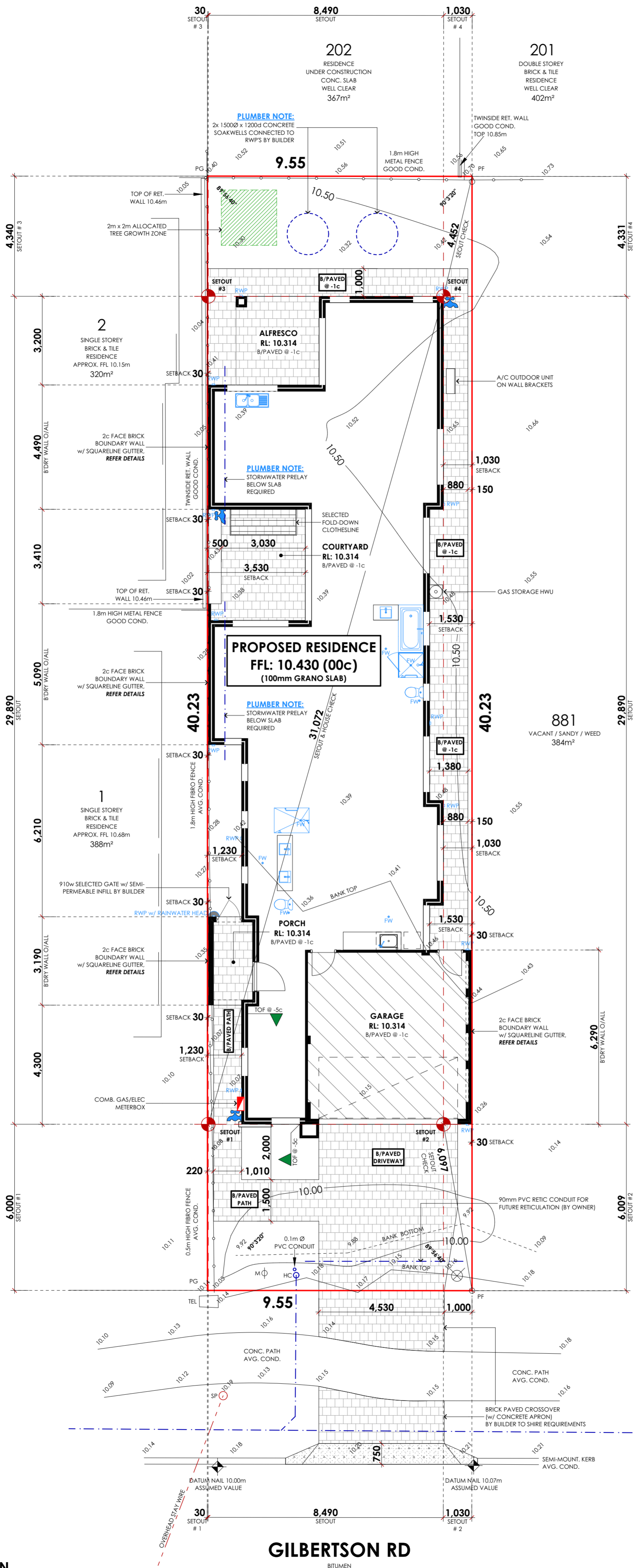


- SITE CLASSIFICATION CLASS 'A'
- 'R3' DURABILITY CLASSIFICATION
- 'N1' WIND CLASSIFICATION
- EARTHWORKS BY BUILDER
- SAND PAD LEVEL MAY VARY 100mm EITHER WAY, DUE TO ON SITE REQUIREMENTS
- 230w CAVITY BWK (U.N.O)
- 2c FACE BRICKWORK EXTERNALLY (U.N.O)
- STORMWATER DISPOSAL BY BUILDER TO COUNCIL REQ.
- PLUMBER NOTE
REFLUX VALVE INCLUDED



GROUND COVER
SANDY / WEED / BUILDING RUBBLE

TITLE : 880 No. 44/A GILBERTSON RD		LOT : 880 No. 44/A GILBERTSON RD	
CLIENT : MARA KOPIC		SUBURB : KARDINYA	
BUILDER : SHELFORD QUALITY HOMES		DP : 419041	
LINKS SURVEYING P: (08) 9354 8511 W: www.linksurveying.com.au E: info@linksurveying.com.au		C/T : 2998/628	
NOTE This plan is current at the Surveyed Date. NOT FOR CONSTRUCTION purposes without site collaboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation. Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting 'Dial Before You Dig' for underground services & a site inspection. © STANDFAST NOMINEES 1998		UBD REF : 327 K 13 GPS : S 32.06368° E 115.81970°	
REV A B C D E F	DATE 30/03/21 13/05/21 20/07/21 22/07/21 10/09/21 09/09/21	BY VNAM CB CB CB CB	SPEC ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4, 8, 20, 21 PD REV 1 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22
LOCALITY : CITY OF MELVILLE		SCALE @ A3 : 1:200	
CLIENT NAME : M. KOPIC		BUILDER'S REF : 880GIL	
ADDRESS : LOT 880 (No.44A) Gilbertson Road, KARDINYA		SHEET : 1 of 1	
ULTIMATE LIVING		REVISED : 17/05/21	
LINKS SURVEYING		DWG No : 42287-01-100	
SHELFORD QUALITY HOMES		REV : A	

LOT RECORDS			
STATUS	LOCATED	AVAILABLE	NO SERVICE CONFIRM
LOT SERVICE	✓	✓	✓
WATER	✓	✓	✓
SEWERAGE	✓	✓	✓
GAS	✓	✓	✓
TELE.	✓	✓	✓
DRAINAGE	✓	✓	✓
POWER	U/G	✓	✓
	O/H	✓	✓

AREA: ESTAB 01/2021
COASTAL DISTANCE 1.5-10km
LOT: 880
AREA: 384 m²
APPROX. AHD +3.33m

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY	
SEWER INVERT LEVEL	7.78
SEWER BROUGHT UP	0.80
DEPTH TO CONNECTION	1.38

SERVICE LEGEND	
POWER	
CONSUMER POLE	○ CP
POWER POLE	○ PP
LIGHT POLE	○ LP
STAY POLE	○ SP
S. WIRE ANCHOR	○ SWA
UNI PILLAR	⊗
EXPOSED CABLES	○ EC
GAS	
PRE-LAID CONN.	○ GPL
METER	□ GM
SEWERAGE	
MANHOLE	○ SMH
INSPECT. SHAFT	○ IS
INSPECT. OPENING	○ IO
HOUSE CONNECTION	○ HC
HOUSE CONN. INDICATOR	○ HCI
INSPECT. SHAFT CONNECTION	○ ISC
TELE.	
PIT	□ TEL
PRE-LAID CONN.	○ TPL
DRAINAGE	
MANHOLE	○ DMH
GULLY PIT	□
LOT PIT	○ LDP
HOUSE CONN.	○ DHC
SIDE ENTRY PIT	□
COMBINATION ENTRY PIT	□
WATER	
STOP VALVE	○ WSV
HYDRANT	○ HY
FLUSH POINT	○ FP
WATER TAP	○ WTP
WATER METER	⊕ M
PRE-LAID CONN.	○ WPL
SURVEY	
DATUM NAIL	⊕
PEG FOUND	○ PF
PEG DISTURBED	○ PD
PEG GONE	○ PG
STAKE FOUND	○ STF

CLIENT NOTE:
ALL DIMENSIONS STATED ON THIS DRAWING RELATE TO BRICKWORK SETOUT ONLY. NO ALLOWANCE IS MADE FOR THE ADDITIONS OF PLASTER OR WALL FINISH WHERE THESE APPLY. CARE SHOULD BE TAKEN TO INCLUDE SUCH ALLOWANCE IN CALCULATION OF CLEARANCE REQUIRED FOR FUTURE FITTINGS

TERMITE MANAGEMENT NOTE:
PRIMARY BUILDING ELEMENTS NOT SUBJECT TO TERMITE ATTACK AS PER B.C.A 3.1.4.2 (b) AND A.S. 3660.1 - 2014

FIXING CARPENTER NOTE:
450mm WIDE SHELF & RAIL 1650mm HIGH TO BUILT IN ROBES
450mm WIDE SHELF & RAIL 1800mm HIGH TO WALK IN ROBES
4 SHIELDS - 450mm WIDE SHELF @ 1850, 1400, 950 & 500
TOWEL RAIL HEIGHTS AS NOTED ON ROOM LAYOUTS
TOILET ROLL HOLDER TO BE FIXED AT 700mm ABOVE FL UNLESS OTHERWISE NOTED
PROVIDE 20mm CLEARANCE TO ALL INTERNAL DOORS

ENERGY EFFICIENCY NOTE:
R4.1 BATT INSULATION TO CEILING (NOT INCLUDING ALFRESCO & PORCH)
WEATHER SEALS TO EXTERNAL DOORS REFER TO ENERGY REPORT

BRICKLAYER NOTE:
HOLDING DOWN STRAP AND ROD REQUIREMENTS REFER TO ENGINEERS NOTES & DETAILS
230mm CAVITY B/WK, 1/3 BOND 2c
HIGH FACE B/WK EXTERNALLY (U.N.O.)
"LOH" INDICATES LIFT OFF HINGES

ROOF PLUMBER NOTE:
ANY RAINWATER PIPE LOCATION CHANGES PROPOSED BY ROOF PLUMBER TO BE CONFIRMED WITH SUPERVISOR/BUILDER PRIOR TO ANY COMMENCEMENT OF WORKS

ROOF CARPENTER NOTE:
BOXOUT REQUIRED FOR STANDARD MANHOLE SIZE 550mm x 550mm (NOMINAL)
EAVES 500mm WIDE BOXED AND LINED UNLESS OTHERWISE NOTED
BOX OUT 920 x 520 FOR RETURN AIR GRILL FOR A/C

BRICKLAYER NOTE:
FINISH INTERNAL B/WK SHORT OF WINDOW FRAME. TO SUIT B/TOP DETAIL

NOTE: HOMEGUARD TERMITE BARRIER & GT GRANULES TO BOUNDARY WALL

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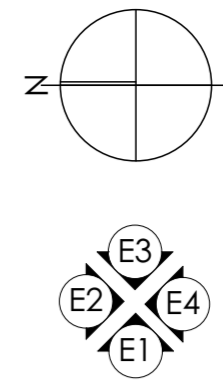
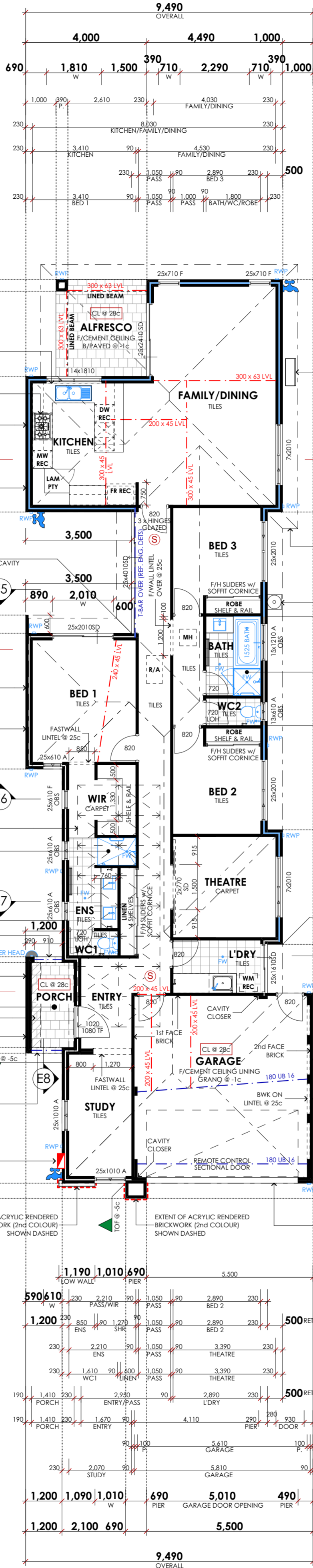
NOTE: HOMEGUARD TERMITE BARRIER & GT GRANULES TO BOUNDARY WALL

