

⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊖	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

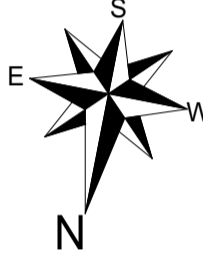
DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LOT MISCLOSE
 0.000 m

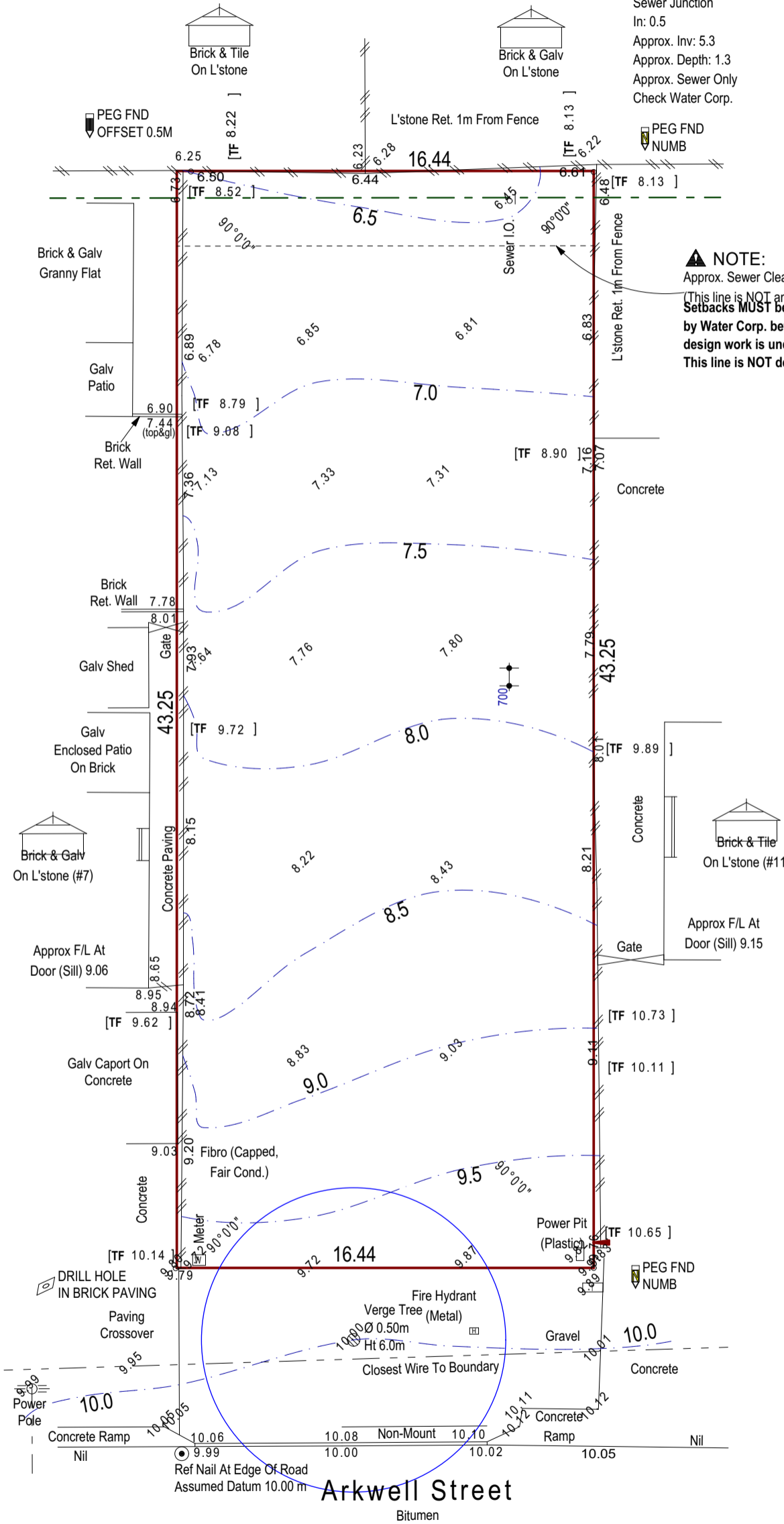
SOIL DESCRIPTION
 Sand
 Light Grass Cover



Scale 1:200

NOTE: Approximate Sewer Only
 Check Water Corporation For Junction
 Invert and Depth
 Sewer Junction
 In: 0.5
 Approx. Inv: 5.3
 Approx. Depth: 1.3
 Approx. Sewer Only
 Check Water Corp.

NOTE:
 Approx. Sewer Clearance Line
 (This line is NOT an easement)
 Setbacks MUST be confirmed
 by Water Corp. before any
 design work is undertaken.
 This line is NOT definitive.



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :
 OWNERDATE.....
 OWNERDATE.....
 BUILDERDATE.....

101

© Copyright 2011

BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102

REV:	DESCRIPTION:	INT:	DATE:
'2'	SV01 (ITEMS 1-9)	JB	24.11.20
'3'	ZS108 (ITEMS 1-32)	SA	11.03.21
'4'	VO2 (ITEMS 1-92)	SR	18.03.21
'5'	CONTRACT (CHARCOAL PLANS) PRESTART: VO4 (ITEMS 1-147) & VO5 (ITEMS 1-55), VO6 (ITEMS 1-10) & ENGINEERS	JB	21.04.21
'6'	CONCRETE ISSUE	CB	05.05.21
'7'	VO8 (ITEMS 1-2)	CB	14.05.21
'8'	VO3 (ITEMS 1-2) VO7 (ITEMS 1-20)	CB	16.06.21

