

LOT No: 95
 AREA : 951m²

NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

RETAINING WALL NOTE:
 HEIGHTS NOTED ARE NOMINAL ONLY & MUST BE ADJUSTED TO SUIT ACTUAL SITE LEVELS
 REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

RE-PEG RECOMMENDED PRIOR TO ANY NEW WORKS
 POSSIBLE UNDERMINING TO EXISTING RETAINING / SCREEN WALLS TO BE REVIEWED BY ENGINEER
 STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS (SOAKWELLS / SPOON DRAINS / COUNCIL DRAINS)

ADVERTISED VARIATION

BUILDER :
 CLIENT/s: PAMELA O'KEEFE

SITE ADDRESS:
 LOT 95 (#24) SEARLE ROAD, ADRROSS

LOCAL AUTHORITY : CITY OF MELVILLE

BUILDER DWN BY: DATE:
 SHEET No: 1 of JOB No: 64666

I/WE THE OWNER/S AGREE TO THE CONTENTS OF THIS DOCUMENT AND ALL INSTALLED SHEETS:

VARIATIONS - all sheets				
OWNER IS :	DETAILS	DWN	DATE	CHK

WITNESS :
 BUILDER :
 WITNESS :
 DATE :

SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: NOT SIGHTED
TELECOM: YES	WATER: YES (RHS)
SEWERAGE: YES, ABOUT 1.35m DEEP (TO INVERT)	
ROAD: BITUMEN	
KERB: SEMI MOUNTABLE (cracked)	
FOOTPATH: CONCRETE (cracked)	
VEGETATION: MEDIUM BUSH, TREES	
SOIL: SAND	
VIEWS: NIL	
REPEG: REQUIRED	REPEG TYPE: OLD SURVEY AREA

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED. PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES MUST BE CONTACTED TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES.

TITLE DETAILS

LOT NOs: 95	C/T VOL: 1159
PLAN: 5936	FOL: 730

LEGEND

T.B.M	TREE	HYDRANT
POWER DOME	PALM TREE	STOP VALVE
NBN	TREE STUMP	TAP
TELECOM PIT	POWER POLE	PRE-LAID WATER PIPE
COMMUNICATION PIT	STREET LAMP	WATER METER
FENCE END	GRATED DRAIN	SEWERAGE MANHOLE
PILLAR	SIDE ENTRY PIT	SEWERAGE MANHOLE
TOP OF RETAINING WALL	DRAINAGE MANHOLE	SEWERAGE INSPECTION LID

NOTES:
 ALL SEWER DETAILS PLOTTED FROM INFORMATION SUPPLIED BY WATER CORPORATION SPATIAL INFORMATION MANAGEMENT REFER TO THE DISCLAIMER NOTE ON WATER CORP E PLAN.
 BLOCK LOCATED MORE THAN 1 KILOMETRE FROM THE OCEAN.

PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING.
 LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.
 POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.
 CHECK TITLE FOR EASEMENTS, CAVEATS & COVENANTS

R. G. LESTER & ASSOCIATES
 LICENSED LAND & ENGINEERING SURVEYORS
 NORTH BEACH PLAZA
 SHOP 7 / 1 NORTH BEACH ROAD
 NORTH BEACH WA 6020
 PH: 9448 5009 FX: 9203 6722
 admin@lestersurveys.com.au

REF NO: 64666 FILE NO: 9426 DATE: 08.04.15 DRAWN: AC
SITE PLAN 1:200 at A3
 0 5 10 15

SITE COVERAGE

ZONED	R20
% ALLOWED	50%
SITE AREA	475.54m ²
SITE COV. AREA	207.48m ²
SITE COV. = 43.6%	

TWO STOREY RENDERED BRICK & TILE HOUSE (FL INACCESSIBLE)

POSITION OF FENCES & WALLS IN RELATION TO BOUNDARIES NOT GUARANTEED UNLESS REPEG CARRIED OUT AT TIME OF SURVEY.

