

**NOTE:**  
NOTIFICATION.  
REFER TO SEC 70A T.L.A.  
SEE DOCUMENT O707279

**LOT MISCLOSE**  
0.000 m

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

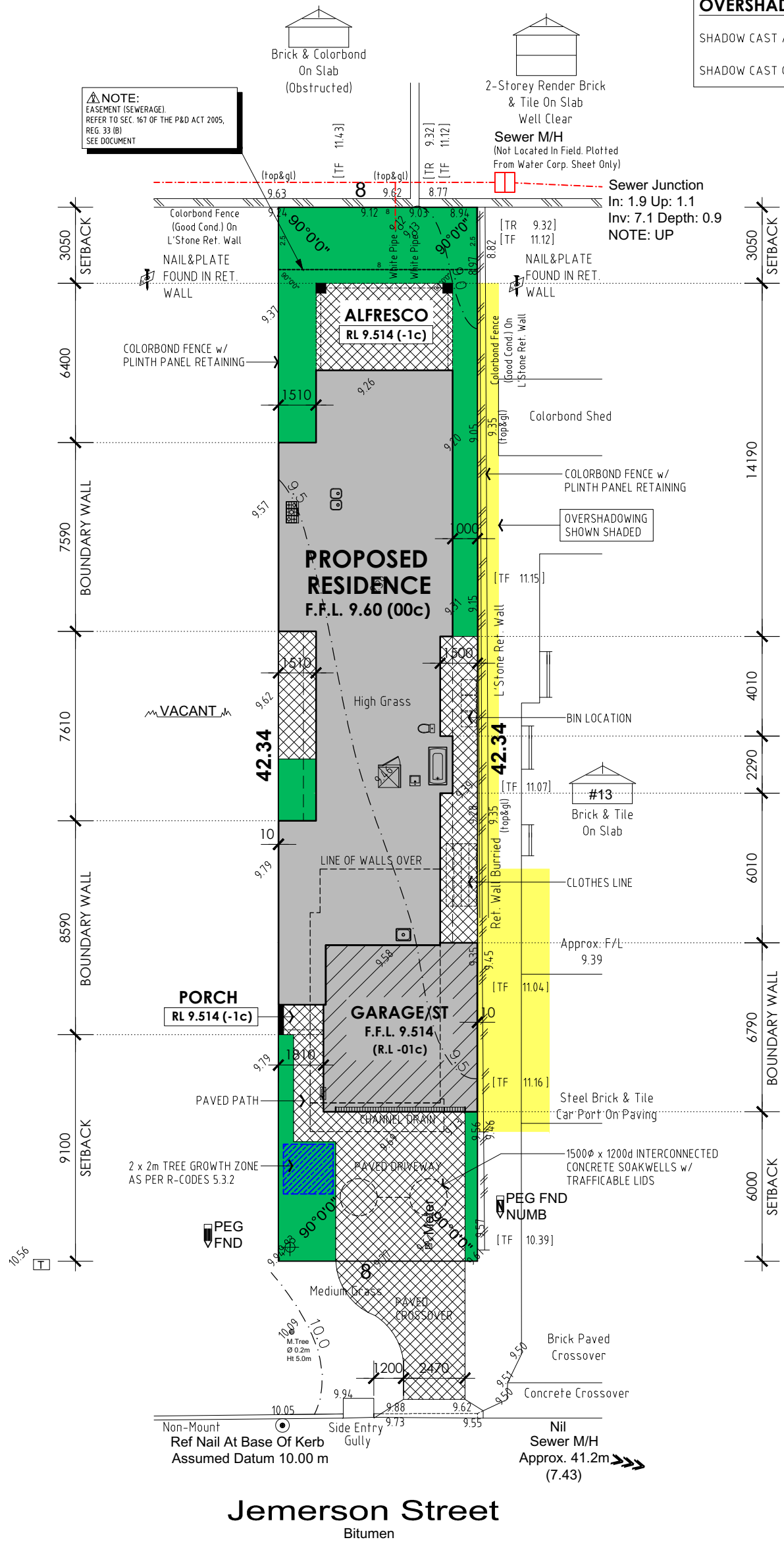
**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

**STORMWATER CALCULATIONS**  
ON SITE STORAGE CAPACITY FOR RESIDENTIAL LOTS DESIGNED TO CONTAIN THE 1 IN 20 YEAR STORM FOR A 5 MINUTE DURATION (AS 3500.3-2003)

