

PLANNING APPROVAL NOTES:

IS PLANNING REQD - YES
IS R-CODE VARIATION REQD - YES

NON COMPLIANCE ITEMS:

1. Ground Floor Primary setback average minor non compliance however will require justification & Planning Approval
2. Vehicle access via primary street in lieu of secondary street will require justification & Planning Approval.
3. Site Coverage complies assuming Porch is not included in overall calculation. This may require justification & Planning Approval.
4. Outdoor Living Area - OLA located within the secondary street setback area will require justification & Planning Approval.

CLIENT ACKNOWLEDGMENT OF NON COMPLIANCE

Although WB Homes tries to understand all R-Codes, Design guidelines, Local Government policies and developers requirements , we cannot guarantee every requirement has been taken into consideration. Any non-compliance to the R-codes and/or Local Government is subject to approval from the Local Government authority. Justifications of non-compliance does not guarantee that approval will be granted and changes to the design maybe required. Delays in receiving building/planning approvals due to non-compliance of the R-Codes and/or Local Planning policies may result in price increases.

The client acknowledges the items listed under the non-compliance notes above.

Client

Client

GREEN TITLE SITE / SURVEY STRATA SITE

DESIGN NOTES

ROOF 24°43' Roof Pitch Upper
20°49' Roof Pitch Lower
Metal ROOF

31c GROUND FLOOR
28c+PL UPPER FLOOR

RENDERED BWK EXTERNALLY

SITE REQUIREMENTS

ZONING - R20

SITE COVER % ALLOWED - 50%
SITE AREA - 378M²
PROPOSED SITE COVER - 195M²
SITE COVER % PROPOSED - 51.5%

PROPOSED
Albertino & Savitri
RESIDENCE

32b Orbell Way
Bull Creek
DATE: 29/09/21
DRAWN: DB
REP: NM
JOB No: 17769
Meelup

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SSL1 MISCLOSE
0.004 m
SSL2 MISCLOSE
0.000 m

COTTAGE
SURVEYS

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6017
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 509152 GPS Lat: -32.054611 Long: 115.85299
CLIENT Johanes Albertino & Monika Savitri ORDER # 17769
ADDRESS #32B Orbell Way LOT Survey Strata Lot 1 (SP 82358)
SUBURB Bull Creek Original Lot 28 (Plan 12075)
LGA CITY OF MELVILLE AREA 379m² VOL. 2989 FOL.648
DRAWN J. Genovese DATE 09 Sep 21 SSA No

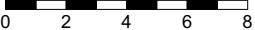
ROADS Bitumen
KERBS Non-Mount / Nil
FOOTPATH Nil
SOIL Sand
DRAINAGE Good
VEGETATIONMedium Grass Cove

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTALNo
(Approximate Only Confirm With Shire)

OWNER
OWNER
BUILDER
DATE

+	Power Dome
○	Power Pole
□	Phone Pits
W	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

Scale 1:200



PROPOSED SITE
SCALE: 1:200, 1:250

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OWNER

OWNER

BUILDER

DATE

AREAS		
Ground Floor	152.92	
Upper Floor	97.53	
Garage	35.88	
Alfresco	15.73	
Porch	6.33	
	308.39 m ²	

GROUND FLOOR PLAN

SCALE: 1:100

GREEN TITLE SITE / SURVEY STRATA SITE

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PROPOSED Albertino & Savitri RESIDENCE

