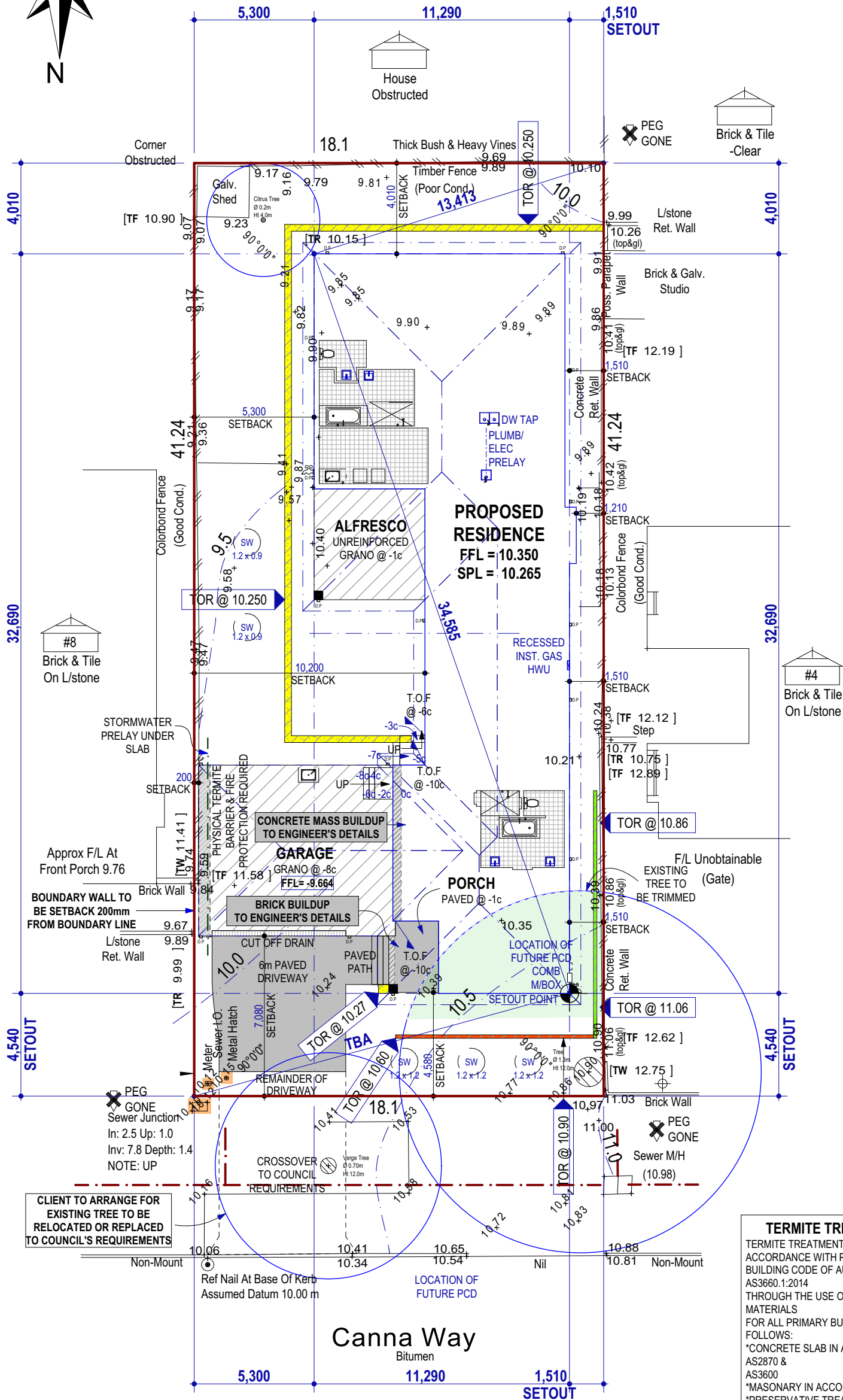
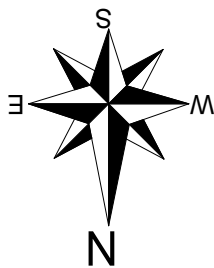
LOT MISCLOSE

0.000 m

SOIL DESCRIPTION

Sand
Refer to Survey

Scale 1:200



TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101

BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102 17,200

VARIATIONS:

REV:	DESCRIPTION:
1'	CONTRACT DRAWINGS
2'	SVO2 (ITEMS 1-9)
3'	SVO3 (7 ITEMS)