<b>IMPERVIOUS AREAS</b>	
HOUSE ROOF AREA:	223m <sup>2</sup>
UNCOVERED PAVING AREA:	53m <sup>2</sup>
TOTAL AREA:	276m <sup>2</sup>
SOAKWELL CAPACITY:	338m <sup>2</sup>

NOTE: FALL PAVEMENTS INTO GARDEN BEDS WHERE POSSIBLE



**OVERSHADOWING CALCULATIONS**  
SHADOW CAST AT MIDDAY 21 JUNE VERTICAL SUN ANGLE OF 34°  
SHADOW CAST ONTO LOT 13A = 50.5m<sup>2</sup> (9.9%)

**LEGEND**

	Power Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

SITE AREA:	339m <sup>2</sup>
DAP: N	TPS: N
ZONING:	R25
MAX SITE COVERAGE:	50%
ACT. SITE COVERAGE:	55.4%

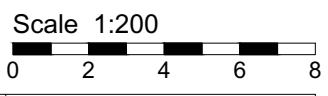
**OUTDOOR LIVING AREA**

MIN:	30m <sup>2</sup>
ACTUAL:	52m <sup>2</sup>

**UNCOVERED OUTDOOR LIVING**

MIN:	20m <sup>2</sup>
ACTUAL:	33m <sup>2</sup>

**SITE PLAN**  
SCALE 1:200



87-89 Guthrie Street  
Osborne Park, WA 6017  
PO Box 1611  
Osborne Park  
Business Centre WA 6917  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

**JOB #** 505985  
**ADDRESS** #11B Jemerson Street  
**SUBURB** Willagee  
**LGA** CITY OF MELVILLE  
**DRAWN** A. Poncini

**GPS** Lat: -32.055404 Long: 115.815039  
**LOT** Lot 89 (DP 420262)  
**AREA** 339m<sup>2</sup> **VOL.** 4004 **FOL.** 104  
**DATE** 30 Jul 21 **SSA** No

**ROADS** Bitumen  
**KERBS** Non-Mount  
**FOOTPATH** Nil  
**SOIL** Sand  
**DRAINAGE** Good  
**VEGETATION** High Grass Cover

**ELEC.** U/Ground  
**COMMS.** Yes  
**WATER** Yes  
**GAS** Check Alinta  
**SEWER** Yes  
**COASTAL** No (Approximate Only Confirm With Shire)

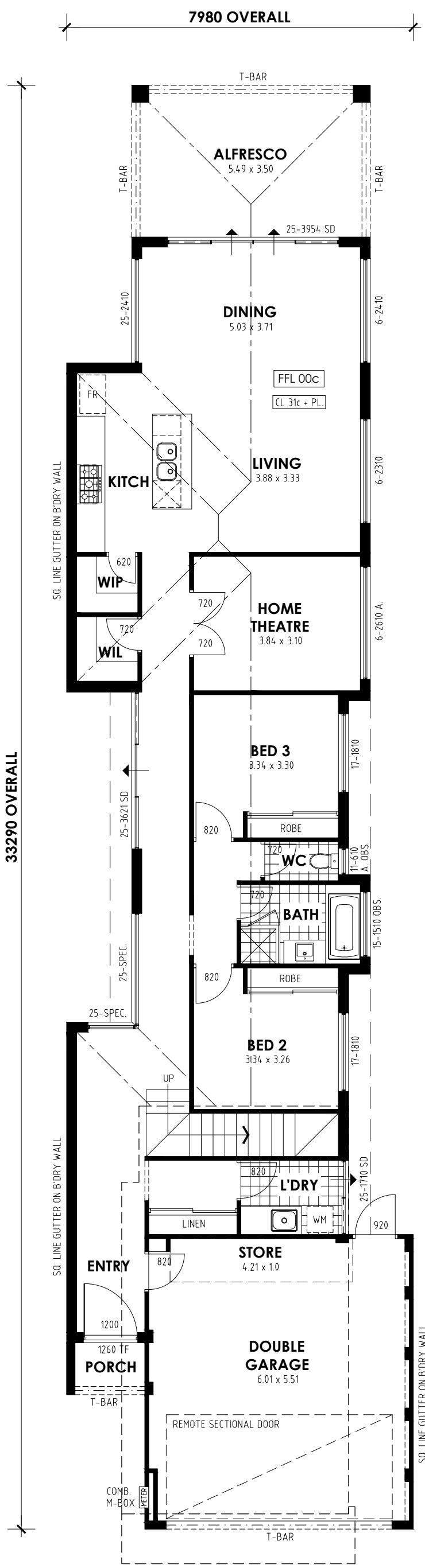


**PROJECT:**  
**PROPOSED 2 STOREY RESIDENCE**  
CLIENT/ADDRESS:  
**Mr A. CHIDGZEY**  
LOT 89 (#11b) JEMERSON STREET,  
WILLAGEE