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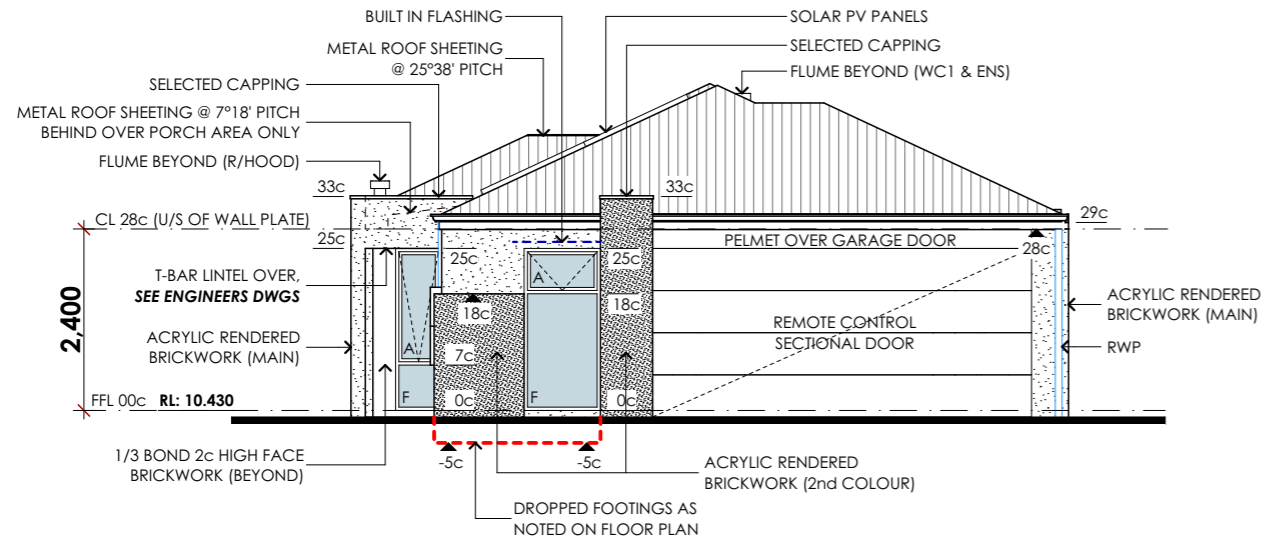
AREAS		
AREA	PERIMETER	
HOUSE AREA	172.88	85.56
GARAGE	36.71	24.38
ALFRESCO	9.60	12.40
PORCH	4.95	9.58
224.14 m²		
AREA	PERIMETER	
ROOF AREA	241.18	88.20

- DO NOT SCALE FROM DRAWING.** DIMENSIONS SHOWN ARE TO BE FOLLOWED & MUST BE CHECKED ON SITE
- EXHAUST FAN NOTE:** EXHAUST FANS AND RANGEHOOD TO BE FLUMED TO OUTSIDE AIR
- SM** DENOTES SMOKE DETECTOR
- NOTES:** "LOH" DENOTES LIFT OFF HINGE
- 92 x 18 MDF (PAINTED) MDF PLAYED SKIRTING THROUGHOUT (EXCLUDING WET AREAS & INSIDE ROBES)
- INDICATES EXTENT OF CAVITY WALL INSULATION**

- SITE CLASSIFICATION CLASS 'A'**
- 'N1' WIND CLASSIFICATION**
- 'N3' DURABILITY CLASSIFICATION**
- METAL ROOF SHEETING @ 25°38' PITCH (U.N.O.)
- CEILING 28c + PLATE (U.N.O.)
- 230w CAVITY B/WK (U.N.O.)
- 2c FACE BRICKWORK EXTERNALLY (U.N.O.)
- PLUMBER NOTE:** RELUX VALVE INCLUDED

FLOOR PLAN
1:100 (A2 SHEET SIZE)

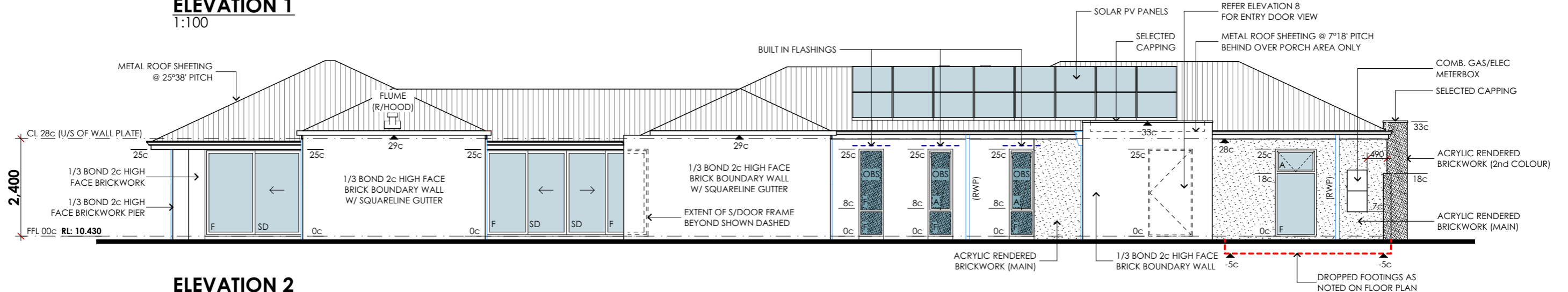
		LOCALITY: CITY OF MELVILLE CLIENT NAME: M. KOPIC ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA	REV: A, B, C, D, E, F BY: AO, VN-AM, CB, CB, CB, CB DATE: 30.03.21, 13.05.21, 20.07.21, 22.07.21, 10.08.21, 09.09.21 SPEC: PC 30.03.21 PD REV 1 AMENDMENTS: ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22	This drawing forms part of the contract dated Owner Owner Builder	FLOOR PLAN JOB No: 880GIL DATE: 09.09.21 DRAWN: VN-AM SHEET No: REV:
A.02 OF 12 F					



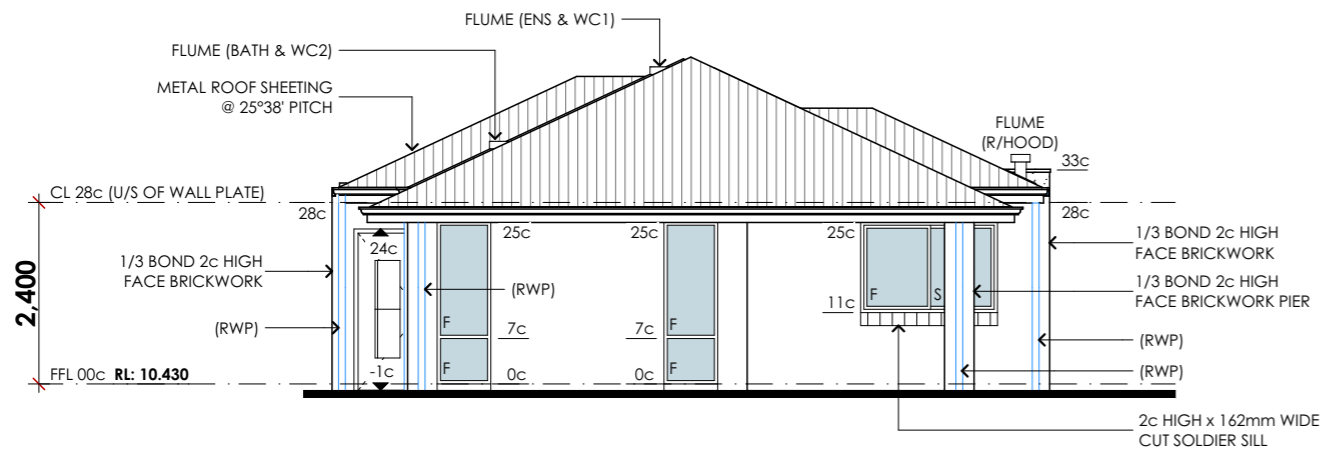
ELEVATION 1
1:100

RENDERED BRICKWORK LEGEND


- ACRYLIC RENDERED BRICKWORK (MAIN)
- ACRYLIC RENDERED BRICKWORK (2nd COLOUR)

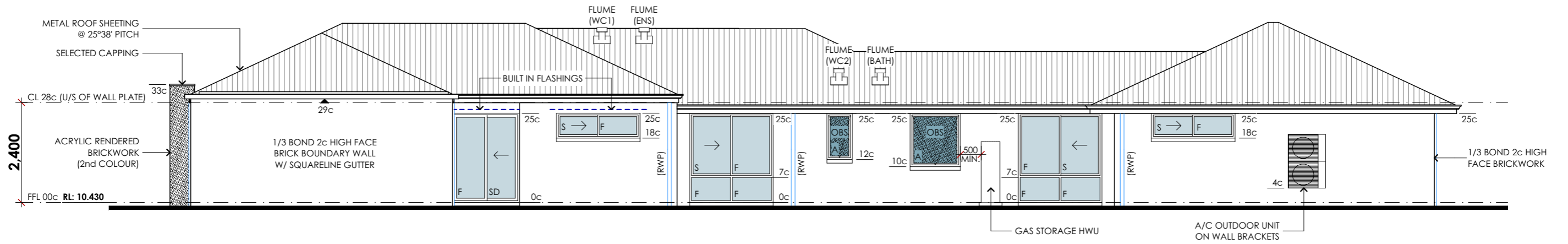


ELEVATION 2
1:100

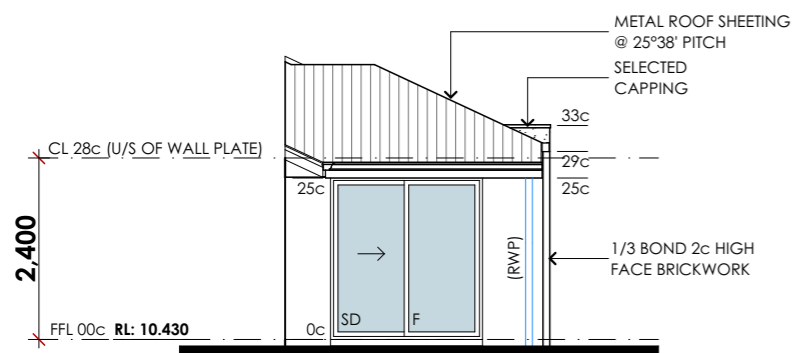


ELEVATION 3
1:100

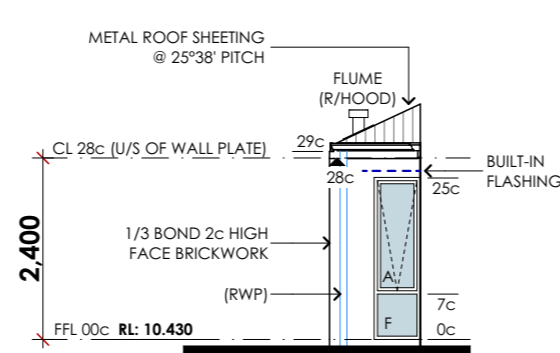
<p>ULTIMATE LIVING</p>  <p>131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au</p>		<p>LOCALITY: CITY OF MELVILLE</p> <p>CLIENT NAME: M. KOPIC</p> <p>ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA</p>		<p>REV: BY: DATE: SPEC:</p> <p>A AO 30.03.21 B VN-AM 13.05.21 C CB 20.07.21 D CB 22.07.21 E CB 10.08.21 F CB 09.09.21</p>	<p>DATE: 30.03.21</p> <p>SPEC: PC 30.03.21 PD REV 1</p>	<p>AMENDMENTS:</p> <p>ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22</p>	<p>This drawing forms part of the contract dated</p> <p>Owner</p> <p>Owner</p> <p>Builder</p>	<p>ELEVATIONS 1 - 2</p> <p>JOB No: 880GIL DATE: 09.09.21 DRAWN: VN-AM</p> <p>SHEET No: A.03 OF 12 REV: F</p>	
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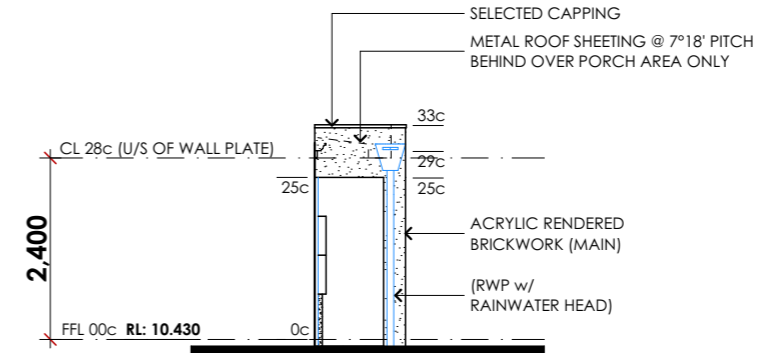
ELEVATION 4
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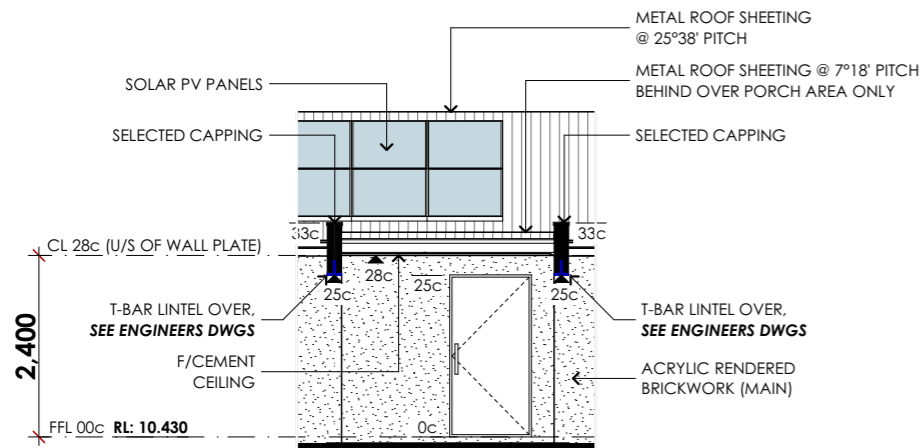
ELEVATION 5
1:100