INT:	DATE:
SA	02.09.21
JJM	28.09.21
TD	15.10.21

CLIENT:

JOHNSON

SITE ADDRESS:

LOT 319 (#6) CANNA WAY
ARDROSS WA 6163

SALES: AQ DRAWN: SA CHECKED: CB

REWARD TREASURE 13

SITE PLAN

DATE: 18/10/2021	SHEET N°:
SCALE: 1:100, 1:200	04 of 14
REVISION N°:	JOB N°:
02	2104010

CL @ 31c THRU'OUT
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
CAVITY BRICK CONST., UNLESS NOTED OTHERWISE.
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
(NO PLASTER)
EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.
CUT BWK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
TO BE FLASHED WITH ALCOOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF
FRAME CONSTRUCTION
CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO
550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR
OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE
INDICATIVE ONLY & MAY CHANGE AT THE
DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER & FR RECESS.

FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL
450W

ALL LINENS, BUILT-IN PTYRS, INTERNAL STORES
TO HAVE 4X SHELVES @ 400 CTS 450W

BROOM & CLOAK CUPDS TO HAVE 1X SHELF
ROBES & WIR TOP SHELVES @ 1850 AFL
REST @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES

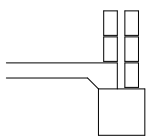
PROVIDE R4.0 INSULATION TO CEILING THRU/
OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED
"CONSTRUCTION ISSUE" IF DWGS ARE NOT
STAMPED, PLEASE CONTACT THE OFFICE
BEFORE PROCEEDING WITH ORDERING,
MANUFACTURE, OR ON-SITE CONSTRUCTION

UPPER FLOOR TO BE TIED DOWN TO GROUND
FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:

EXTERNAL BRICKS TO BE 290 X
162 X 90 (1st external course to be 2
course bricks laid in THIRD BOND)



RENDER NOTE:

EXTENT OF ACRYLIC RENDER TO FRONT
ELEVATION AND RETURNS ONLY AS SHOWN IN
PLANS.
EXTENT OF 1C FACE BRICK TO GARAGE ONLY.

BRICK LAYER NOTE:

RUN KITCHEN BENCHTOP UNDER WINDOW
FRAME. CUT BWK DOWN TO SUIT BENCHTOP
SELECTION.

NOTE:

10x AWNING WINDOWS TO BE LOCATED AT
PRESTART.

GLAZIER NOTE:

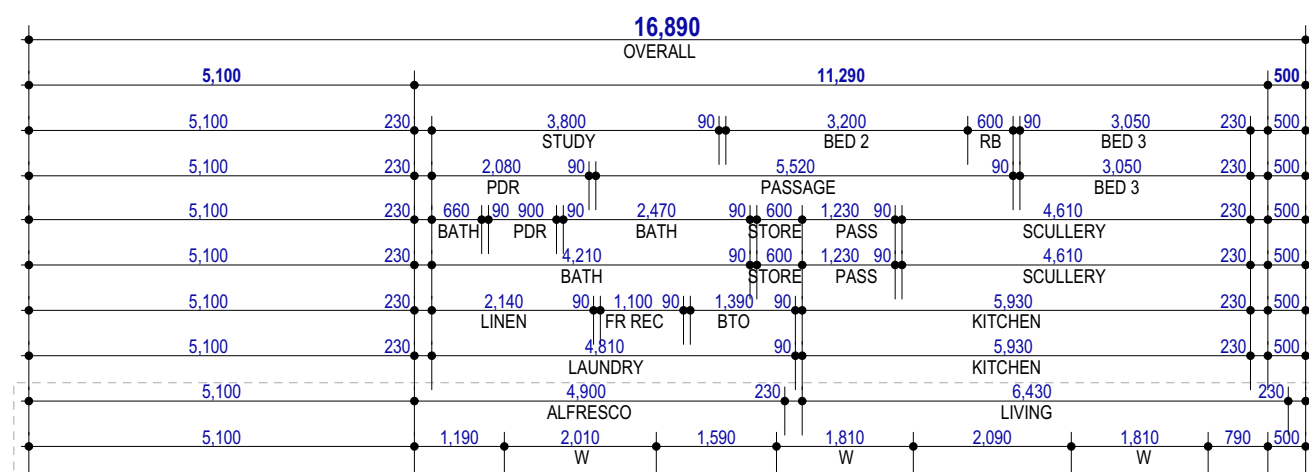
DOUBLE GLAZING THROUGHOUT
EXCLUDING OBS WINDOWS.

