



REV	VO #	DRN	DATE	CHK
01	P&C IT# 6-8	CC	27.08.21	CC

### WORKING DRAWINGS

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED: ...../...../.....

OWNER ..... WITNESS .....

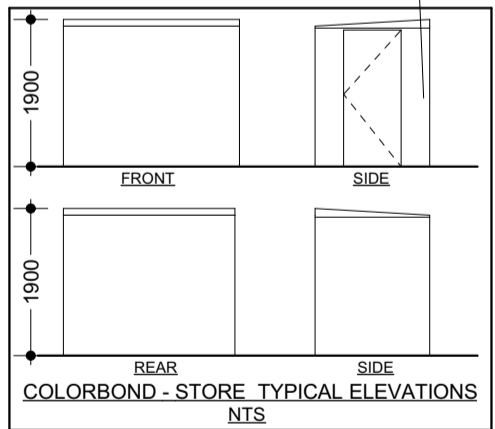
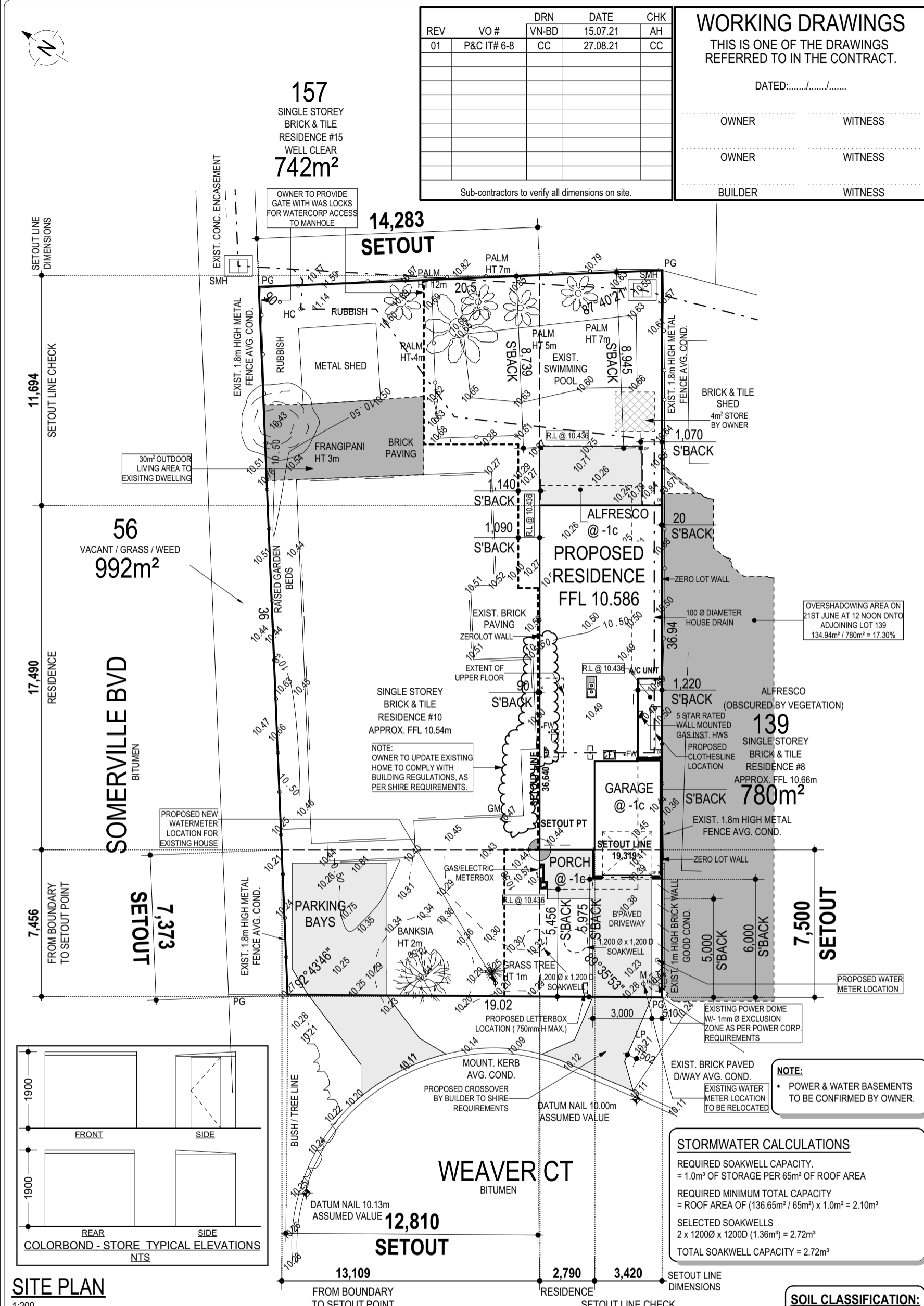
OWNER ..... WITNESS .....