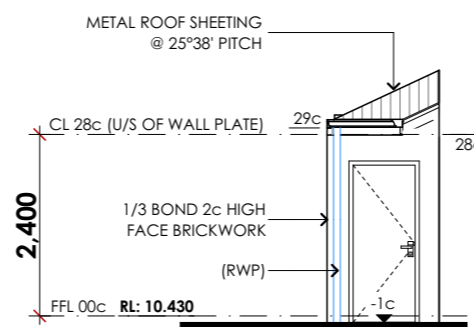
ELEVATION 6
1:100




ELEVATION 7
1:100

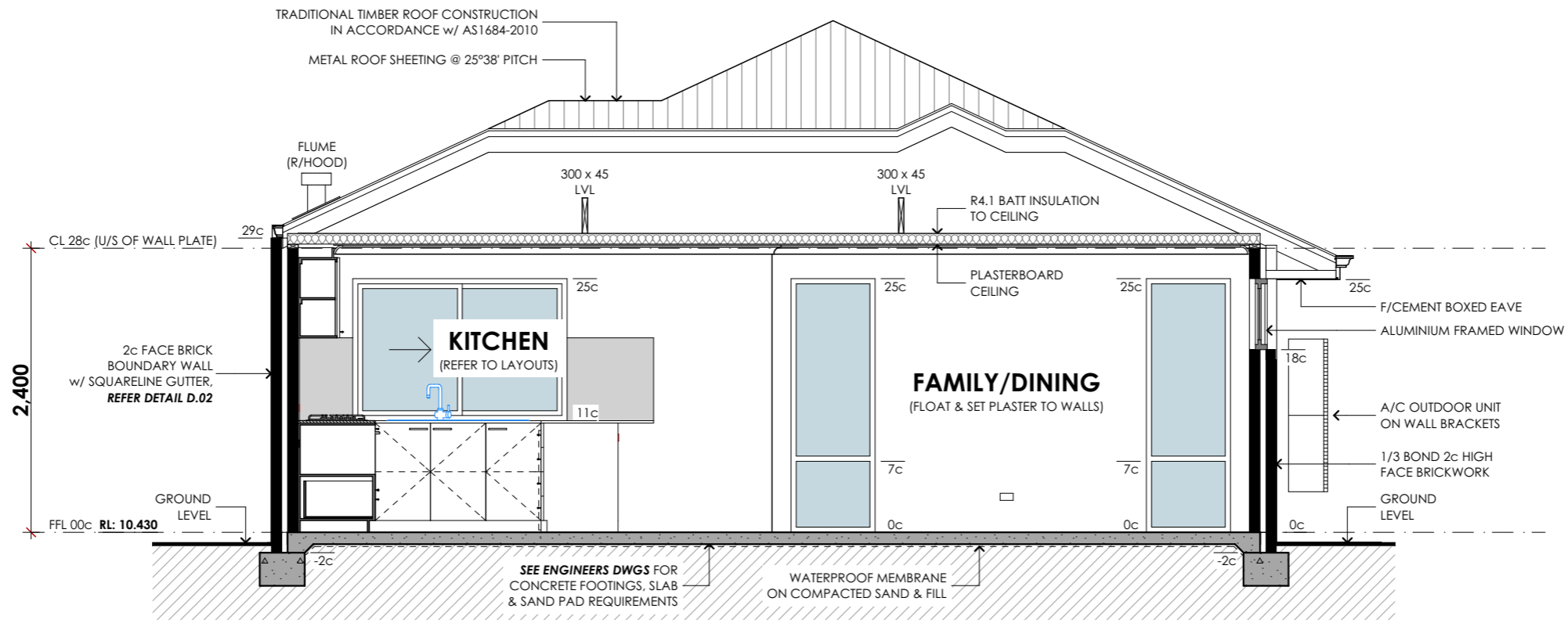


ELEVATION 8
1:100




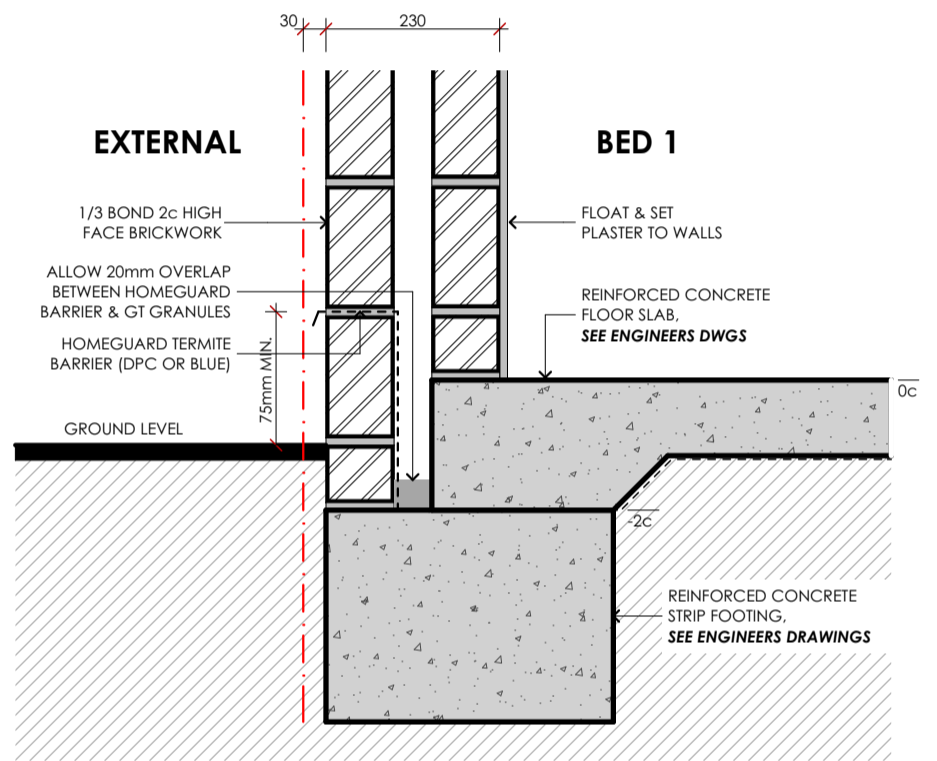
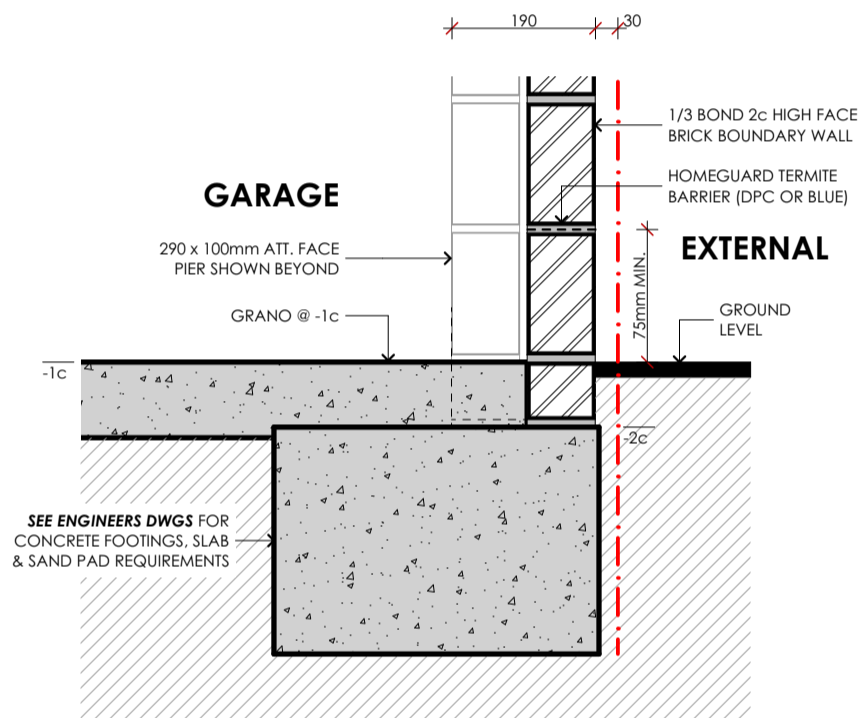
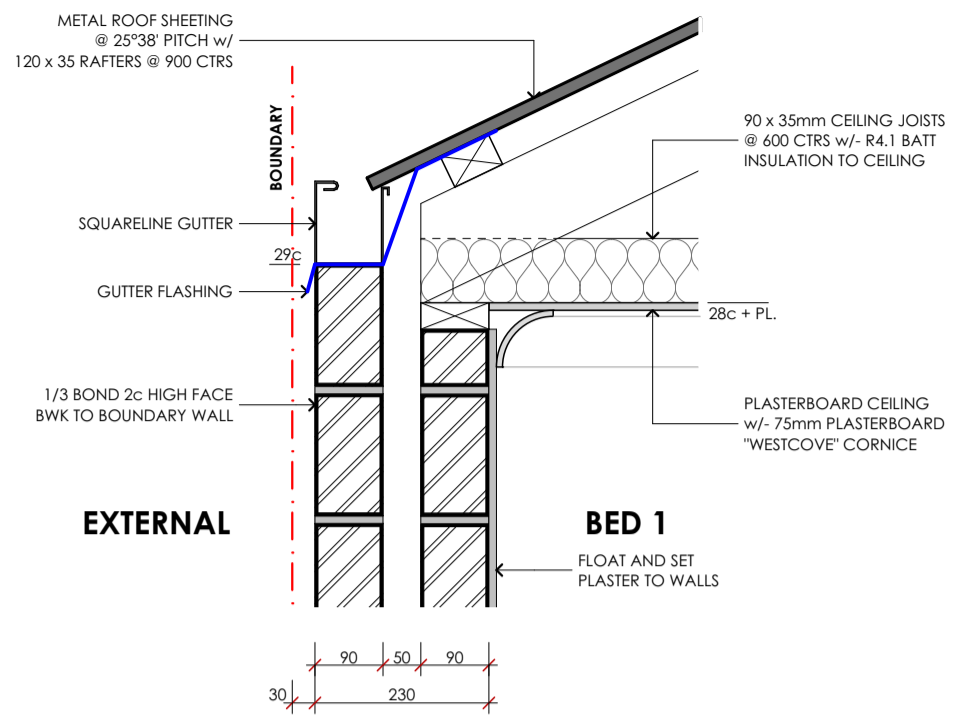
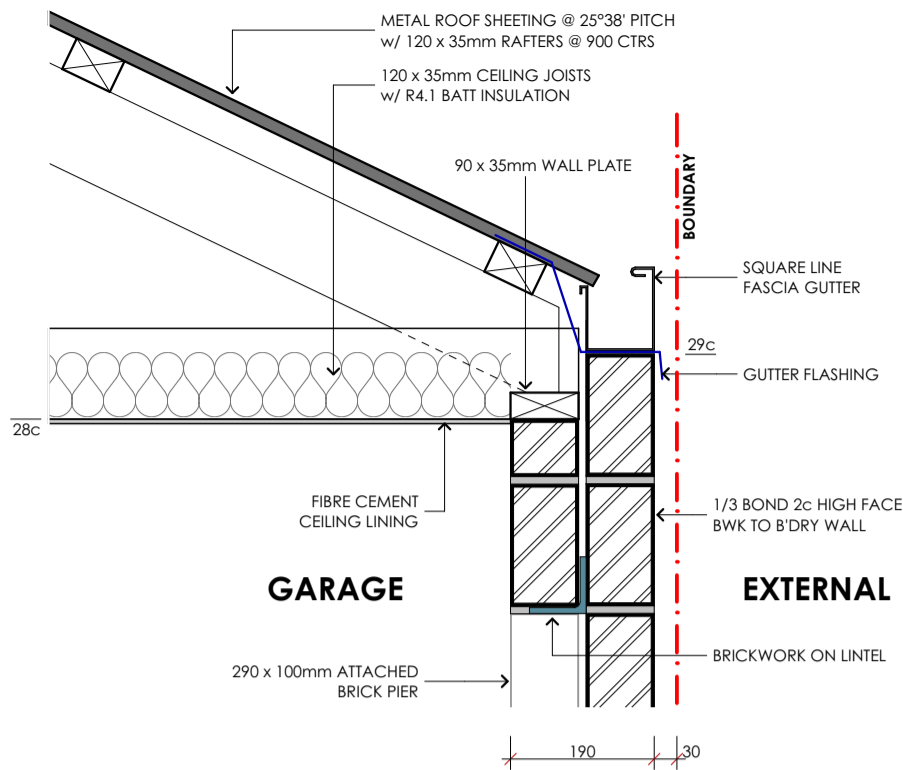
ELEVATION 9
1:100