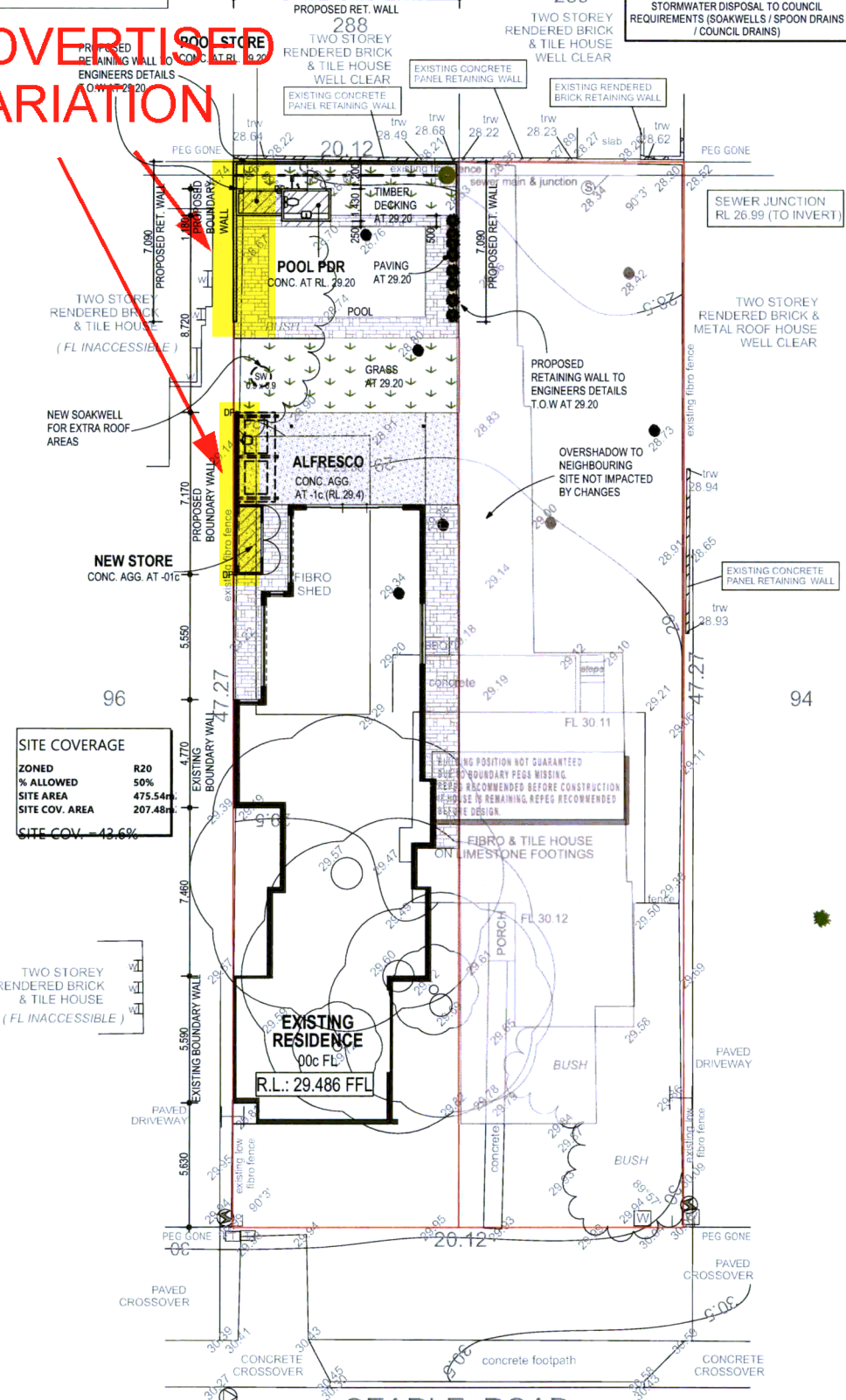
POSITION OF FEATURES IN RESPECT TO BOUNDARIES NOT GUARANTEED. PEGS MISSING AT TIME OF SURVEY.