ENERGY EFFICIENCY REQUIREMENT:

- R4.1 CEILING INSULATION TO CEILINGS THROUGHOUT
- CAVITY WALL INSULATION TO THEATRE / KITCHEN / LIVING /
DINING EXTERNAL MASONRY CAVITY WALLS
- DOUBLE GLAZING TO ALL WINDOWS AND DOORS
EXCLUDING OBS / SJ / ALUM HINGED DOORS

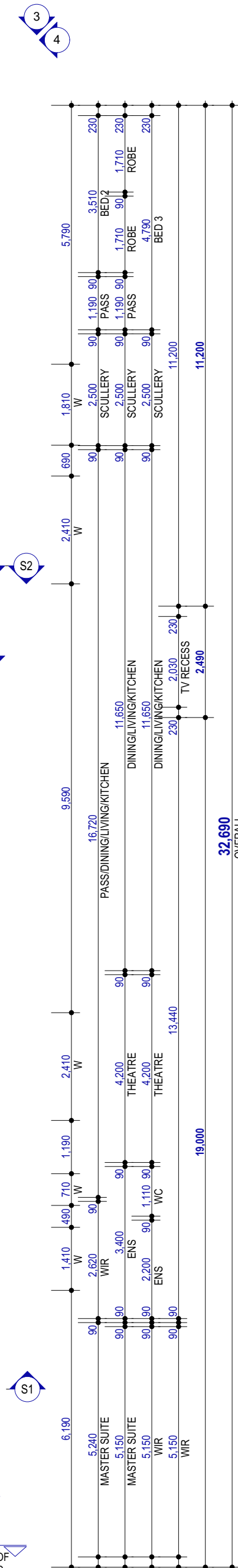
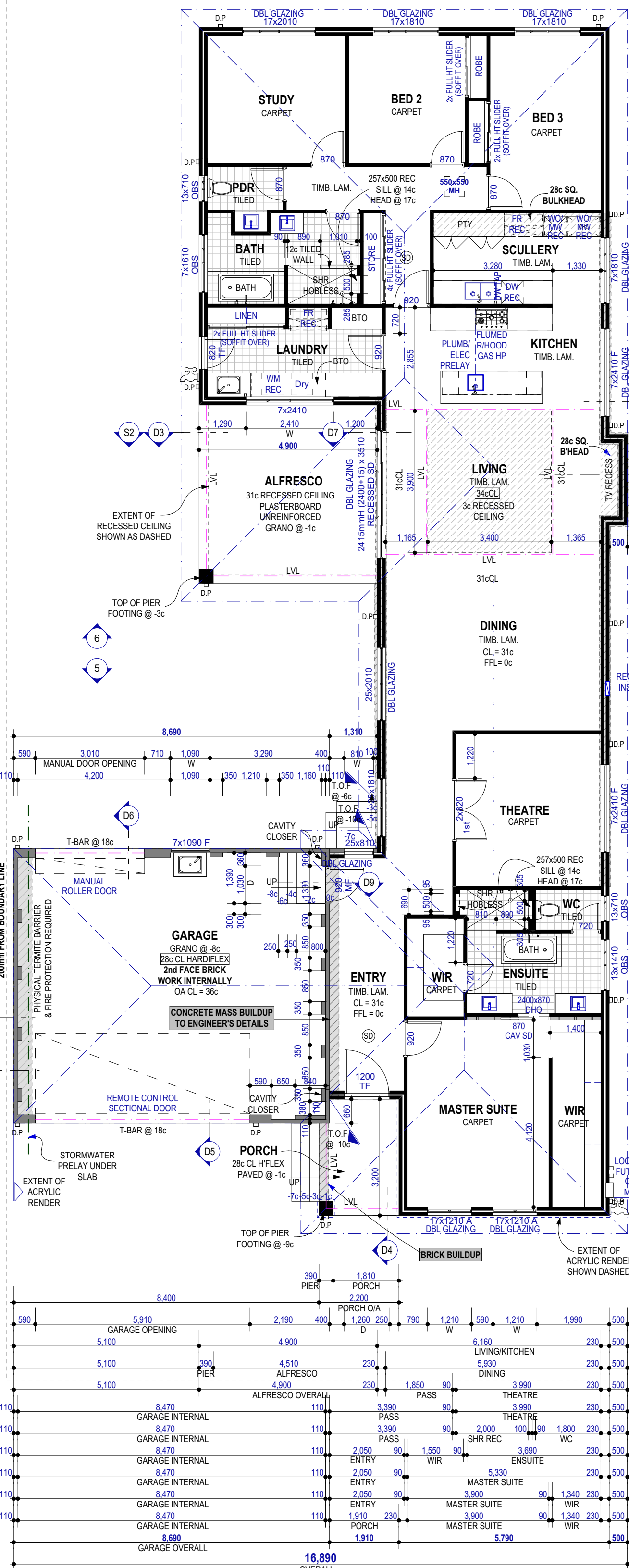
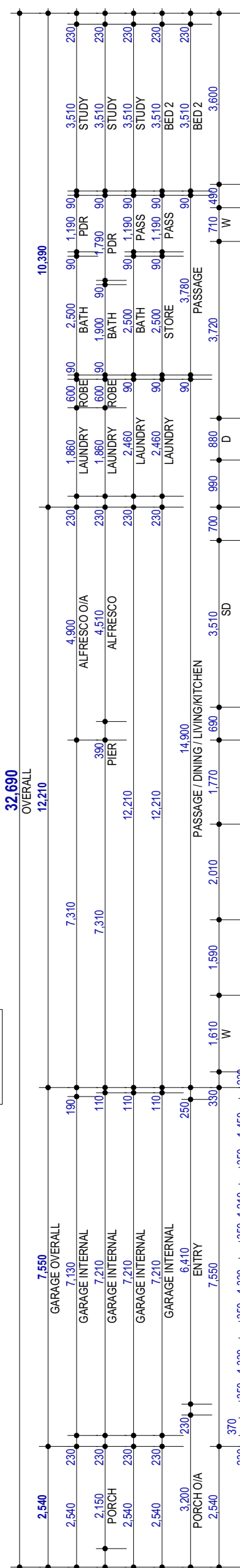
BRICKLAYER NOTE