<p>ULTIMATE LIVING</p>  <p>131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au</p>		<p>LOCALITY: CITY OF MELVILLE</p> <p>CLIENT NAME: M. KOPIC</p> <p>ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA</p>		<p>REV: BY: DATE: SPEC: AMENDMENTS:</p> <p>A AO 30.03.21 B VN-AM 13.05.21 C CB 20.07.21 D CB 22.07.21 E CB 10.08.21 F CB 09.09.21</p>	<p>DATE: 30.03.21 SPEC: PC 30.03.21 PD REV 1</p> <p>AMENDMENTS: ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22</p>	<p>This drawing forms part of the contract dated</p> <p>Owner</p> <p>Owner</p> <p>Builder</p>	<p>ELEVATIONS 4 - 9</p> <p>JOB No: 880GIL DATE: 09.09.21 DRAWN: VN-AM</p> <p>SHEET No: A.04 OF 12 REV: F</p>
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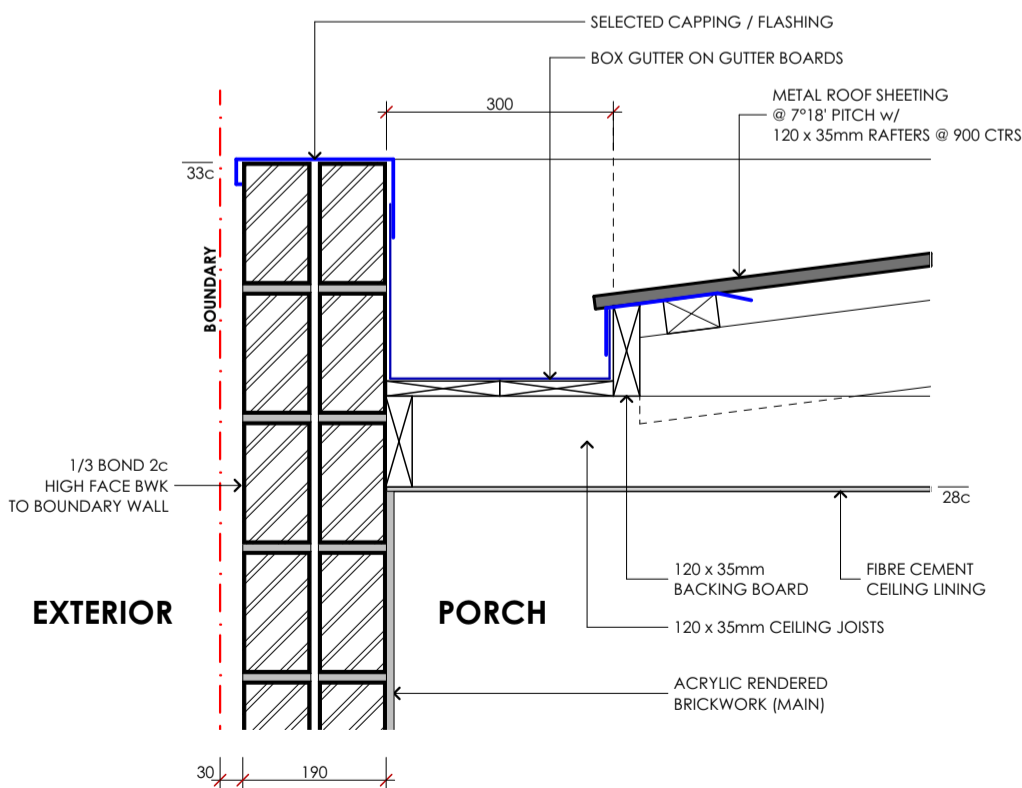
SECTION A-A
1:50

<p>ULTIMATE LIVING</p>  <p>131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au</p>		<p>LOCALITY: CITY OF MELVILLE</p> <p>CLIENT NAME: M. KOPIC</p> <p>ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA</p>		<p>REV: BY: DATE: SPEC: AMENDMENTS:</p> <p>A AO 30.03.21 B VN-AM 13.05.21 C CB 20.07.21 D CB 22.07.21 E CB 10.08.21 F CB 09.09.21</p>	<p>PC 30.03.21 PD REV 1</p> <p>ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22</p>	<p>This drawing forms part of the contract dated/../.....</p> <p>Owner</p> <p>Owner</p> <p>Builder</p>	<p>SECTION</p> <p>JOB No: 880GIL DATE: 09.09.21 DRAWN: VN-AM</p> <p>SHEET No: A.05 OF 12 REV: F</p>		
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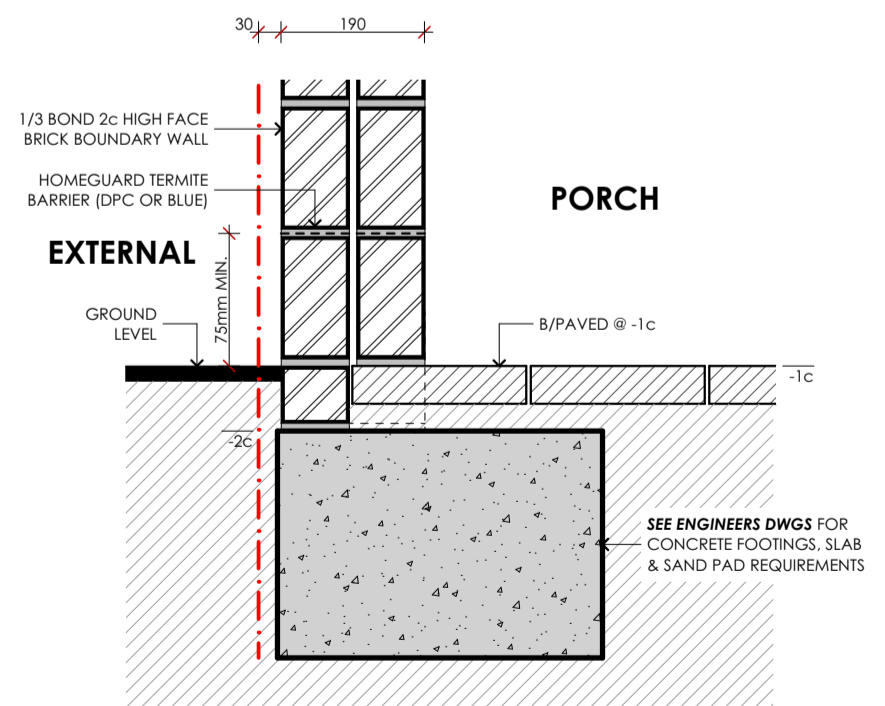


D.01 GARAGE B'DRY WALL DETAIL
1:10 A.02

D.02 CAVITY B'DRY WALL DETAIL
1:10 A.02

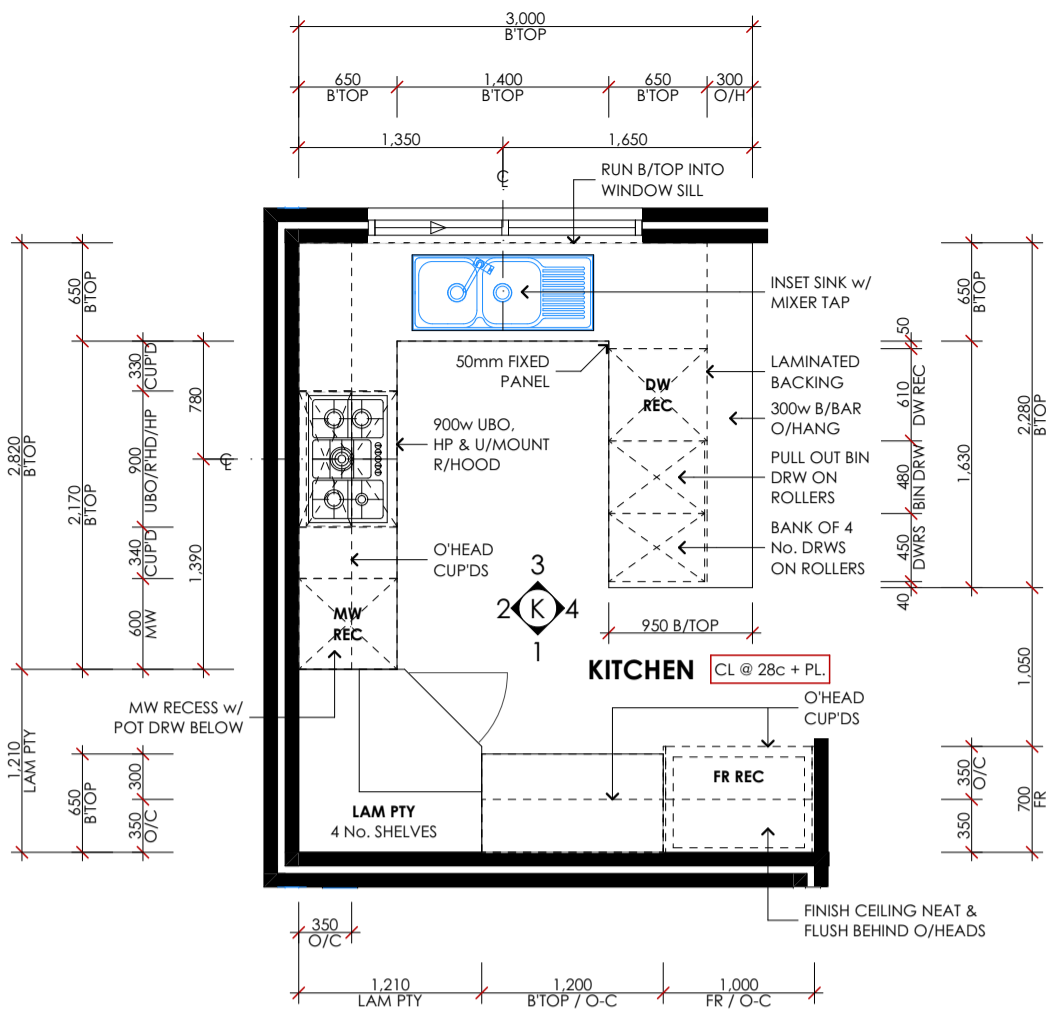


D.03 PORCH B'DRY WALL / BOX GUTTER DETAIL
1:10 A.02



D.03 PORCH B'DRY WALL DETAIL
1:10 A.02

ULTIMATE LIVING		LOCALITY: CITY OF MELVILLE		REV:	BY:	DATE:	SPEC:	AMENDMENTS:	This drawing forms part of the contract dated/...../.....	DETAILS		
 131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au		CLIENT NAME: M. KOPIC ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA		A	AO	30.03.21	PC 30.03.21	ISSUED FOR CONTRACTS		Owner	JOB No:	DATE:
				B	VN-AM	13.05.21	PD REV 1	WORKING DRAWINGS	Owner	880GIL	09.09.21	VN-AM
				C	CB	20.07.21		VARIATIONS 1, 4-18, 20-21	Owner	SHEET No:		REV:
				D	CB	22.07.21		ENERGY REQUIREMENTS	Builder	A.06 OF 12		F
				E	CB	10.08.21		ENGINEERING				
				F	CB	09.09.21		FINAL CHECKING & VARIATION 22				