Soak Well Type No.

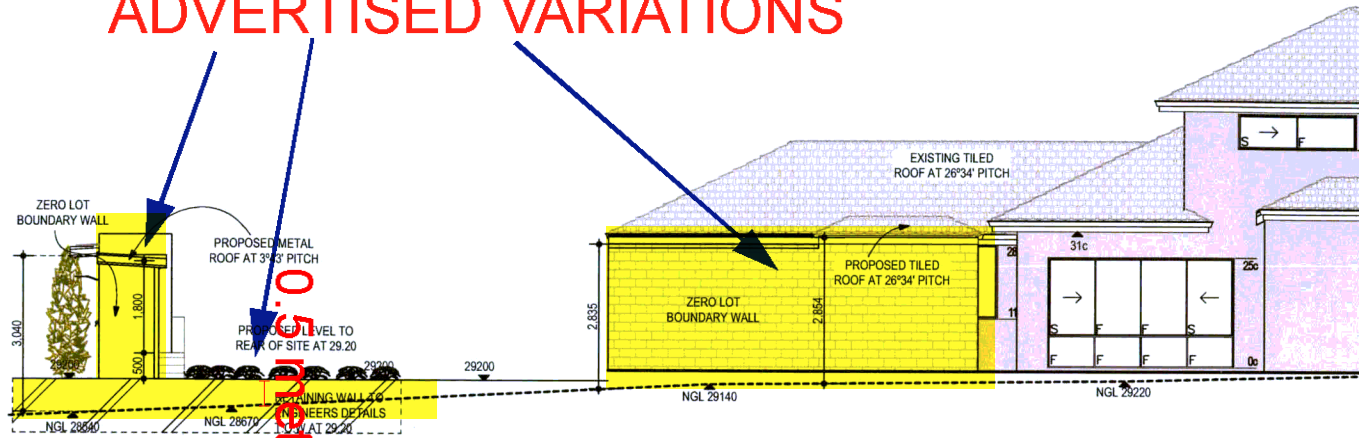
SW 900x900	1	0.6 m ³
Total Capacity		0.6 m³
Rooftop Area Feature Louvres	3.6 m ²	
Rooftop Area Pool Store and Powder	6.0 m ²	
Rooftop Area Store	3.8 m ²	
Total Area	13.4 m²	
Capacity Required (Area x 0.0125)	0.2 m ³	
Extra Capacity Provided	0.4 m ³	

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

AUSTRALIAN HEIGHT DATUM (AHD) DERIVED FROM SEWER MANHOLE M8709 LID LEVEL.



ADVERTISED VARIATIONS

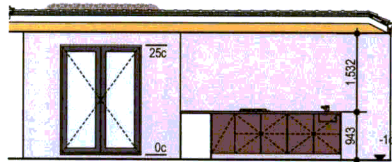


ELEVATION 4

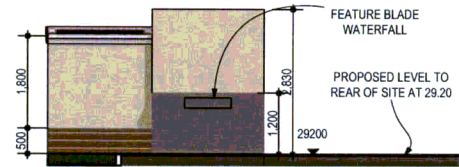
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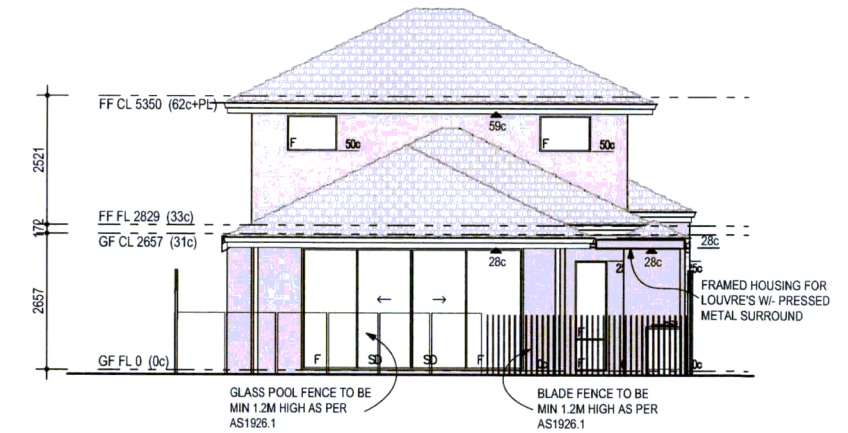
0.0 metres