DATE:	REV:	AMENDMENTS:
31.08.21	A	DA ISSUE

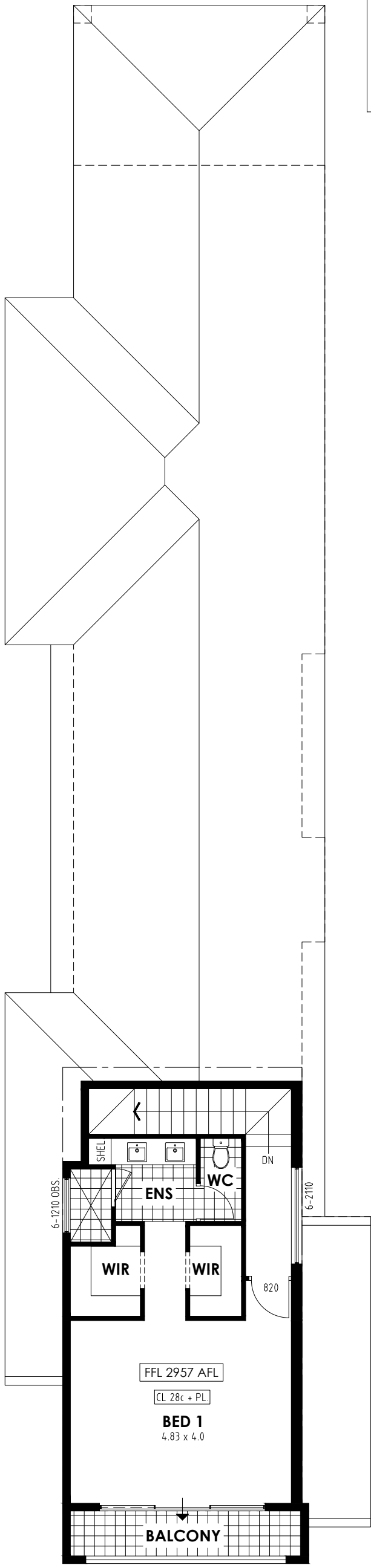
**SITE PLAN**

DRAWN:	DATE:
MA	31.08.21
SHEET No:	A4 OF 4
JOB No:	REV:
89-JER	PL1



**GROUND FLOOR PLAN**

SCALE 1:100

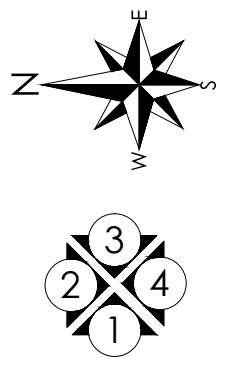


**UPPER FLOOR PLAN**

SCALE 1:100

**AREAS**

GROUND FLOOR	: 145.11m <sup>2</sup>
UPPER FLOOR	: 48.41m <sup>2</sup>
GARAGE/ST	: 41.32m <sup>2</sup>
ALFRESCO	: 19.21m <sup>2</sup>
BALCONY	: 6.23m <sup>2</sup>
PORCH	: 2.16m <sup>2</sup>
<b>TOTAL</b>	<b>: 262.44m<sup>2</sup></b>
GROUND PERIM.	: 68.96m
UPPER PERIM.	: 29.25m