CLIENT:
STEPHENS & RICH

SITE ADDRESS:
**LOT 146 (#9) ARKWELL STREET
 WILLAGEE WA 6156**

SALES: SH DRAWN: SR CHECKED: TK

REWARD PRIZE 8000

EXISTING SITE

DATE: 17/06/2021 SHEET N°:
 SCALE: 1:200 02 of 20

REVISION N°: 08 JOB N°:
 2009010

Symbol	Description
⊕	SEC Dome
⊖	Power Pole
⊗	Phone Pits
⊘	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

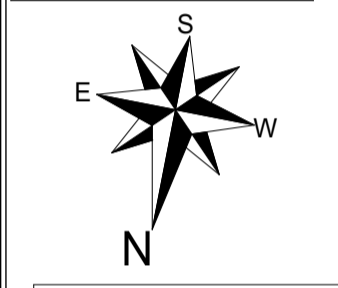
DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LOT MISCLOSE
 0.000 m

SOIL DESCRIPTION
 Sand
 Light Grass Cover



SITE COVERAGE

ZONED	R30
% ALLOWED	55%
SITE AREA	711.03m ²
SITE COV. AREA	198.89m ²

OPEN SPACE = 72.0%

Soak Well Type	No.	Capacity
SW 1200x900	1	1.0 m3
SW 1200x1200	2	2.7 m3
Total Capacity		3.7 m3
Roof Area GF		157.8 m2
Paved Area		39.8 m2
Roof Area UF		62.0 m2
Total Area		259.6 m2
Capacity Required (Area x 0.0125)		3.2 m3
Extra Capacity Provided		0.5 m3

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

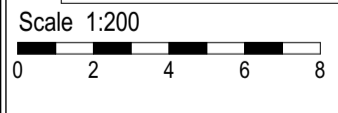
TERMITE TREATMENT NOTE:
 TERMITE TREATMENT WILL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3.2 OF THE NCC - BUILDING CODE OF AUSTRALIA AND AS3660.1:2014 THROUGH THE USE OF TERMITE RESISTANT MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS FOLLOWS:
 *CONCRETE SLAB IN ACCORDANCE WITH AS2870 & AS3600
 *MASONRY IN ACCORDANCE WITH AS3700
 *PRESERVATIVE TREATED TIMBER IN ACCORDANCE WITH AS1604 AND APPENDIX D OF AS3660.1:2014

SITE CLASSIFICATION : A
FOOTING DETAIL : R.T. ENG
WIND CATEGORY : N1
CORROSION CLASS : R3

CONCRETE NOTE:
 SET SHOWER RECESS'S DOWN 50mm (25mm BELOW 25mm SET DOWN) & FIT REFLEX VALVE. MAINTAIN REQUIRED SLAB THICKNESS TO ENGINEERS REQUIREMENTS

STORMWATER NOTE:
 STORMWATER DISPOSAL TO BUILDER'S SPECIFICATIONS.

LOCATION OF SERVICES



POOL PRELAY NOTE:
 3x 150 PVC CONDUITS LAID UNDER SLAB AS SHOWN. EACH END TO BE CAPPED AND MARKED ON SITE.



BUILDERS REGISTRATION N° 13521
 9 SANGIORGIO COURT
 OSBORNE PARK WA 6017
 Phone (08) 9208 9100 Fax (08) 9208 9102
12,875

VARIATIONS:

REV.	DESCRIPTION:	INT.	DATE:
'2'	SV01 (ITEMS 1-9)	JB	24.11.20
'3'	ZS108 (ITEMS 1-32)	SA	11.03.21
'4'	VO2 (ITEMS 1-92)	SR	18.03.21
'5'	CONTRACT (CHARCOAL PLANS) PRESTART: V04 (ITEMS 1-147) & V05 (ITEMS 1-55), V06 (ITEMS 1-10) & ENGINEERS	JB	21.04.21
'6'	CONCRETE ISSUE	CB	05.05.21
'7'	VO8 (ITEMS 1-2)	CB	14.05.21
'8'	VO3 (ITEMS 1-2) V07 (ITEMS 1-20)	CB	16.06.21