BUILDER ..... WITNESS .....

Sub-contractors to verify all dimensions on site.

### SERVICE LEGEND

- POWER**
- CONSUMER POLE ○ CP
- POWER POLE ○ PP
- LIGHT POLE ○ LP
- STAY POLE ○ SP
- S. WIRE ANCHOR ○ SWA
- UNI PILLAR ⊗
- EXPOSED CABLES ○ EC
- GAS**
- PRE-LAID CONN. ○ GPL
- METER □ GM
- SEWERAGE**
- MANHOLE ○ SMH
- INSPECT. SHAFT ○ IS
- INSPECT. OPENING ○ IO
- HOUSE CONNECTION ○ HC
- HOUSE CONN. INDICATOR ○ HCI
- INSPECT. SHAFT CONNECTION ○ ISC
- TELE.**
- PIT □ TEL
- PRE-LAID CONN. ○ TPL
- DRAINAGE**
- MANHOLE ○ DMH
- GULLY PIT □
- LOT PIT ○ LDP
- HOUSE CONN. ○ DHC
- SIDE ENTRY PIT □
- COMBINATION ENTRY PIT □
- WATER**
- STOP VALVE ○ WSV
- HYDRANT ○ HY
- FLUSH POINT ○ FP
- WATER TAP ⊕ WTP
- WATER METER ⊕ M
- PRE-LAID CONN. ○ WPL
- SURVEY**
- DATUM NAIL ◆
- PEG FOUND ○ PF
- PEG DISTURBED ○ PD
- PEG GONE PG
- STAKE FOUND ○ STF



### SITE PLAN

1:200  
- GATE

LOCATION	GRANO m²	B'PAVED m²
Alfresco, Path & Porch	00.00	22.45
Garage, Drive & Crossover	19.14	26.75

**NOTE:**  
• INTERCONNECTED STORMWATER DISPOSAL BY BUILDER TO SHIRE REQUIREMENTS.

### SOIL CLASSIFICATION:

T.B.A

PLEASE REFER TO ENGINEER'S SITE CLASSIFICATION REPORT FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

STORMWATER CALCULATIONS	
REQUIRED SOAKWELL CAPACITY, = 1.0m³ OF STORAGE PER 65m² OF ROOF AREA	
REQUIRED MINIMUM TOTAL CAPACITY = ROOF AREA OF (136.65m² / 65m²) x 1.0m³ = 2.10m³	
SELECTED SOAKWELLS 2 x 1200Ø x 1200D (1.36m³) = 2.72m³	
TOTAL SOAKWELL CAPACITY = 2.72m³	

### LOT RECORDS

STATUS	LOT SERVICE			CONFIRM
	LOCATED	AVAILABLE	NO SERVICE	
WATER	✓			
SEWERAGE	✓			
GAS	✓			
TELE.		✓		✓
DRAINAGE				✓
POWER	U/G	✓		
	O/H			✓

AREA: ESTAB 03/1987  
COASTAL DISTANCE 1.5-10km  
LOT: 138  
AREA: 720 m²  
APPROX. AHD + 9.43m

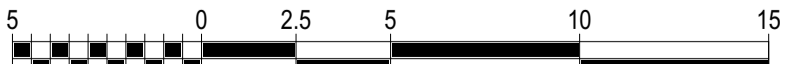
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY, HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

SEWER CONNECTION POSITION APPROXIMATE ONLY  
SEWER INVERT LEVEL 8.53  
SEWER BROUGHT UP 1.00  
DEPTH TO CONNECTION 1.61

TITLE : FEATURE SURVEY	LOT : 138 No. 10 WEAVER CT
CLIENT : PAUL BARBER	SUBURB : KARDINYA
BUILDER : RESIDENTIAL BUILDING WA PTY LTD	AUTHORITY : CITY OF MELVILLE
	P : 15849
	C/T : 1772/948