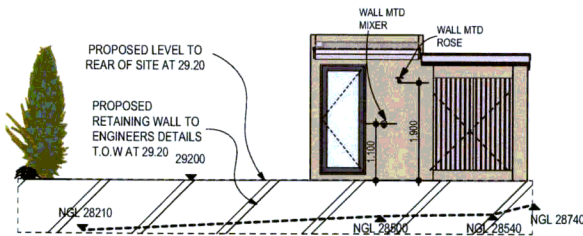
ELEVATION 5



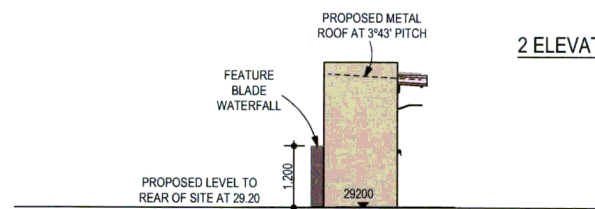
ELEVATION 6



2 ELEVATION 2



ELEVATION 7



ELEVATION 8



The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.

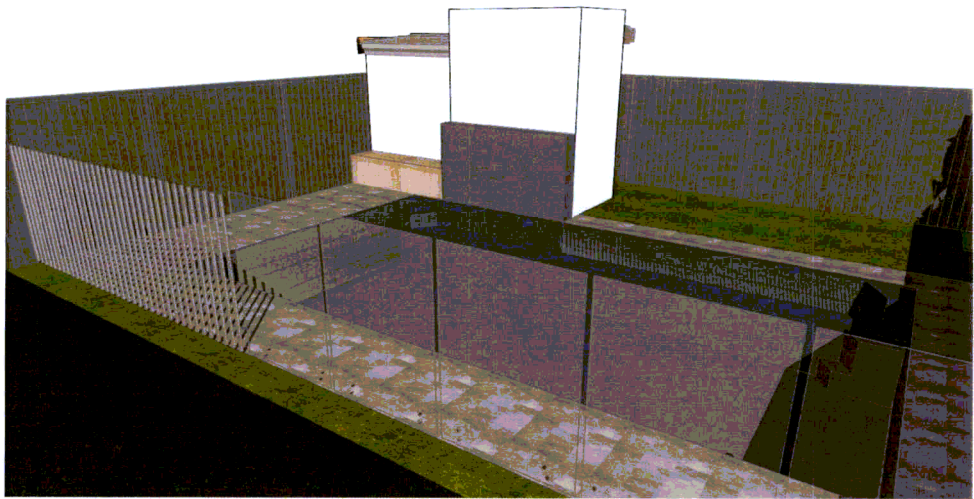
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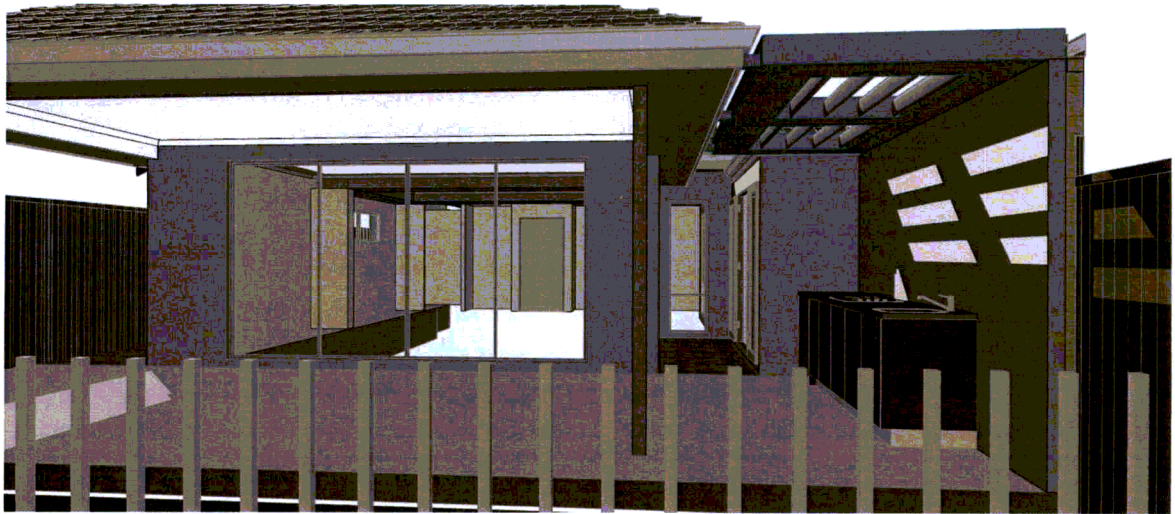
DRAWING NAME: ELEVATIONS 1	SHEET No: 4 OF 5	REVISION: H	JOB No: 21-0768
OWNER: _____ DATE: _____	CLIENT: COSTER ADDRESS: LOT 11 (#24B) SEARLE ROAD, ARDROSS CITY OF MELVILLE		
OWNER: _____ DATE: _____	DRAWN BY: BLEND	GATE DRAWN: SEP 2021	SCALE:
DESIGNER: _____ DATE: _____	NOTE TO SCALE ON AS SHEET		