TILING NOTES:

HOB HEIGHTS TO BUILDER DISCRETION

REPRESENTATION OF TILE LINES & LAYOUT ARE DIAGRAMMATIC ONLY AND DO NOT TAKE INTO ACCOUNT GROUT JOINT THICKNESS, TILE &/OR ROOM VARIATIONS DUE TO TOLERANCES ETC. EXACT SETOUT IS AT BUILDER DISCRETION

DIMENSIONS SHOWN ARE NOMINAL ONLY AND TO BE CONFIRMED ON SITE

DISHWASHER PROVISION:

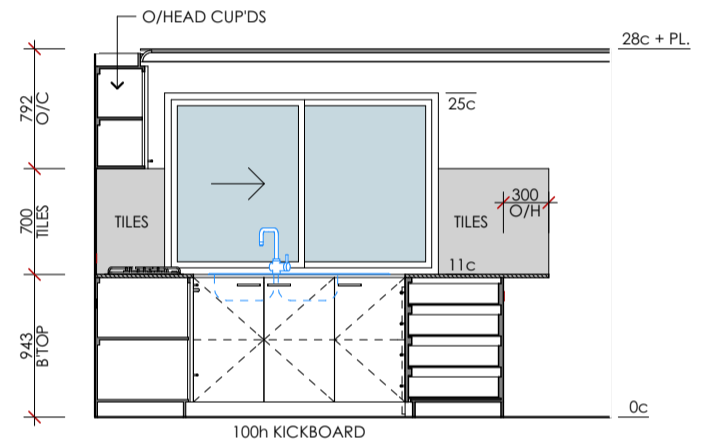
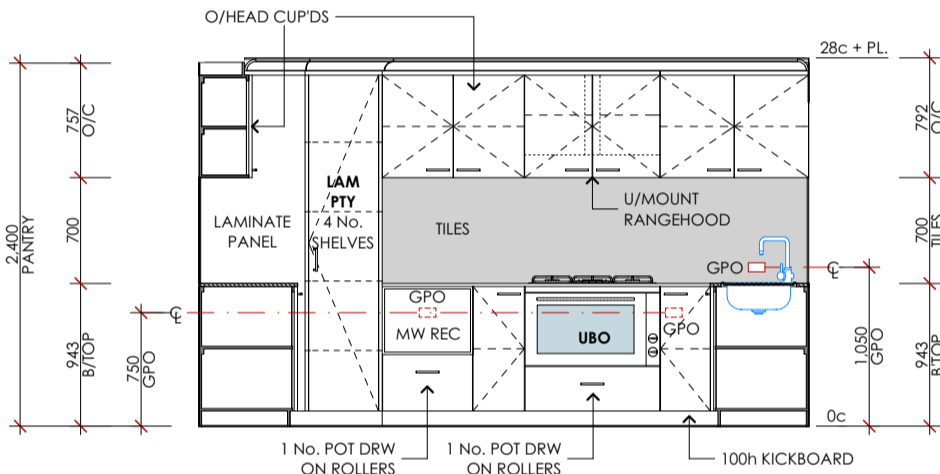
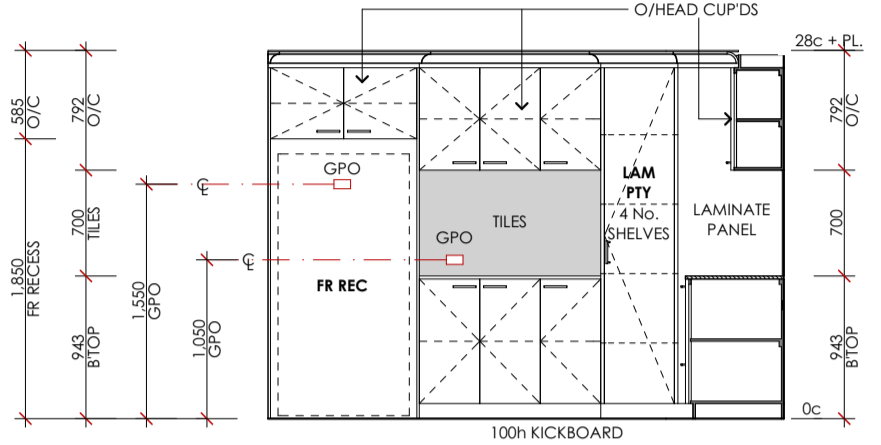
610w OPENING UNDER BENCHTOP
COLD WATER OUTLET
SINK TRAP SUITABLE TO CONNECT DISHWASHER WASTE, GPO AT 750 AFL BY BUILDER

NOTE:

GPO & COLD TAP ACCESS TO DW RECESS BY BUILDER

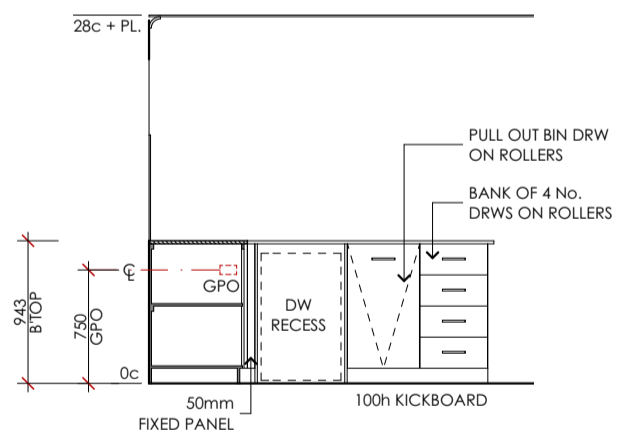
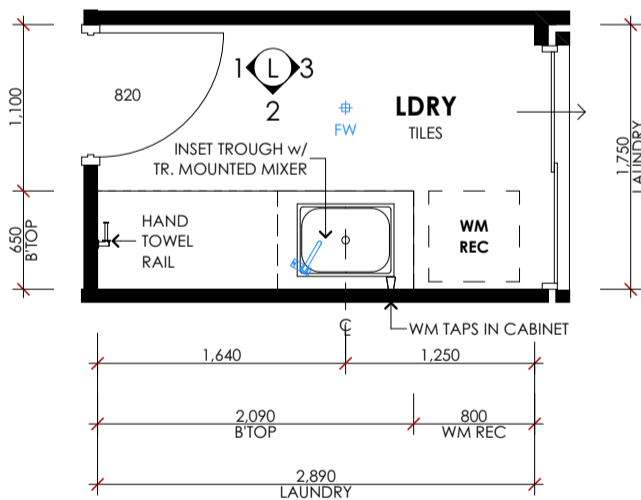
NOTES:

REFER TO PROJECT DETAILS FOR CABINERY SPECIFICATION



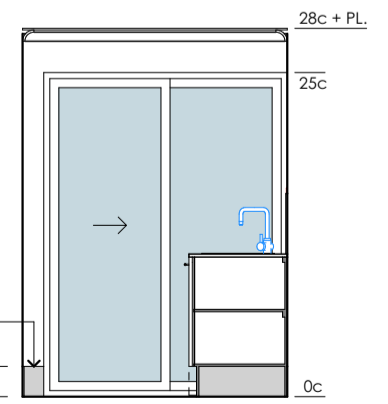
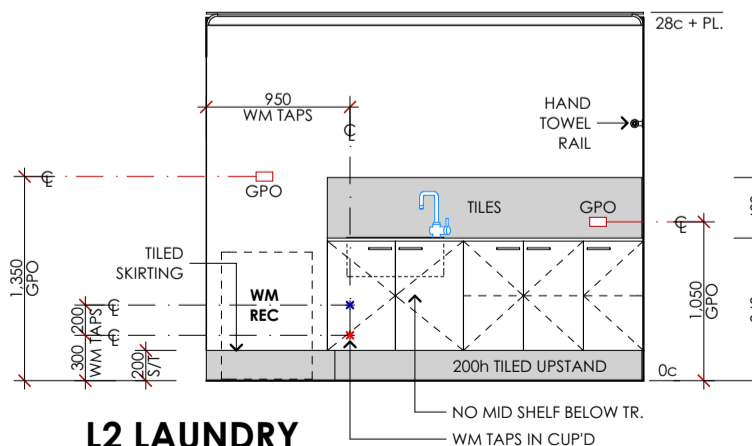
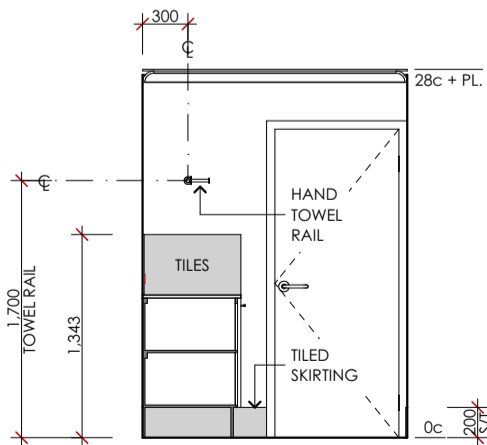
K2 KITCHEN
1:50

K3 KITCHEN
1:50



LAUNDRY PLAN
1:50

K4 KITCHEN
1:50



L1 LAUNDRY
1:50

L2 LAUNDRY
1:50

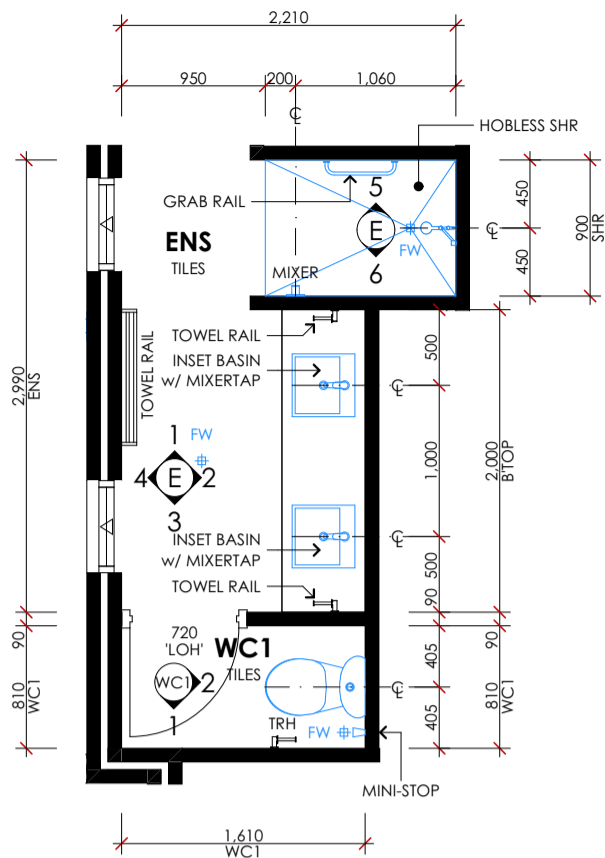
L3 LAUNDRY
1:50

ULTIMATE LIVING	LOCALITY: CITY OF MELVILLE	REV: A	BY: AO	DATE: 30.03.21	SPEC: PC 30.03.21	AMENDMENTS: ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22	This drawing forms part of the contract dated/...../..... Owner/...../..... Owner/...../..... Builder/...../.....	LAYOUTS - KITCHEN & LAUNDRY		
SHELFORD QUALITY HOMES	CLIENT NAME: M. KOPIC ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA	B	VN-AM	13.05.21	PD REV 1			JOB No: 880GIL	DATE: 09.09.21	DRAWN: VN-AM
131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au		C	CB	20.07.21			SHEET No:		REV:	
		D	CB	22.07.21			A.07 OF 12 F			
		E	CB	10.08.21						
		F	CB	09.09.21						