CLIENT:
STEPHENS & RICH

SITE ADDRESS:
**LOT 146 (#9) ARKWELL STREET
 WILLAGEE WA 6156**

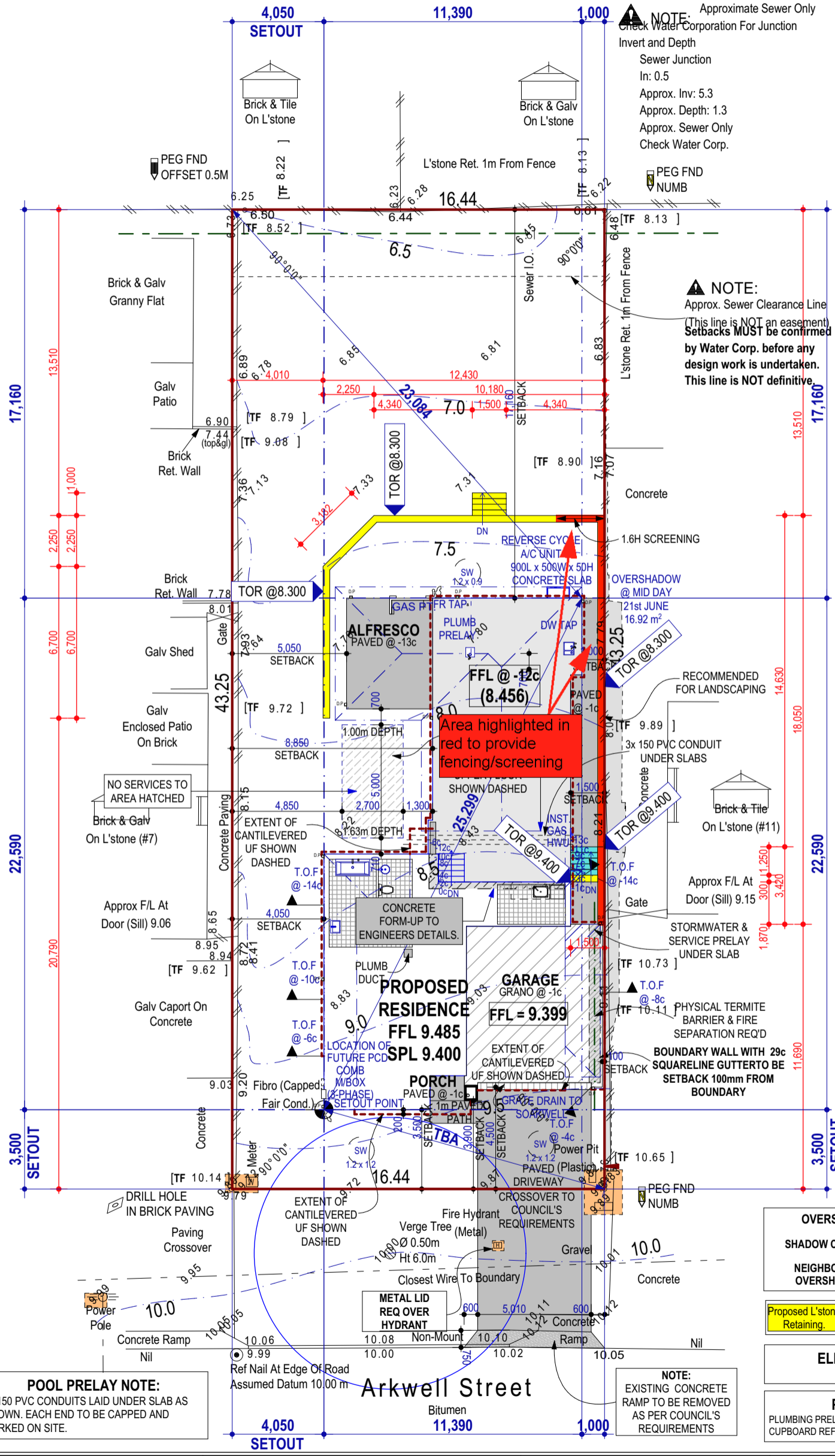
SALES: SH **DRAWN:** SR **CHECKED:** TK

REWARD PRIZE 8000

SITE PLAN

DATE: 17/06/2021 SHEET N°:
 SCALE: 1:100, 1:200 **03** of 20

REVISION N°: **08** JOB N°: **2009010**



NOTE: Approximate Sewer Only
 Check Water Corporation For Junction
 Invert and Depth
 Sewer Junction
 In: 0.5
 Approx. Inv: 5.3
 Approx. Depth: 1.3
 Approx. Sewer Only
 Check Water Corp.

NOTE:
 Approx. Sewer Clearance Line
 (This line is NOT an easement)
Setbacks MUST be confirmed by Water Corp. before any design work is undertaken.
 This line is NOT definitive

OVERSHADOWING DIAGRAM:
 SHADOW CAST ON JUNE 21ST AT 12 PM
 NEIGHBOUR LOT 145 SIZE: 711.00m²
 OVERSHADOWING: 16.92m² = 2.38%

Proposed L'stone Retaining. Limestone Retaining (required)

ELECTRICAL NOTE:
 3 - PHASE POWER

PRELAY NOTE:
 PLUMBING PRELAY REQUIRED FOR ISLAND CUPBOARD REFER TO FLOOR PLAN.

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

GF CL @ 31c THRU'OUT
ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE
CAVITY BRICK CONST. UNLESS NOTED OTHERWISE.
90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS
(NO PLASTER)

EXTENT OF RENDER AS MARKED.
REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME.
CUT B/WK DOWN TO SUIT BENCHTOP SELECTION.
TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS
TO BE FLASHED WITH ALCOOR FLASHING AS PER A.5

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR 'TRADITIONAL' ROOF
FRAME CONSTRUCTION
CONFORMING TO A.S. 1684. U.N.O
TRIM OUT CEILING JOISTS TO
550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR
OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE
INDICATIVE ONLY & MAY CHANGE AT THE
DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL
450W
ALL LINENS, BUILT-IN PTYS, INTERNAL STORES
TO HAVE 4X SHELVES @ 400 CTS 450W
BROOM & CLOAK CUP'DS TO HAVE 1X SHELF
ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

OTHER NOTES

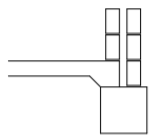
PROVIDE R4.0 INSULATION TO CEILING THRU'
OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED
'CONSTRUCTION ISSUE' IF DWGS ARE NOT
STAMPED, PLEASE CONTACT THE OFFICE
BEFORE PROCEEDING WITH ORDERING,
MANUFACTURE, OR ON-SITE CONSTRUCTION

UPPER FLOOR TO BE TIED DOWN TO GROUND
FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:

EXTERNAL BRICKS TO BE 290 X
162 X 90 (1st external course to be 2
course bricks laid in THIRD BOND)



TERMITE TREATMENT NOTE:

TERMITE TREATMENT WILL BE CARRIED OUT IN
ACCORDANCE WITH PART 3.1.3.2 OF THE NCC -
BUILDING CODE OF AUSTRALIA AND
AS3660.1:2014
THROUGH THE USE OF TERMITE RESISTANT
MATERIALS FOR ALL PRIMARY BUILDING ELEMENTS, AS
FOLLOWS:
*CONCRETE SLAB IN ACCORDANCE WITH
AS2870 &
AS3600
*MASONRY IN ACCORDANCE WITH AS3700
*PRESERVATIVE TREATED TIMBER IN
ACCORDANCE
WITH AS1604 AND APPENDIX D OF
AS3660.1:2014

INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD: CFTW
GROUND FLOOR: Double Brick, Slab on Ground
UPPER FLOOR SLAB: Concrete Truss Flooring System
UPPER FLOOR WALLS: Timber Wall, 100mm Thermal Clad,
Selected Cladding
ROOF TYPE: Colorbond
INTERNAL PLASTER: Float & Set to GF, Drywall to UF

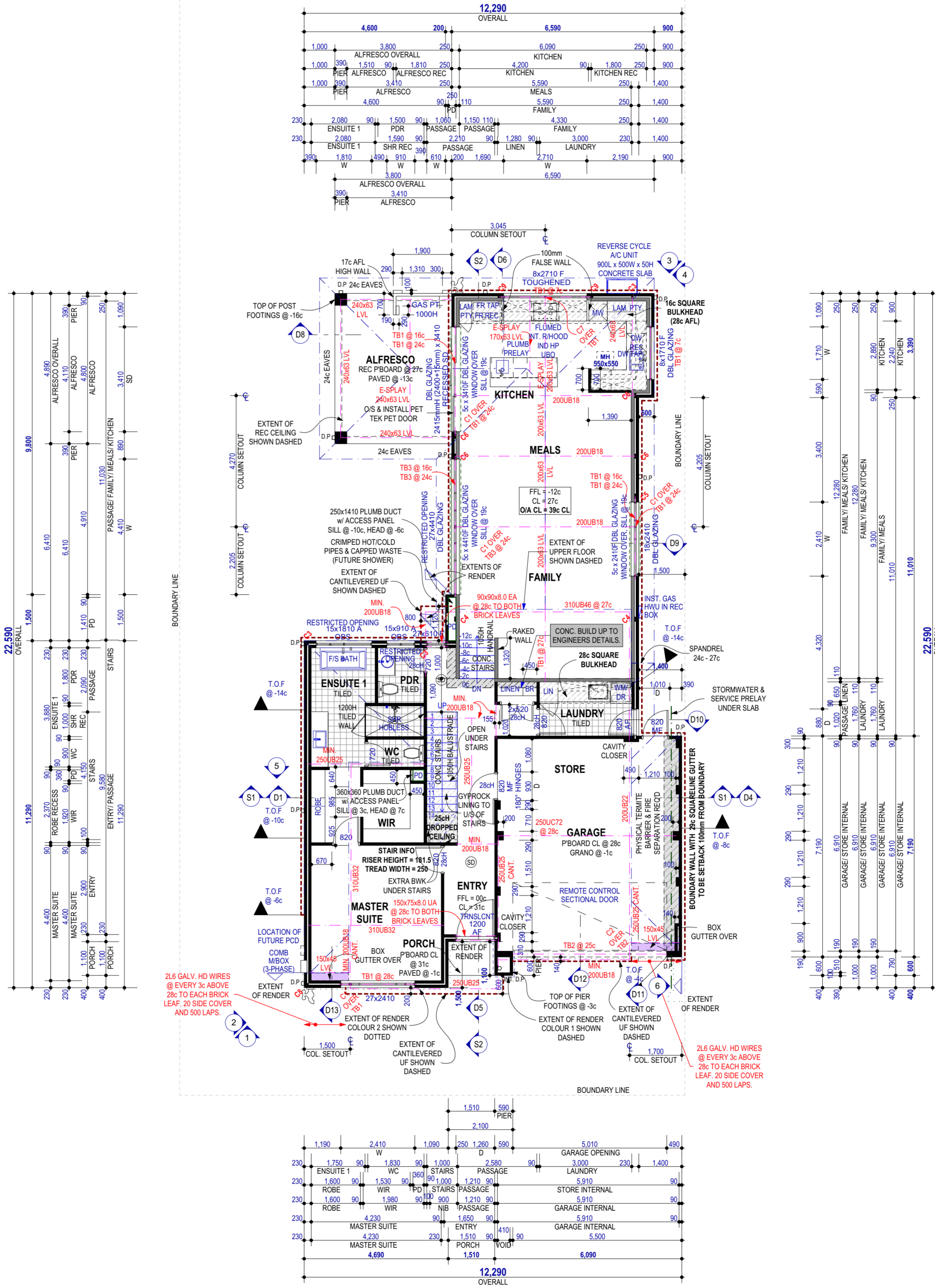
SITE CLASSIFICATION : A
FOOTING DETAIL : R.T. ENG
WIND CATEGORY : N1
CORROSION CLASS : R3

SC OVER NOTE:

CONFIRM COLUMN LOCATION WITH SHOP DRAWINGS.

RENDER NOTE:

EXTENT OF RENDER COLOUR 1 TO GF FRONT
PIER, E2 & E3 PLUMBING DUCT WALLS
& ENTIRE UF
EXTENT OF RENDER COLOUR 2 GF FRONT
ELEVATION & LHS RETURN
AS SHOWN ON PLANS.



THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....