**LINKS SURVEYING**  
P: (08) 9354 8511  
W: www.linkssurveying.com.au  
E: info@linkssurveying.com.au

UBD REF : 327 L 11    GPS : S 32.05763°    E 115.82028°



NOTE: This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996	SHEET 15 of 17	BUILDER'S REF 41396	SURVEYED 12/02/21	SCALE @ A3 1:200	DWG No 41595-01-100	REV A
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Floor Areas - All Stories			
Floor	Location	Area	Perimeter
1st floor	HOUSE	94.08 m <sup>2</sup>	53.40 m
Ground floor	HOUSE	87.92	47.36
	GARAGE	20.76	19.36
	ALFRESCO	15.57	16.38
	PORCH	5.40	9.40
		<b>129.65 m<sup>2</sup></b>	<b>92.50 m</b>
		<b>223.73 m<sup>2</sup></b>	<b>145.90 m</b>

**Advertised Variations**

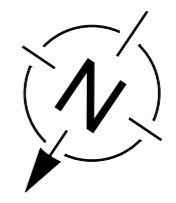
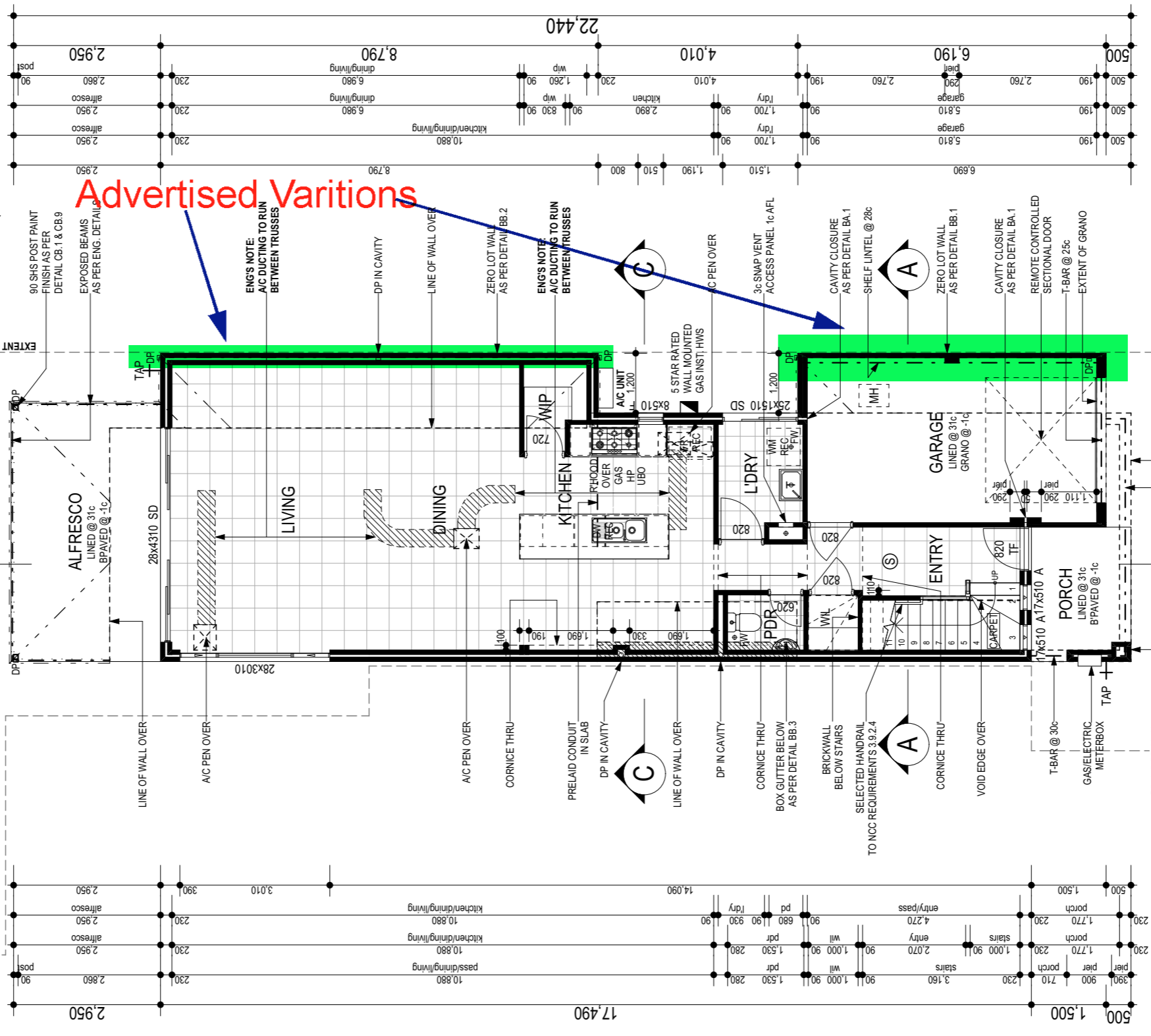
**NOTE:**

- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS
- WINDOW RESTRICTIONS TO ALL UPPER FLOOR BEDROOM WINDOWS AS PER NCC 3.9.2.5
- R4.0 BATTS CEILING INSULATION TO HOUSE (EXCLUDING AREAS UNDER SUSPENDED FLOOR), GARAGE & TO UNDERSIDE OF FIRST FLOOR AREAS THAT LIE OVER GARAGE & EXTERNAL AREAS.
- LOCATION OF DOWNPIPES IS INDICATIVE ONLY & MAY BE CHANGED AT BUILDERS DISCRETION AND MUST COMPLY WITH PART 3.5.2 VOLUME 2 OF THE BCA.

**WIND CLASSIFICATION AS PER A.S. 4055:**  
T.B.A. - when engineers site inspection report is available.

**(S) DETECTOR TO A.S. 3786:2014**  
DENOTES HARD-WIRED INTERCONNECTED SMOKE

**GROUND FLOOR PLAN**  
1:100



Roof Area Calculation - All Floors			
Floor	Pitch	Area (flat)	Area (pitched)
Ground floor	25° 38'	33.50	37.17
1st floor	30° 7'	102.37	118.36
		<b>102.37 m<sup>2</sup></b>	<b>118.36 m<sup>2</sup></b>
		<b>135.87 m<sup>2</sup></b>	<b>155.53 m<sup>2</sup></b>



(08) 9202 9200  
65 Walters Drive, Osbourne Park WA 6017  
P.O. Box 55 Westfield Shopping Centre, Innaloo WA 6918

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01	P&C IT# 6-8	CC	27.08.21	AH

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OWNER ..... WITNESS .....

OWNER ..... WITNESS .....

BUILDER ..... WITNESS .....

CLIENT:  
**P. A. & S. BARBER**

ADDRESS:  
**LOT 138 (#10)  
WEAVER COURT  
KARDINYA**

<b>SPECIAL</b>		REVISION <b>01</b>
MODEL N°	<b>90002</b>	DATE <b>27.08.21</b>
© COPYRIGHT		
SHEET N°	<b>1 OF 17</b>	
JOB N°	<b>41396</b>	

Sub-contractors to verify all dimensions on site.