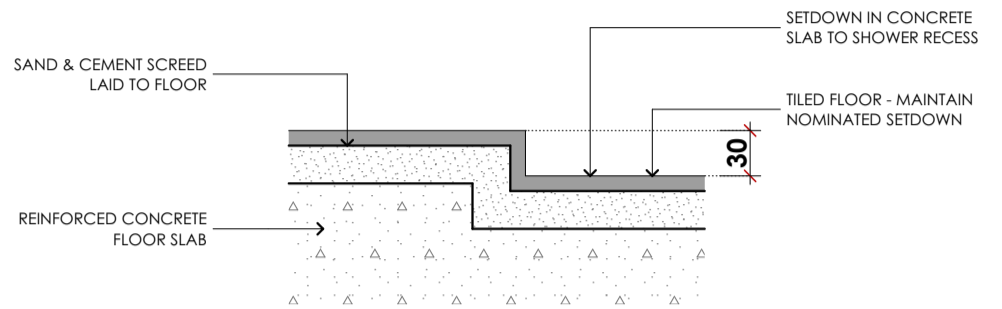
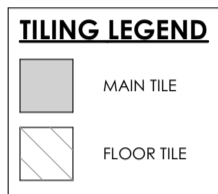
DIMENSIONS SHOWN ARE NOMINAL ONLY AND TO BE CONFIRMED ON SITE

TILING NOTES:
 HOB HEIGHTS TO BUILDER DISCRETION
 REPRESENTATION OF TILE LINES & LAYOUT ARE DIAGRAMMATIC ONLY AND DO NOT TAKE INTO ACCOUNT GROUT JOINT THICKNESS, TILE &/OR ROOM VARIATIONS DUE TO TOLERANCES ETC. EXACT SETOUT IS AT BUILDER DISCRETION

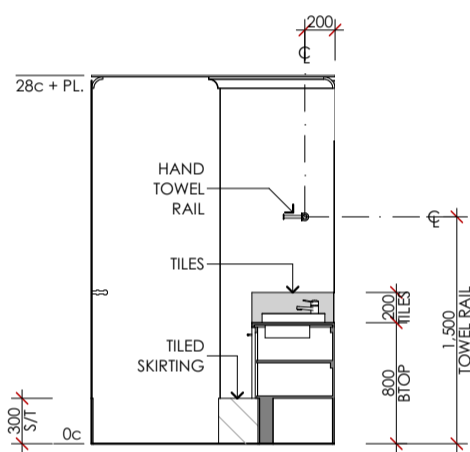
NOTES:
 REFER TO PROJECT DETAILS FOR CABINERY SPECIFICATION



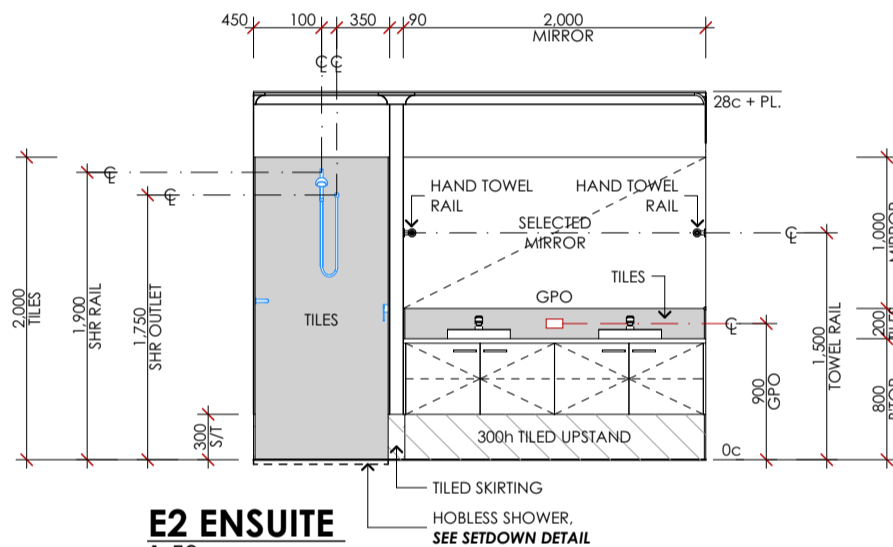
ENSUITE & WC1 PLAN
1:50



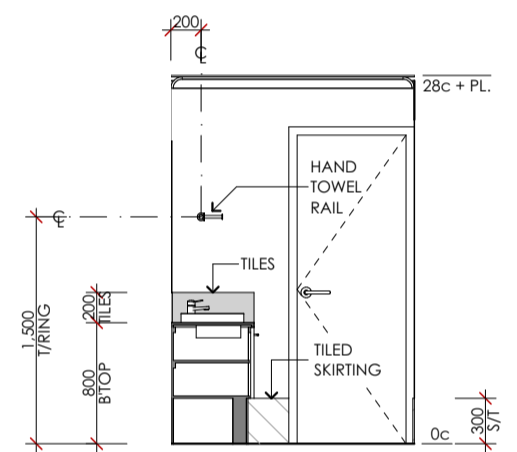
TYPICAL SHR SETDOWN DETAIL
1:5



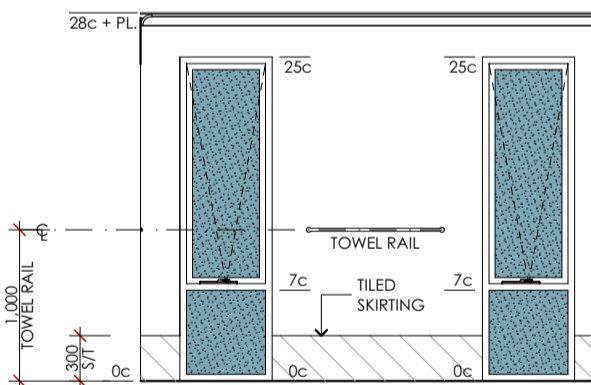
E1 ENSUITE
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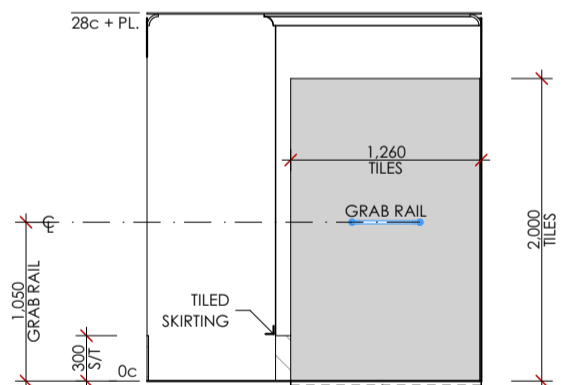
E2 ENSUITE
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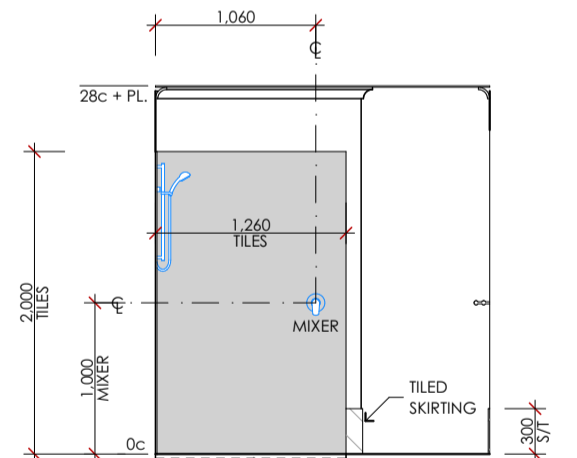
E3 ENSUITE
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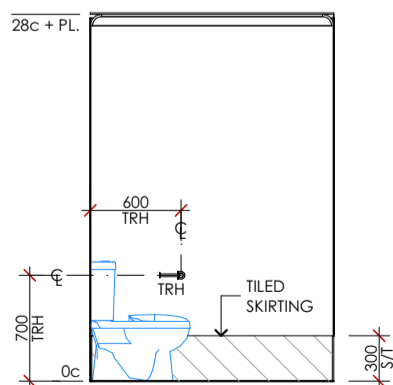
E4 ENSUITE
1:50



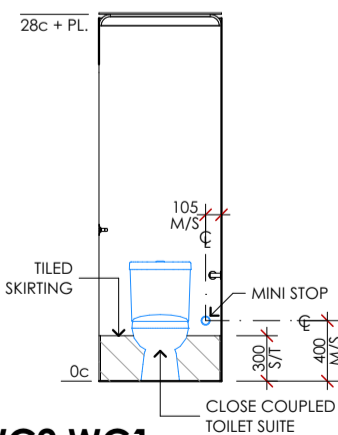
E5 ENSUITE
1:50



E6 ENSUITE
1:50



WC1 WC1
1:50



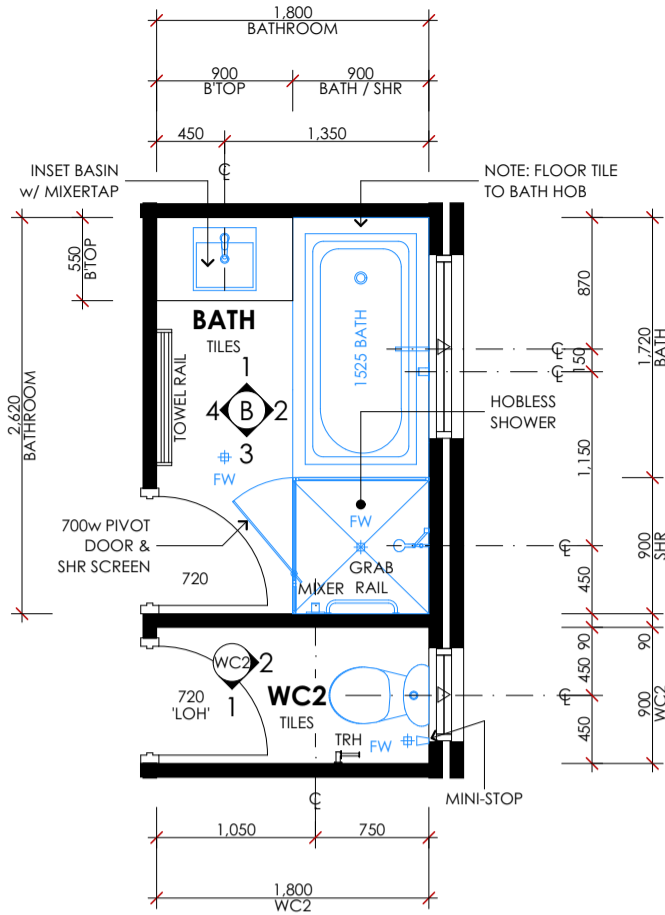
WC2 WC1
1:50

ULTIMATE LIVING 131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au		LOCALITY: CITY OF MELVILLE CLIENT NAME: M. KOPIC ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA		REV: A BY: AO DATE: 30.03.21 B VN-AM 13.05.21 C CB 20.07.21 D CB 22.07.21 E CB 10.08.21 F CB 09.09.21	SPEC: PC 30.03.21 PD REV 1 AMENDMENTS: ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22	This drawing forms part of the contract dated/...../..... Owner/...../..... Owner/...../..... Builder/...../.....	LAYOUTS - ENSUITE & WC1 JOB No: 880GIL DATE: 09.09.21 DRAWN: VN-AM SHEET No: A.08 OF 12 F REV:
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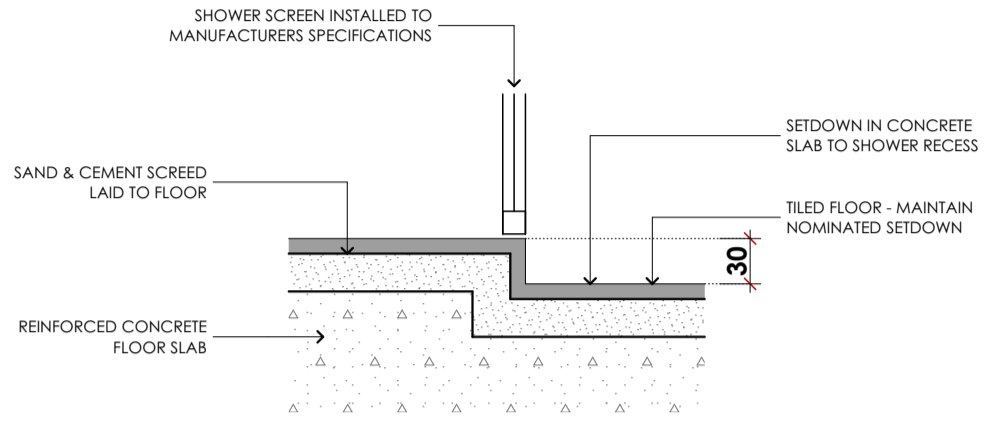
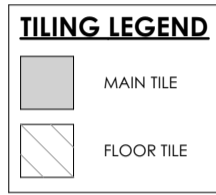
DIMENSIONS SHOWN ARE NOMINAL ONLY AND TO BE CONFIRMED ON SITE