101
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK, WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

REV.	DESCRIPTION:	INT.	DATE:
1	SV01 (ITEMS 1-8)	JB	24.11.20
2	23108 (ITEMS 1-32)	SA	11.03.21
3	V02 (ITEMS 1-92)	SR	18.03.21
4	CONTRACT (CHARCOAL PLANS)	SR	21.04.21
5	PRE-START: V04 (ITEMS 1-147) & V05 (ITEMS 1-55), V06 (ITEMS 1-10) & ENGINEERS CONCRETE ISSUE	CB	05.05.21
6	V08 (ITEMS 1-2)	CB	14.05.21
7	V03 (ITEMS 1-2) V07 (ITEMS 1-20)	CB	16.06.21

CLIENT: **STEPHENS & RICH**
SITE ADDRESS: **LOT 146 (#9) ARKWELL STREET WILLAGEE WA 6156**
SALES: SH DRAWN: SR CHECKED: TK

REWARD PRIZE 8000
GROUND FLOOR PLAN (A2)
DATE: 17/06/2021 SHEET N°: 06 of 20
SCALE: 1:1, 1:100
REVISION N°: 08 JOB N°: 2009010

AREAS		
Name	Area	Perimeter
HOUSE - GROUND	153.802	67.955
HOUSE - UPPER	101.824	44.020
GARAGE/STORE	42.771	26.560
ALFRESCO	18.582	17.380
PORCH	2.015	6.400
TOTAL	318.994 m²	

UF CL @ 28c THRU'OUT

ALL UNLESS OTHERWISE NOTED

EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL DIMENSIONS ARE TO PRE-FINISHED WALLS (NO PLASTER)

EXTENT OF RENDER AS MARKED. REFER TO ELEVATIONS.

BRICKLAYER NOTE

RUN KITCHEN BENCHTOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUIT BENCHTOP SELECTION. TOP OF PIER FTG @ -03c U.N.O

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCOR FLASHING AS PER A.S

ROOF CARPENTER NOTE

NOTE: PLANS DETAILED FOR "TRADITIONAL" ROOF FRAME CONSTRUCTION CONFORMING TO A.S. 1684. U.N.O

TRIM OUT CEILING JOISTS TO 550 X 550 AT MANHOLE LOCATION

ENSURE ROOFING MEMBERS ARE KEPT CLEAR OF RANGEHOOD FLUE

PLUMBER NOTE

DOWNPIPE & FLOOR WASTE LOCATIONS ARE INDICATIVE ONLY & MAY CHANGE AT THE DISCRETION OF THE PLUMBER.

COLD WATER TAP FOR DISHWASHER RECESS.

FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W

ALL LINENS, BUILT-IN P'TRYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W

BROOM & CLOAK CUP'DS TO HAVE 1X SHELF

ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

UPPER FLOOR CONSTRUCTION NOTE

- ALLOW EXTRA STUDWORK FOR:
- WC ROLL HOLDER @ 750mm
 - TOWEL RAIL @ 1000mm
 - TOWEL RING @ 1200mm
 - TOILET @ 750mm

UPPER FLOOR HEIGHTS

FFL = 3086mm
CL = 5521mm
HEIGHT O/A = 2435mm (28c)