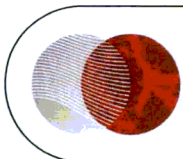
PERSPECTIVE 1



PERSPECTIVE 2



PERSPECTIVE 3



BLEND
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DRAWING NAME: PERSPECTIVES		SHEET No: 5 OF 5	REVISION: H	JOB No: 21-0768
OWNER _____	DATE _____	CLIENT: COSTER		
OWNER _____	DATE _____	ADDRESS: LOT 11 (#24B) SEARLE ROAD, APPROSS		
DESIGNER _____	DATE _____	CITY OF MELVILLE		
		DRAWN BY: BLEND	DATE DRAWN: SEP 2021	SCALE:

NOTE: TO SCALE ON A3 SHEET

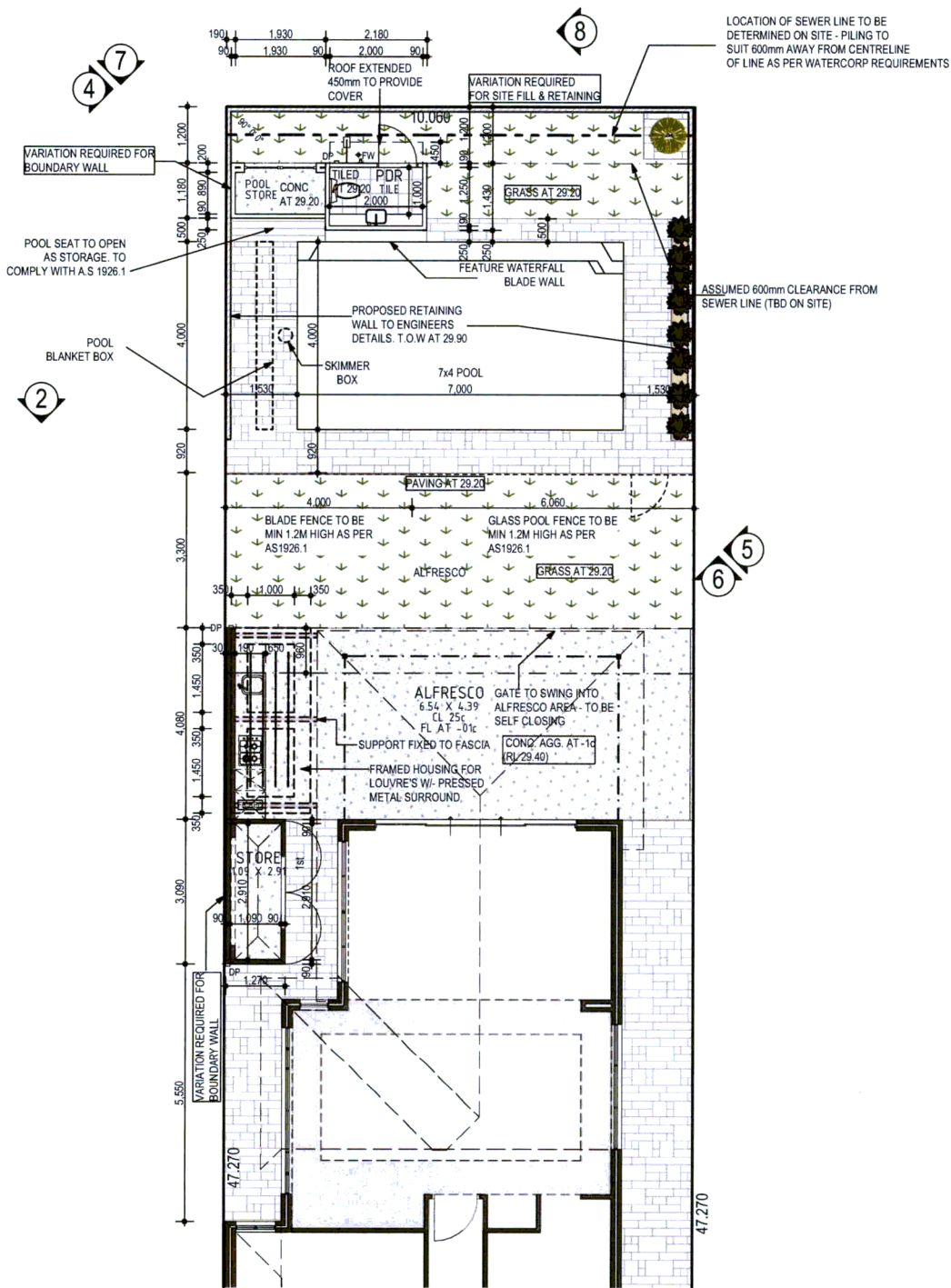


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PROPOSED POWDER ROOM AND PUMP ROOM TO BE CONSTRUCTED OF TIMBER FRAMED STUD TO BUILDERS SPEC.

PROPOSED STORE ROOM AND BBQ AREA TO BE CONSTRUCTED OF BRICK WITH RENDERED FINISH.



ID	AREA	M ²	PERIM.
01	EXISTING RESIDENCE	197.43	78.28
02	NEW STORE	3.92	8.72
02	POOL PDR	3.66	7.72
02	POOL STORE	2.39	6.41
04	ALFRESCO	34.72	25.18
	TOTAL	242.12 m²	126.31 m



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DRAWING NAME: GF FLOOR PLAN		SHEET No: 3 OF 5	REVISION: H	JOB No: 21-0768
OWNER: _____ DATE _____	CLIENT: COSTER			
OWNER: _____ DATE _____	ADDRESS: LOT 11 (#248) SEARLE ROAD, ARDROSS CITY OF MELVILLE			
DESIGNER: _____ DATE _____	DRAWN BY: BLEND	DATE DRAWN: SEP 2021	SCALE: 1:100	

NOTE: TO SCALE ON AS SHEET