CAVITY WALL INSULATION TO EXTERNAL CAVITY
BRICK WORK SHOWN HATCHED



INTERNAL DOORS NOTE:	
ALL INTERNAL DOORS TO BE 2340H (28c) U.N.O	
BUILD METHOD:	CFBW
GROUND FLOOR:	Double Brick, Slab on Ground
ROOF TYPE:	Colorbond
INTERNAL PLASTER:	Premium Wall System

SITE CLASSIFICATION	A
FOOTING DETAIL	DF-A3POD
WIND CATEGORY	N1
CORROSION CLASS	R3



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VARIATIONS:
REV. DESCRIPTION:
1 CONTRACT DRAWINGS
2 SVCS (ITEMS 1-9)
3 SVCS (7 ITEMS)

INT. DATE:
SA 02.09.21
LM 28.09.21
TD 16.10.21

CLIENT:
JOHNSON
SITE ADDRESS:
**LOT 319 (#6) CANNA WAY
WA 6163**

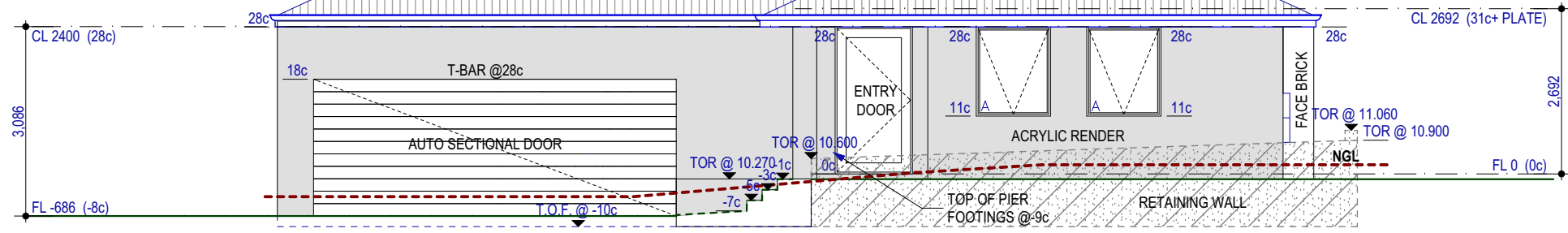
SALES: AQ DRAWN: SA CHECKED: CB

REWARD TREASURE 13
FLOOR PLAN (A2)