32b Orbell Way
Bull Creek

DATE: 29/09/21

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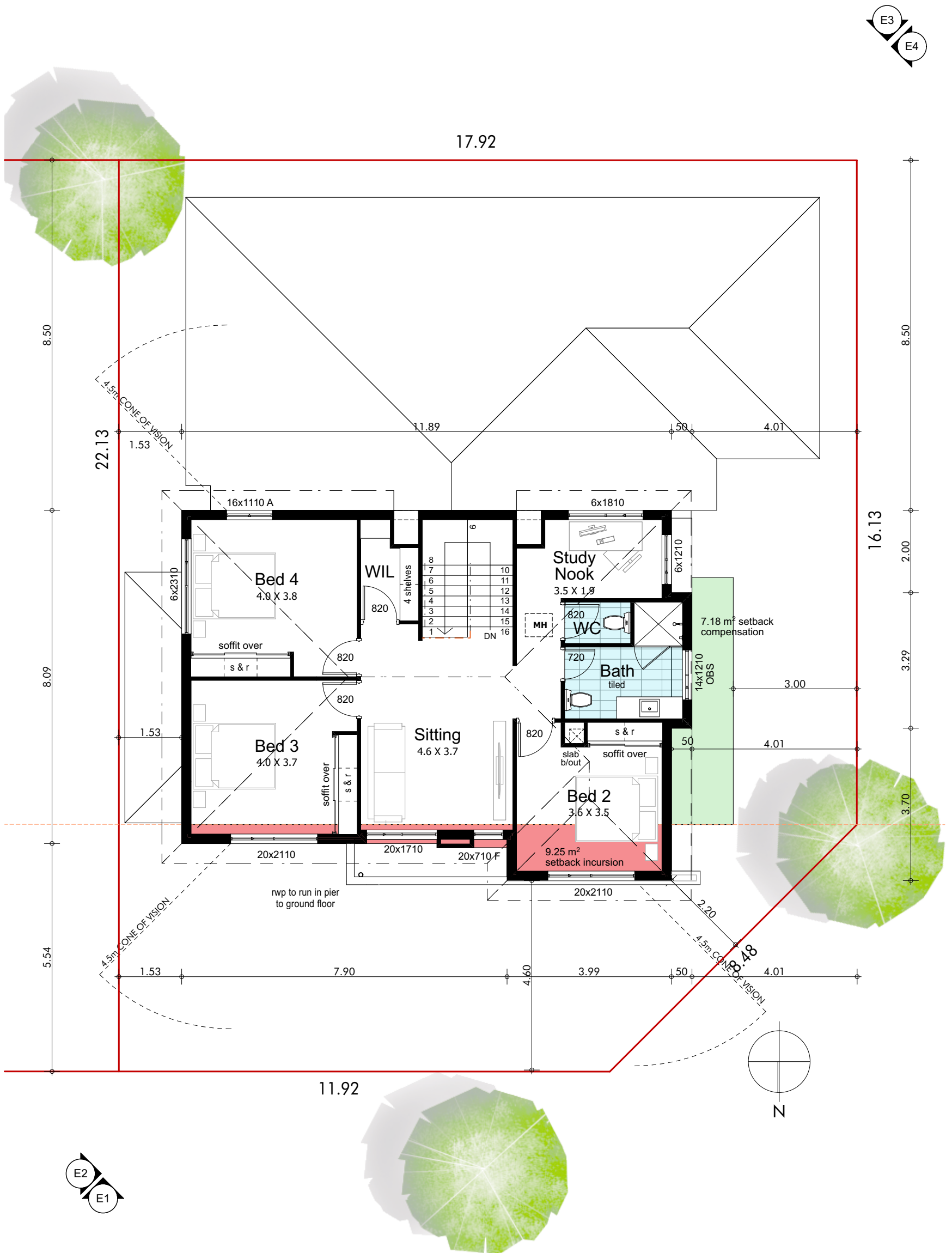
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JOB No: 17769 PD

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OWNER	
OWNER	
BUILDER	
DATE	



AREAS		
Ground Floor	152.92	
Upper Floor	97.53	
Garage	35.88	
Alfresco	15.73	
Porch	6.33	
	308.39 m ²	

UPPER FLOOR PLAN
SCALE: 1:100

Albertino & Savitri RESIDENCE

32b Orbell Way

Bull Creek

DATE: 29/09/21

DRAWN:

REP: NM

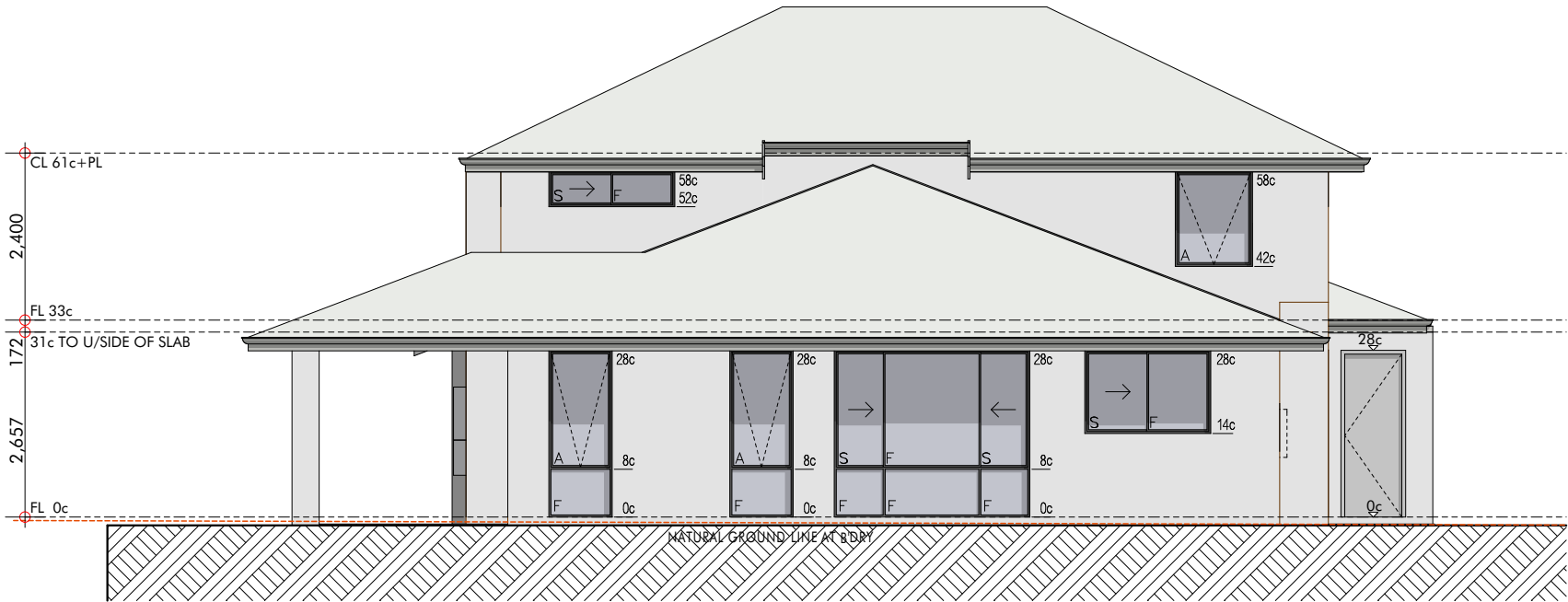
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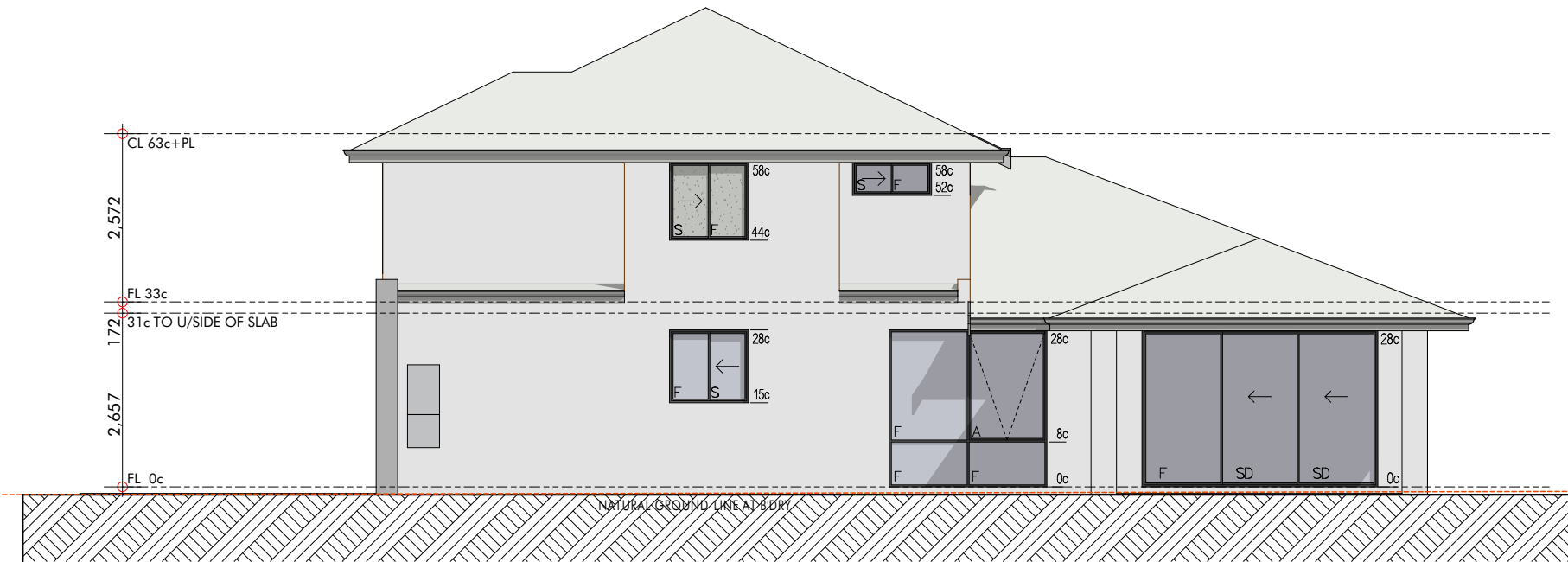
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SCALE: 1:100



ELEVATION 3
1:100



ELEVATION 4
1:100

OWNER
OWNER
BUILDER
DATE

PROPOSED

Albertino & Savitri

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