**PROPOSED FLOOR PLANS**

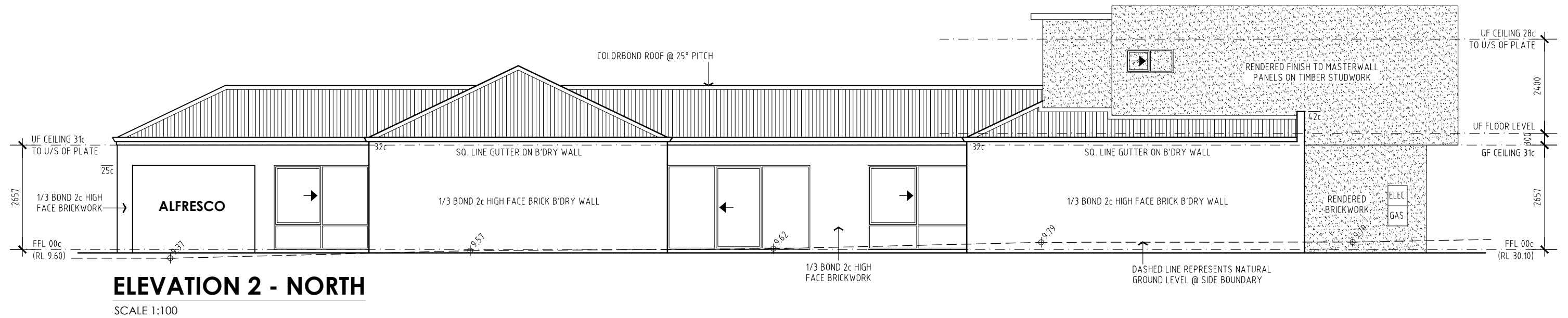
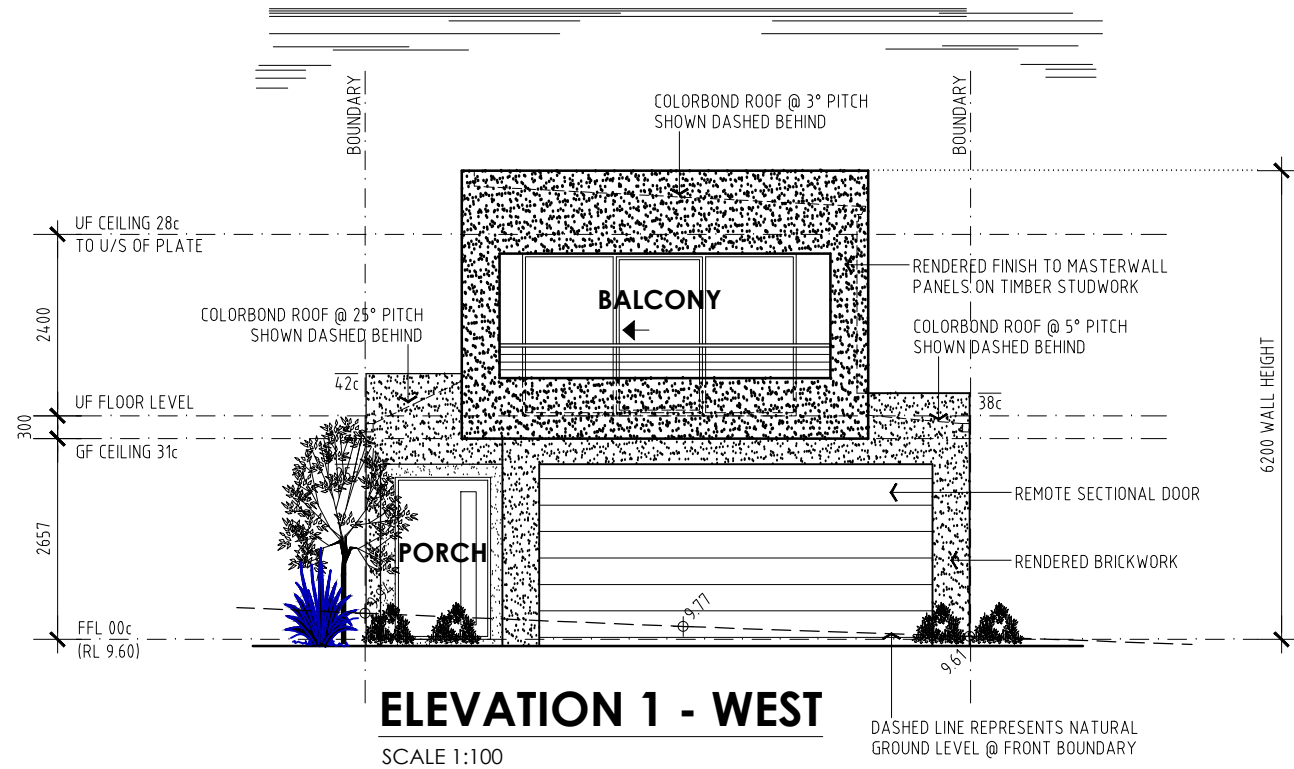
DRAWN:	MA	DATE:	31.08.21
SHEET No:	A1 OF 4		
JOB No:	89-JER	REV:	PL1