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		VN-BD		AH
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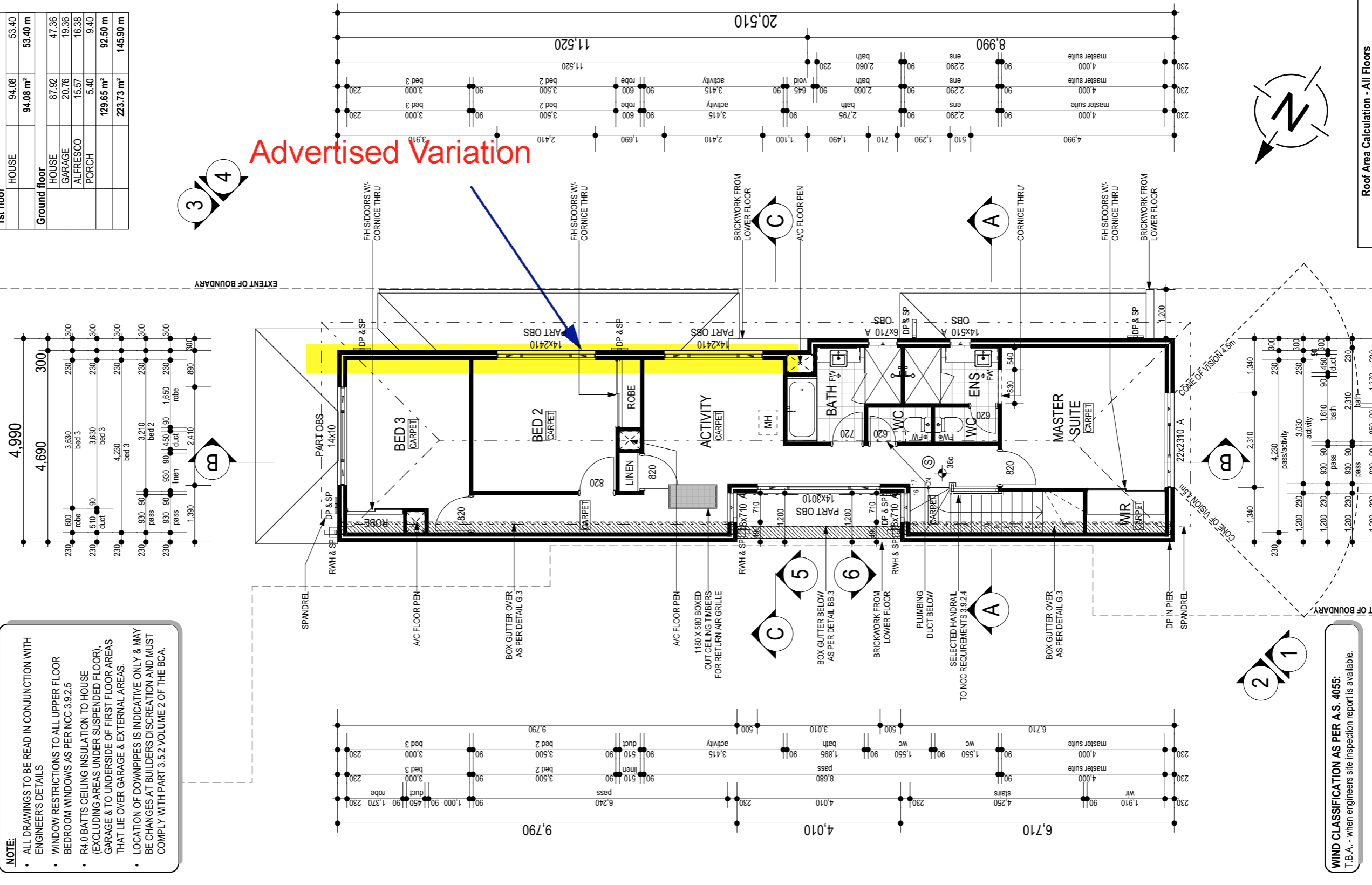
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MODEL N°	<b>90002</b>	DATE <b>27.08.21</b>
© COPYRIGHT		
SHEET N°	<b>2 OF 17</b>	
JOB N°	<b>41396</b>	

Sub-contractors to verify all dimensions on site.

Floor Areas - All Stories		
Floor	Location	Area
1st floor	HOUSE	94.08 m <sup>2</sup>
Perimeter		53.40
Ground floor		
	HOUSE	87.92
	GARAGE	20.76
	ALFRESCO	15.57
	PORCH	5.40
Perimeter		92.50 m
Total		223.73 m <sup>2</sup>

**Advertised Variation**



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**(S) DETECTOR TO A.S.-3786:2014-**

**UPPER FLOOR PLAN**  
1:100

Roof Area Calculation - All Floors		
Floor	Pitch	Area (flat)
Ground floor	25° 38'	33.50 m <sup>2</sup>
1st floor	30° 7'	102.37 m <sup>2</sup>
Total		135.87 m <sup>2</sup>





# SPECIAL

© COPYRIGHT

MODEL N°  
90002

**invogue**  
2-storey designs



(08) 9202 9200

65 Walters Drive, Osbourne Park WA 6017

P.O. Box 55 Westfield Shopping Centre, Innaloo WA 6918

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CLIENT:  
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ADDRESS:  
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WEAVER COURT  
KARDINYA**

SHEET N° **3** OF 17  
+ 5 ANG.

JOB N°  
**41396**

REVISION DATE  
**01 27.08.21**