UPPER FLOOR GLAZING

UPPER FLOOR WINDOWS TO COMPLY WITH BCA 3.9.2.5

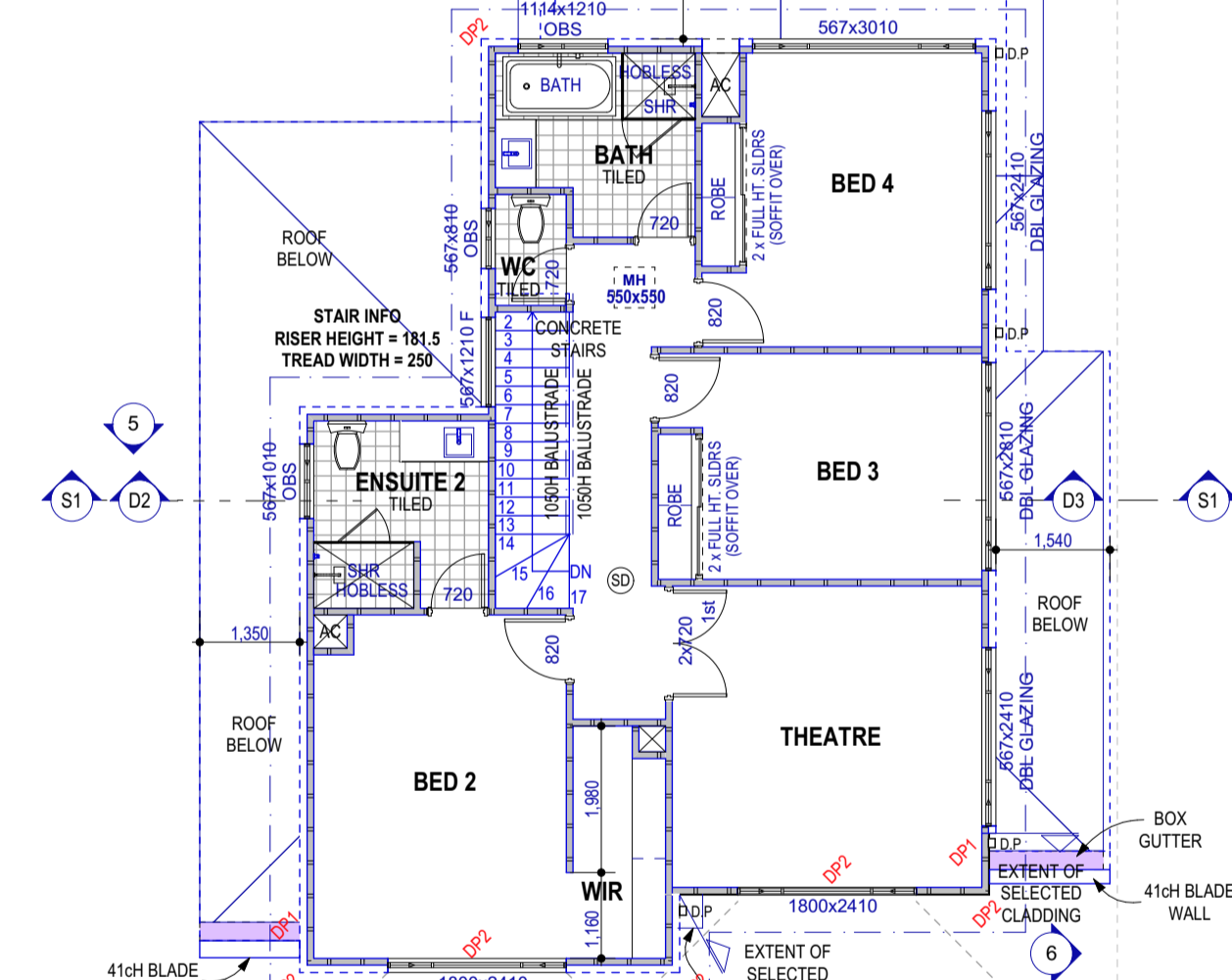
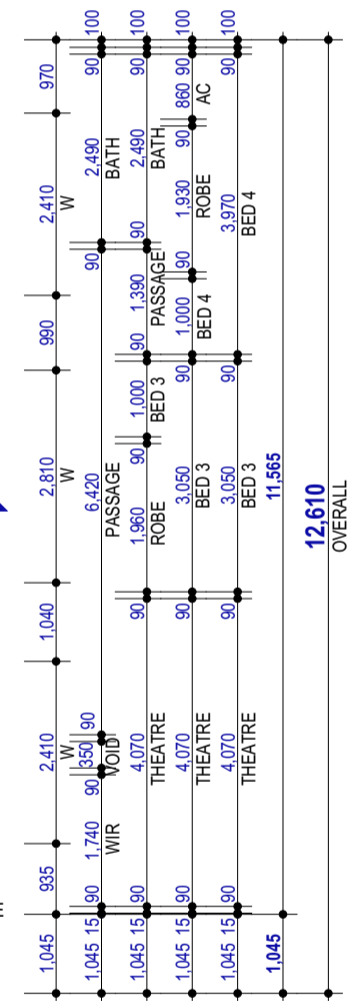
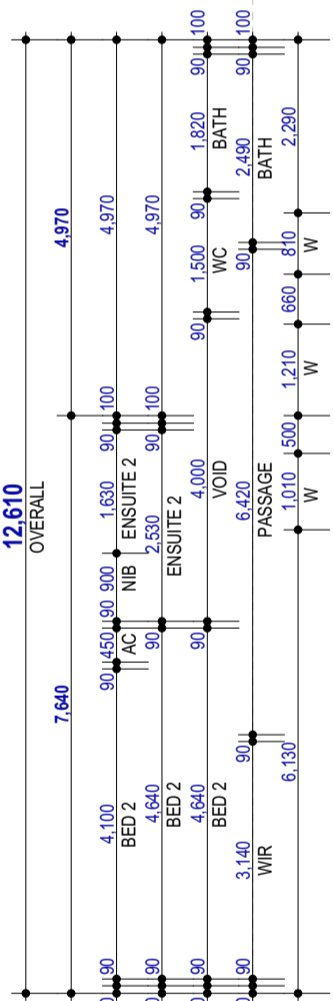
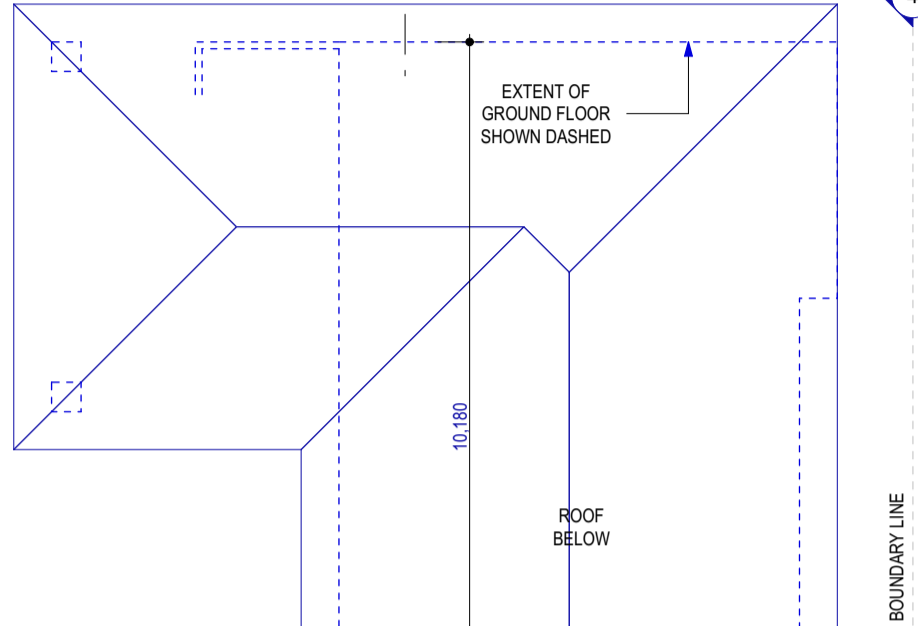
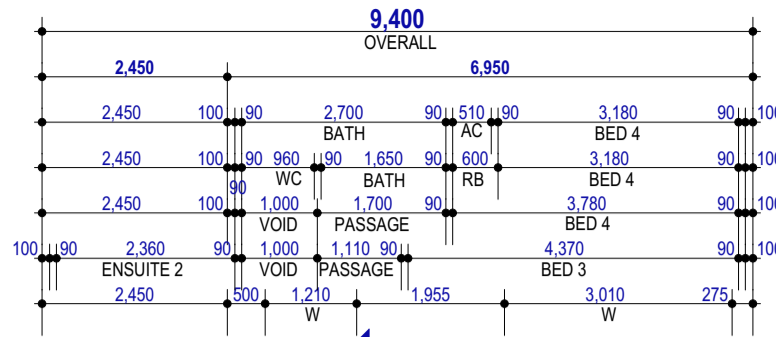
INTERNAL DOORS NOTE:

ALL INTERNAL DOORS TO BE 2040H (25c) U.N.O

BUILD METHOD:	CFTW
GROUND FLOOR:	Double Brick, Slab on Ground
UPPER FLOOR SLAB:	Concrete Truss Flooring System
UPPER FLOOR WALLS:	Timber Wall, 100mm Thermal Clad, Selected Cladding
ROOF TYPE:	Colorbond
INTERNAL PLASTER:	Float & Set to GF, Drywall to UF

RENDER NOTE:

EXTENT OF RENDER COLOUR 1 TO GF FRONT PIER, E2 & E3 PLUMBING DUCT WALLS & ENTIRE UF.
EXTENT OF RENDER COLOUR 2 GF FRONT ELEVATION & LHS RETURN AS SHOWN ON PLANS.



FIXING CARPENTER NOTE

ALL ROBES TO HAVE 1X SHELF & HANGING RAIL 450W

ALL LINENS, BUILT-IN P'TRYS, INTERNAL STORES TO HAVE 4X SHELVES @ 400 CTS 450W

BROOM & CLOAK CUP'DS TO HAVE 1X SHELF

ALL TOP SHELVES @ 1750 AFL

FLOOR COVERINGS: REFER TO ADDENDA

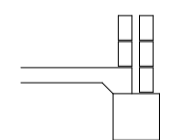
OTHER NOTES

PROVIDE R4.0 INSULATION TO CEILING THRU' OUT HOUSE AND GARAGE ONLY TO BCA REQ.

ALL CONSTRUCTION DWGS MUST BE STAMPED "CONSTRUCTION ISSUE" IF DWGS ARE NOT STAMPED, PLEASE CONTACT THE OFFICE BEFORE PROCEEDING WITH ORDERING, MANUFACTURE, OR ON-SITE CONSTRUCTION

UPPER FLOOR TO BE TIED DOWN TO GROUND FLOOR AS PER ENGINEERS SPECIFICATION

BRICKLAYER NOTE:
EXTERNAL BRICKS TO BE 290 X 162 X 90 (1st external course to be 2 course bricks laid in THIRD BOND)



AREAS		
Name	Area	Perimeter
HOUSE - GROUND	153.802	67.955
HOUSE - UPPER	101.824	44.020
GARAGE/STORE	42.771	26.560
ALFRESCO	18.582	17.380
PORCH	2.015	6.400
TOTAL	318.994 m²	

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNERDATE.....
OWNERDATE.....
BUILDERDATE.....

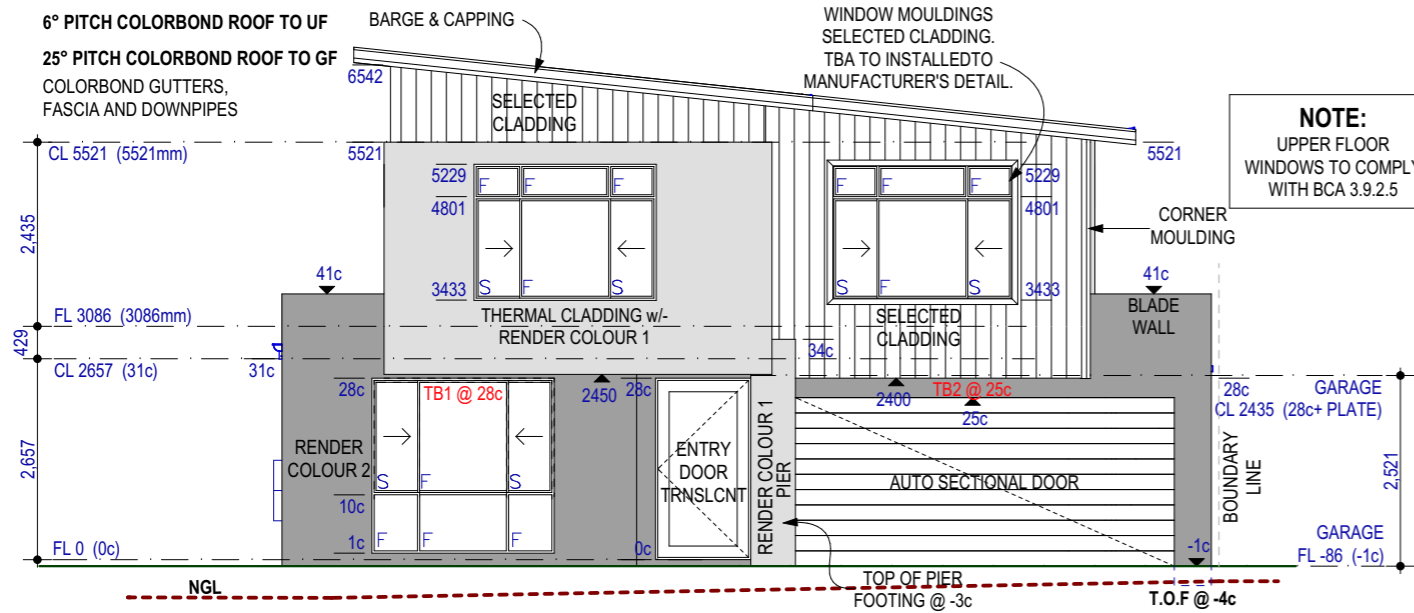
101
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