DATE: 18/10/2021 SHEET N°:
SCALE: 1:100, 1:1 06 of 14
REVISION N°: 02 JOB N°: 2104010

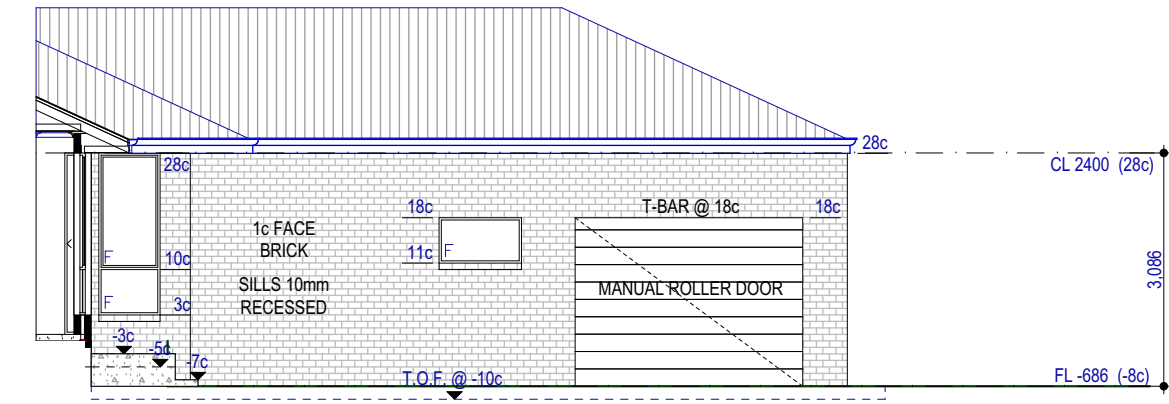
AREAS		
Name	Area	Perimeter
HOUSE	268.840	91.780
GARAGE/STORE	64.919	32.480
ALFRESCO	24.010	19.600
PORCH	6.849	10.800
TOTAL	364.618 m²	

25° PITCH COLORBOND ROOF
COLORBOND GUTTERS,
FASCIA AND DOWNPIPES



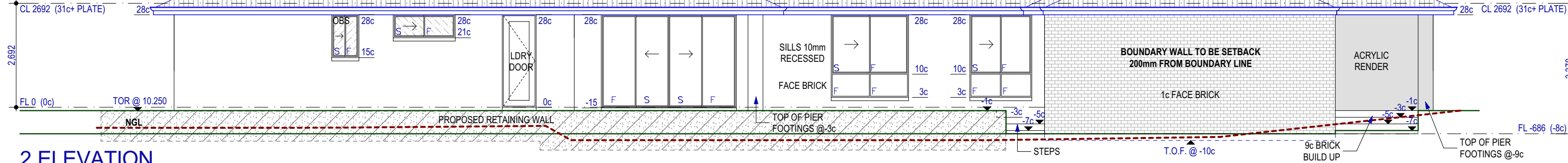
1 ELEVATION
1:100

RENDER NOTE:
EXTENT OF ACRYLIC RENDER TO FRONT
ELEVATION AND RETURNS ONLY AS SHOWN IN
PLANS.
EXTENT OF 1C FACE BRICK TO GARAGE ONLY.