TILING NOTES:
 HOB HEIGHTS TO BUILDER DISCRETION
 REPRESENTATION OF TILE LINES & LAYOUT ARE DIAGRAMMATIC ONLY AND DO NOT TAKE INTO ACCOUNT GROUT JOINT THICKNESS, TILE &/OR ROOM VARIATIONS DUE TO TOLERANCES ETC. EXACT SETOUT IS AT BUILDER DISCRETION

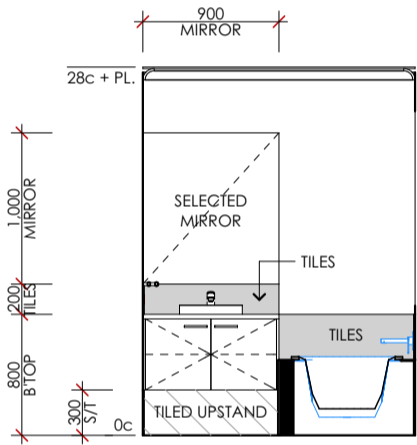
NOTES:
 REFER TO PROJECT DETAILS FOR CABINERY SPECIFICATION



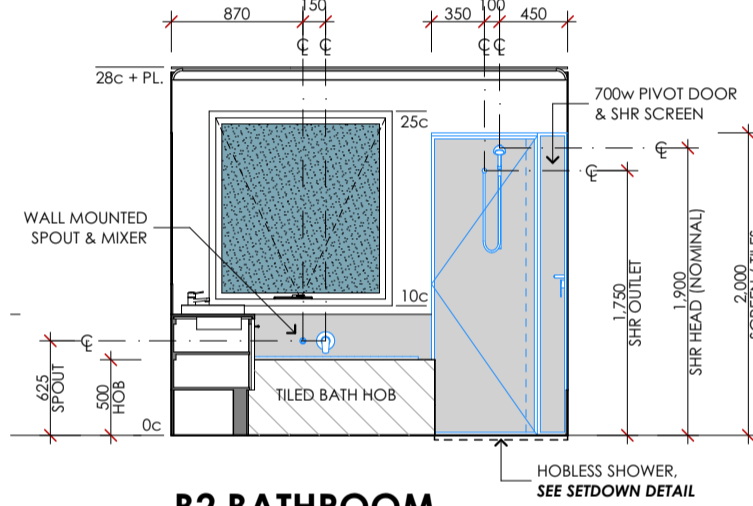
BATHROOM & WC2 PLAN
1:50



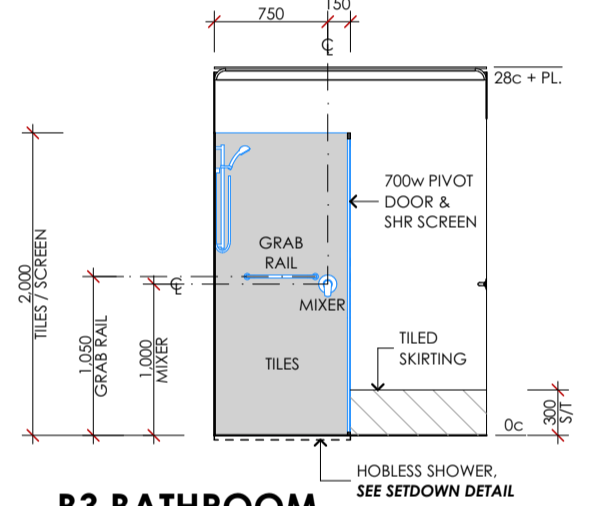
TYPICAL SHR SETDOWN DETAIL
1:5



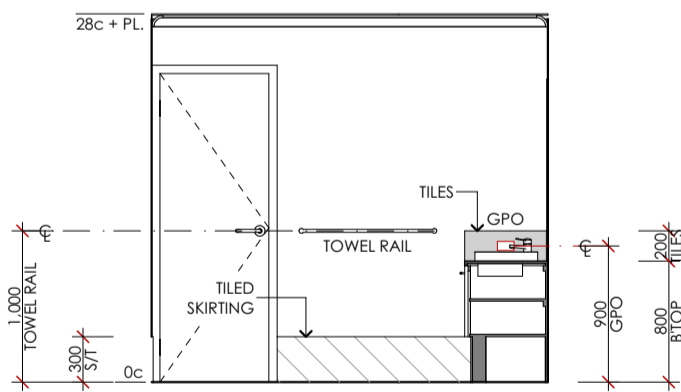
B1 BATHROOM
1:50



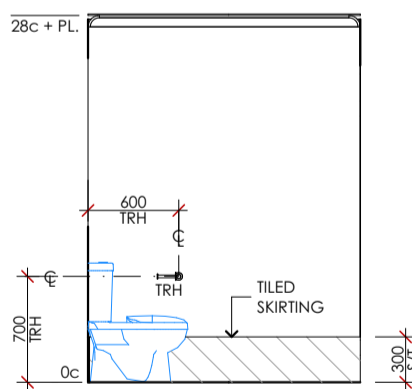
B2 BATHROOM
1:50



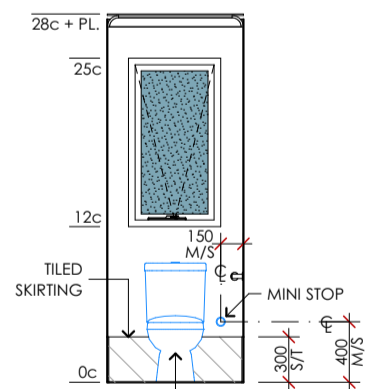
B3 BATHROOM
1:50



B4 BATHROOM
1:50



WC1 WC2
1:50



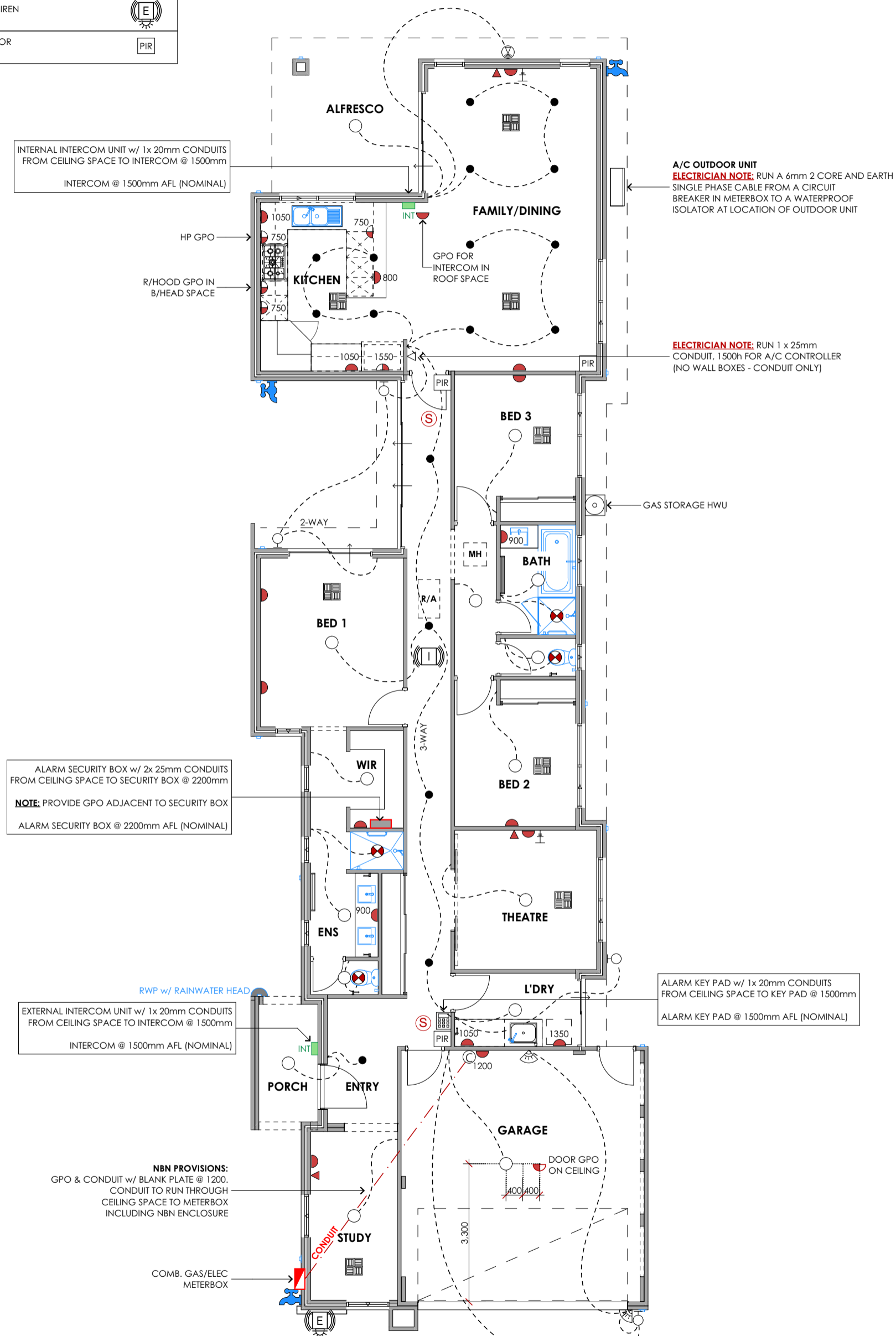
WC2 WC2
1:50

ELECTRICAL LEGEND SECURITY/INTERCOM LEGEND AIR-CON LEGEND

DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
CEILING LIGHT	○	ALARM SECURITY BOX (w/ 2x 25mm CONDUITS)	■
LED DOWNLIGHT	●	ALARM KEY PAD (w/ 1x 20mm CONDUITS)	■
WALL LIGHT 1800 AFL (U.N.O)	○	INTERCOM PANEL	INT
SINGLE GPO 300 AFL (U.N.O)	●	INTERNAL SIREN	(I)
DOUBLE GPO 300 AFL (U.N.O)	●	EXTERNAL SIREN	(E)
EXHAUST FAN NOTE: ALL EXHAUST FANS TO BE FLUMED TO OUTSIDE AIR	⊗	PIR DETECTOR	PIR
DATA/PHONE POINT 300 AFL (U.N.O)	▽		
T.V POINT 300 AFL (U.N.O)	⊕		
CONDUIT (25Ø) w/ BLANK PLATE	○		
SMOKE DETECTOR NOTE: HARDWIRED & INTERCONNECTED	⊙		
A/C CONTROLLER	▽		
SENSOR	⊕		
FLOODLIGHT	⊕		
NOTES: POWER POINTS MAY BE RELOCATED ON SITE TO SUIT CURRENT STATUTORY REQUIREMENTS REFER TO ROOM LAYOUTS FOR CORRECT POSITION OF POWER POINTS ALL SMOKE DETECTORS TO BE HARDWIRED & INTERCONNECTED			
5.92kw SOLAR PANEL SYSTEM BY BUILDER			
TV ANTENNA BY BUILDER INCLUDED			
SINGLE PHASE POWER			