REV:	A	AMENDMENTS:	DA ISSUE
DATE:	31.08.21		

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**WILLAGEE**



10595 OVERALL



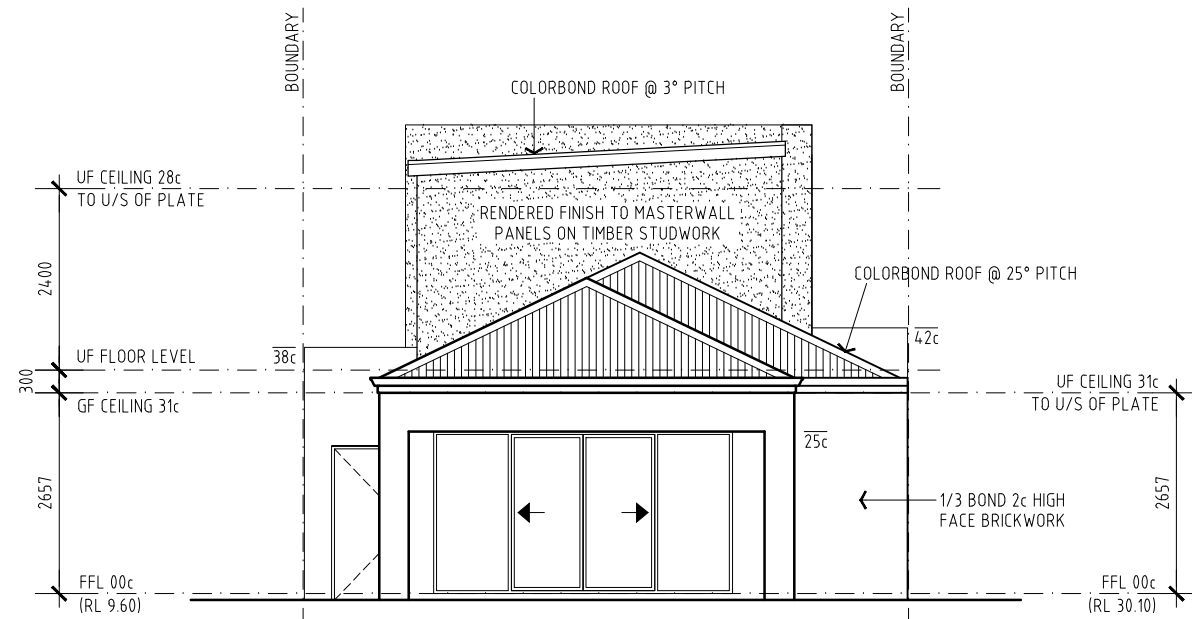
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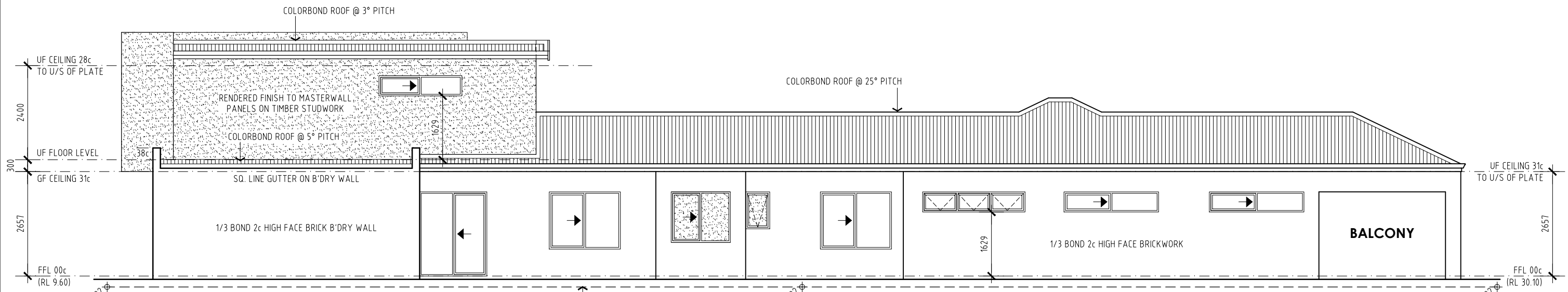
DATE:	REV:	AMENDMENTS:
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ELEVATIONS 1	
DRAWN: MA	DATE: 31.08.21
SHEET No: A2 OF 4	
JOB No: 89-JER	REV: PL1



**ELEVATION 3 - EAST**

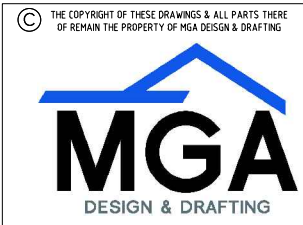
SCALE 1:100



**ELEVATION 4 - SOUTH**

SCALE 1:100

DASHED LINE REPRESENTS TOP OF EXISTING LIMESTONE RETAINING WALL @ SIDE BOUNDARY (PLINTH PANEL RETAINING TO TOP)



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ELEVATIONS 2	
DRAWN: MA	DATE: 31.08.21
SHEET No: A3 OF 4	
JOB No: 89-JER	REV: PL1