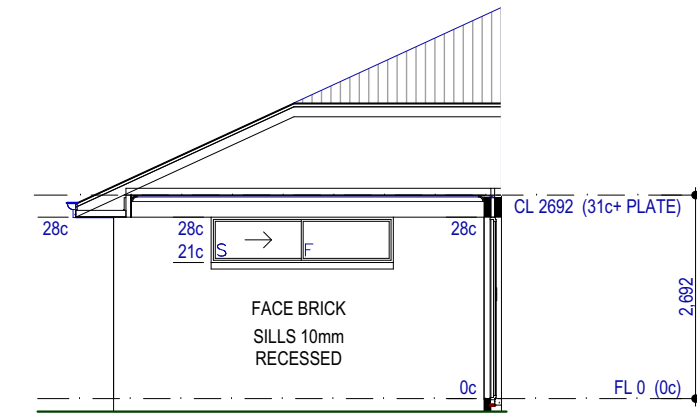


5 ELEVATION
1:100

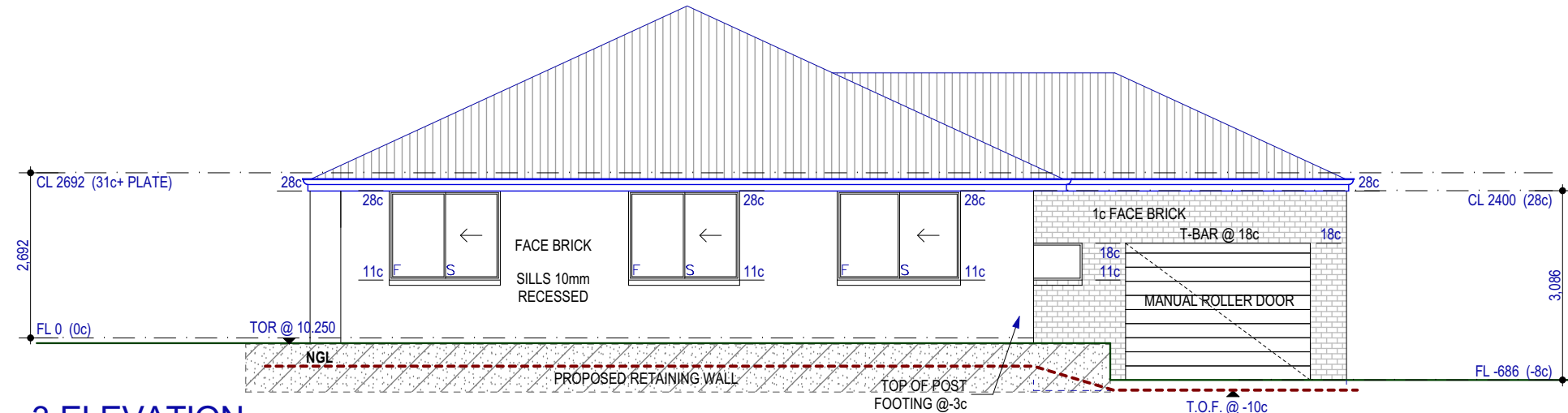
25° PITCH COLORBOND ROOF
COLORBOND GUTTERS,
FASCIA AND DOWNPIPES



2 ELEVATION
1:100

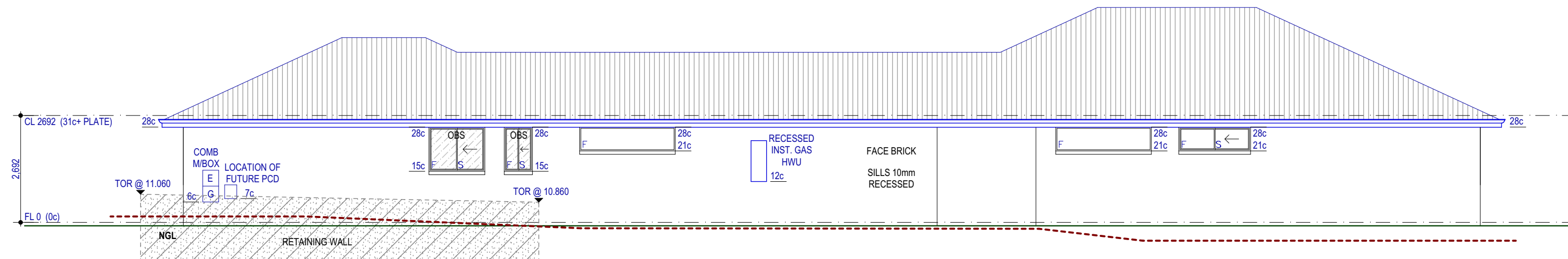


6 ELEVATION
1:100



3 ELEVATION
1:100

BRICK LAYER NOTE:
RUN KITCHEN BENCHTOP UNDER WINDOW
FRAME. CUT BWK DOWN TO SUIT BENCHTOP
SELECTION.



4 ELEVATION
1:100

REWARD TREASURE 13

ELEVATIONS (A2)

DATE: 18/10/2021

SHEET N°: 07

of 14

JOB N°: 2104010

JOHNSON

SITE ADDRESS:

LOT 319 (#6) CANNA WAY

ADDRESS WA 6163

SALES: AQ

DRAWN: SA

CHECKED: CB

DATE:

18/10/21

15/10/21

INT:

SA

TD

VARIATIONS:

DESCRIPTION:

REV:

1

2

3

4

5

6

7

8

9

101

Life

BUILDERS REGISTRATION N° 1321

9 SANGORIO COURT

OSBORNE PARK WA 6007

Phone 08 9208 8100 Fax 08 9208 8102

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REFERRED TO IN THE CONTRACT :

OWNER

DATE

OWNER

DATE

BUILDER

DATE