DESCRIPTION	SYMBOL
ALARM SECURITY BOX (w/ 2x 25mm CONDUITS)	■
ALARM KEY PAD (w/ 1x 20mm CONDUITS)	■
INTERCOM PANEL	INT
INTERNAL SIREN	(I)
EXTERNAL SIREN	(E)
PIR DETECTOR	PIR




DESCRIPTION	SYMBOL
AIR CON. CONTROLLER	▽
AIR CON. CEILING OUTLET	■
RETURN AIR GRILLE	R/A



ELEC, A/COND, SECURITY & INTERCOM PLAN
1:100

ULTIMATE LIVING		LOCALITY: CITY OF MELVILLE		REV:	BY:	DATE:	SPEC:	AMENDMENTS:	This drawing forms part of the contract dated/...../..... Owner/...../..... Owner/...../..... Builder/...../.....	ELEC, A/COND, SECURITY & INTERCOM PLAN		
 131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au		CLIENT NAME: M. KOPIC ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA		A	AO	30.03.21	PC 30.03.21	ISSUED FOR CONTRACTS		JOB No:	DATE:	DRAWN:
				B	VN-AM	13.05.21	PD REV 1	WORKING DRAWINGS	880GIL	09.09.21	VN-AM	
				C	CB	20.07.21		VARIATIONS 1, 4-18, 20-21	SHEET No:		REV:	
				D	CB	22.07.21		ENERGY REQUIREMENTS	A.10 OF 12		F	
				E	CB	10.08.21		ENGINEERING				
				F	CB	09.09.21		FINAL CHECKING & VARIATION 22				

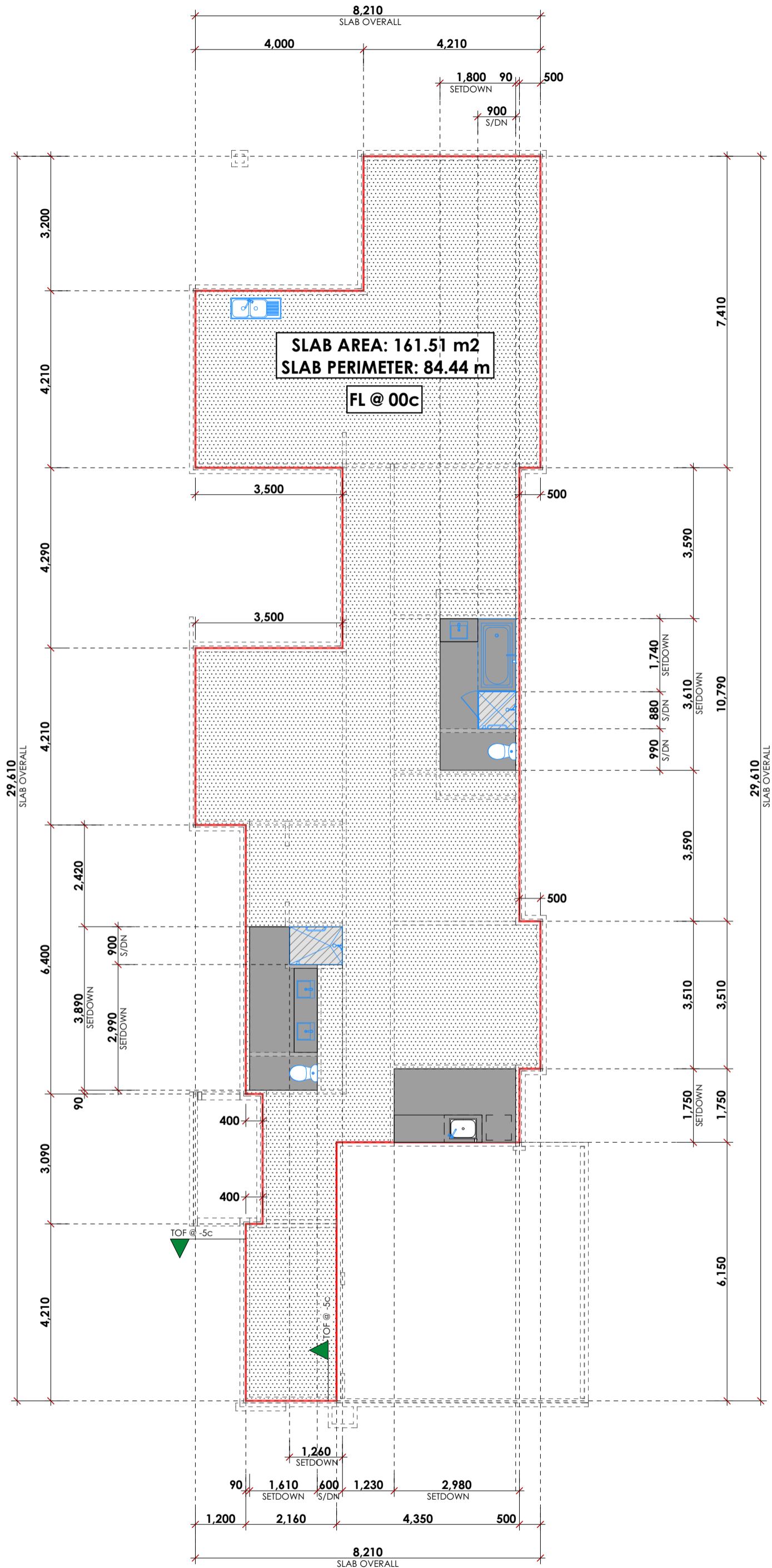
FLOOR LEGEND

-  EXTENT OF 100mm THICK SLAB
-  40mm WET AREA SETDOWN
-  70mm WET AREA SETDOWN


(COL.) STRUCTURAL COLUMN. **SEE ENGS DWGS**
GRANOWORKER TO PROVIDE BLOCKOUT

GRANOWORKER NOTE:

GRANOWORKER AND/OR FORMWORKER TO ADVISE SITE SUPERVISOR OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO POURING FOOTINGS/SLAB



SLAB SETOUT
1:100

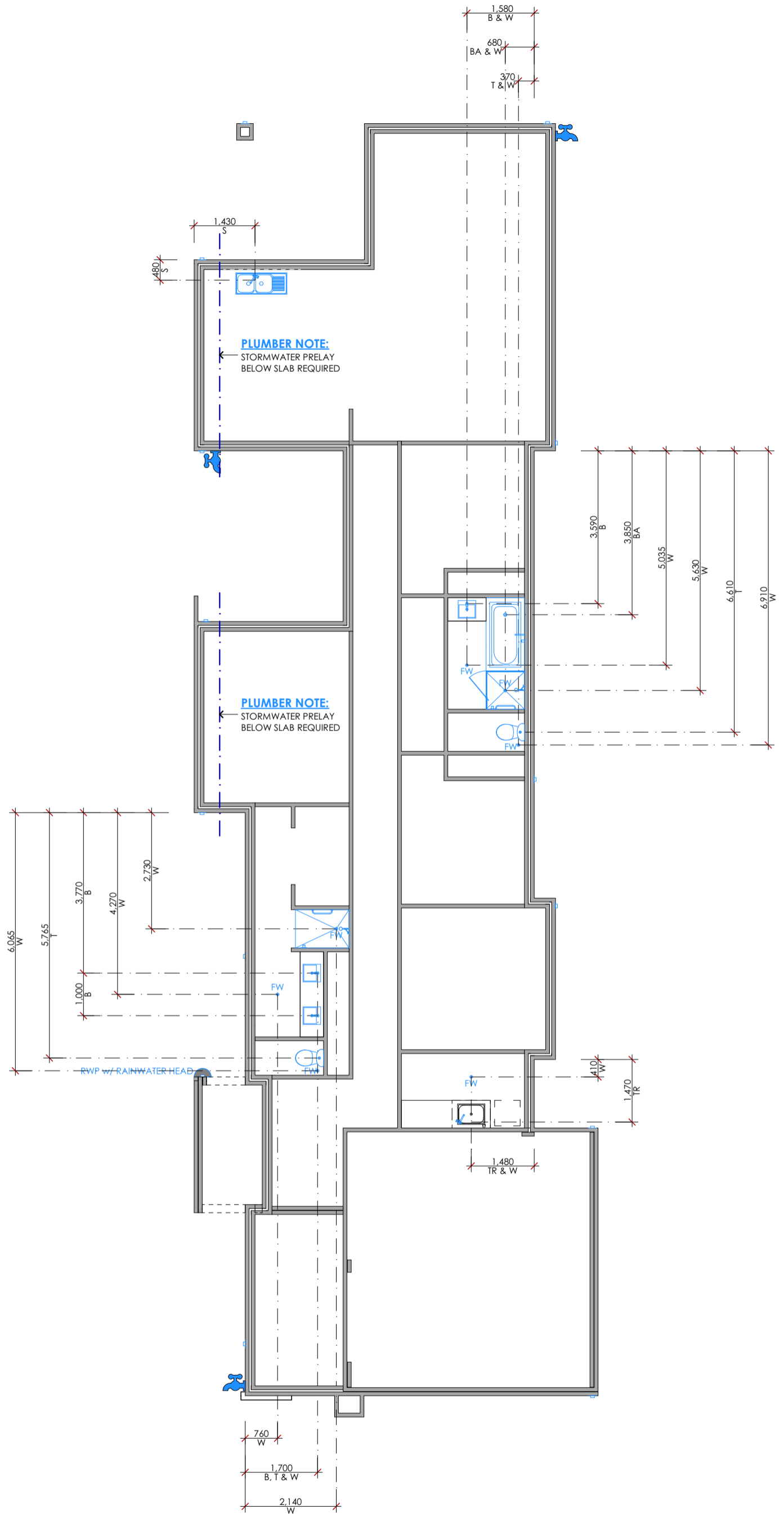
ULTIMATE LIVING  131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au	LOCALITY: CITY OF MELVILLE CLIENT NAME: M. KOPIC ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA	REV: A BY: AO DATE: 30.03.21 SPEC: PC 30.03.21 AMENDMENTS: ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22	AMENDMENTS: ISSUED FOR CONTRACTS WORKING DRAWINGS VARIATIONS 1, 4-18, 20-21 ENERGY REQUIREMENTS ENGINEERING FINAL CHECKING & VARIATION 22	This drawing forms part of the contract dated/...../..... Owner/...../..... Owner/...../..... Builder/...../.....	SLAB SETOUT JOB No: 880GIL DATE: 09.09.21 DRAWN: VN-AM REV: F A.11 OF 12
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PLUMBER NOTES:

1. DIMENSIONS ARE NOMINAL ONLY AND TAKEN FROM EXTERNAL WALLS.
2. PLUMBER TO CHECK PLUMBING FIXTURE SPECIFICATIONS FOR EXACT REQUIREMENTS.

LEGEND

- 'B' = BASIN
- 'BA' = BATH
- 'W' = WASTE
- 'T' = TOILET
- 'S' = SINK
- 'TR' = TROUGH
- 'C/DP' = CAVITY DOWNPIPE



PLUMBING SETOUT
1:100

ULTIMATE LIVING		LOCALITY: CITY OF MELVILLE		REV:	BY:	DATE:	SPEC:	AMENDMENTS:	This drawing forms part of the contract dated/...../..... Owner/...../..... Owner/...../..... Builder/...../.....	PLUMBING SETOUT		
		CLIENT NAME: M. KOPIC ADDRESS: LOT 880 (No.44A) Gilbertson Road, KARDINYA		A	AO	30.03.21		ISSUED FOR CONTRACTS		JOB No:	DATE:	DRAWN:
131 DIXON ROAD ROCKINGHAM WA 6168 PH: (08) 9599 1500 www.shelford.com.au				B	VN-AM	13.05.21	PC 30.03.21	WORKING DRAWINGS	880GIL	09.09.21	VN-AM	
				C	CB	20.07.21	PD REV 1	VARIATIONS 1, 4-18, 20-21	SHEET No:		REV:	
				D	CB	22.07.21		ENERGY REQUIREMENTS	A.12 OF 12		F	
				E	CB	10.08.21		ENGINEERING				
				F	CB	09.09.21		FINAL CHECKING & VARIATION 22				