VARIATIONS:

REV:	DESCRIPTION:	INT:	DATE:
'2'	SV01 (ITEMS 1-9)	JB	24.11.20
'3'	ZS108 (ITEMS 1-32)	SA	11.03.21
'4'	VO2 (ITEMS 1-92)	SR	18.03.21
'5'	CONTRACT (CHARCOAL PLANS) PRESTART: VO4 (ITEMS 1-147) & VO5 (ITEMS 1-55), VO6 (ITEMS 1-10) & ENGINEERS	JB	21.04.21
'6'	CONCRETE ISSUE	CB	05.05.21
'7'	VO8 (ITEMS 1-2)	CB	14.05.21
'8'	VO3 (ITEMS 1-2) VO7 (ITEMS 1-20)	CB	16.06.21

CLIENT:
STEPHENS & RICH
SITE ADDRESS:
**LOT 146 (#9) ARKWEEL STREET
WILLAGEE WA 6156**
SALES: SH DRAWN: SR CHECKED: TK

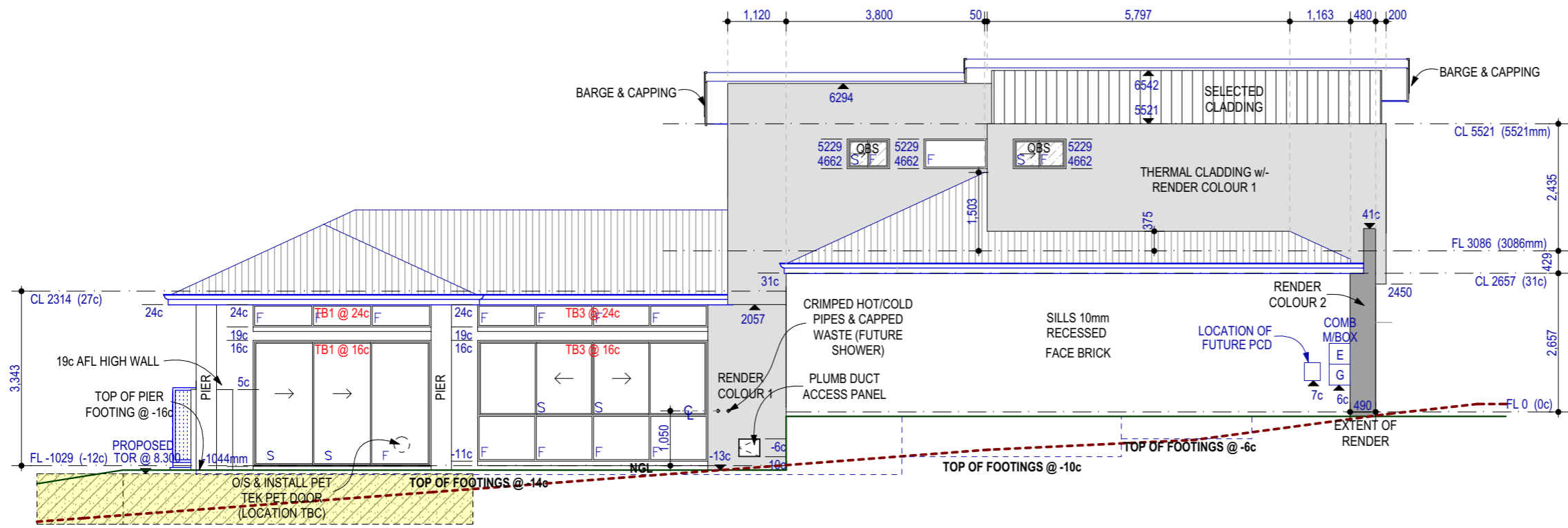
REWARD PRIZE 8000
UPPER FLOOR PLAN
DATE: 17/06/2021 SHEET N°:
SCALE: 1:1,100 07 of 20
REVISION N°: 08 JOB N°: 2009010



NOTE:
UPPER FLOOR
WINDOWS TO COMPLY
WITH BCA 3.9.2.5

RENDER NOTE:
EXTENT OF RENDER COLOUR 1 TO GF FRONT
PIER, E2 & E3 PLUMBING DUCT WALLS
& ENTIRE UF.
EXTENT OF RENDER COLOUR 2 GF FRONT
ELEVATION & LHS RETURN
AS SHOWN ON PLANS.

1 ELEVATION
1:100



2 ELEVATION
1:100

REWARD PRIZE 8000
ELEVATIONS 01
DATE: 17/06/2021
SCALE: 1:100
REVISION N°: 08
JOB N°: 2009010

CLIENT: **STEPHENS & RICH**
SITE ADDRESS:
**LOT 146 (#9) ARKWELL STREET
WILLAGEE WA 6156**
SALES: SH
DRAWN: SR
CHECKED: TK

VARATIONS:	DESCRIPTION:	DATE:	INT:
REV: 1	SVO1 (ITEMS 1-9)	24.11.20	JB
REV: 2	ZS108 (ITEMS 1-32)	11.03.21	SA
REV: 3	VO2 (ITEMS 1-92)	18.03.21	SR
REV: 4	CONTRACT (CHARCOAL PLANS)	21.04.21	JB
REV: 5	PRESTART: V04 (ITEMS 1-147) & V05 (ITEMS 1-55), V06 (ITEMS 1-10) & ENGINEERS	05.05.21	CB
REV: 6	CONCRETE ISSUE	14.05.21	CB
REV: 7	V08 (ITEMS 1-2)	16.06.21	CB
REV: 8	V03 (ITEMS 1-2) \ V07 (ITEMS 1-20)		CB

© Copyright 2011

101

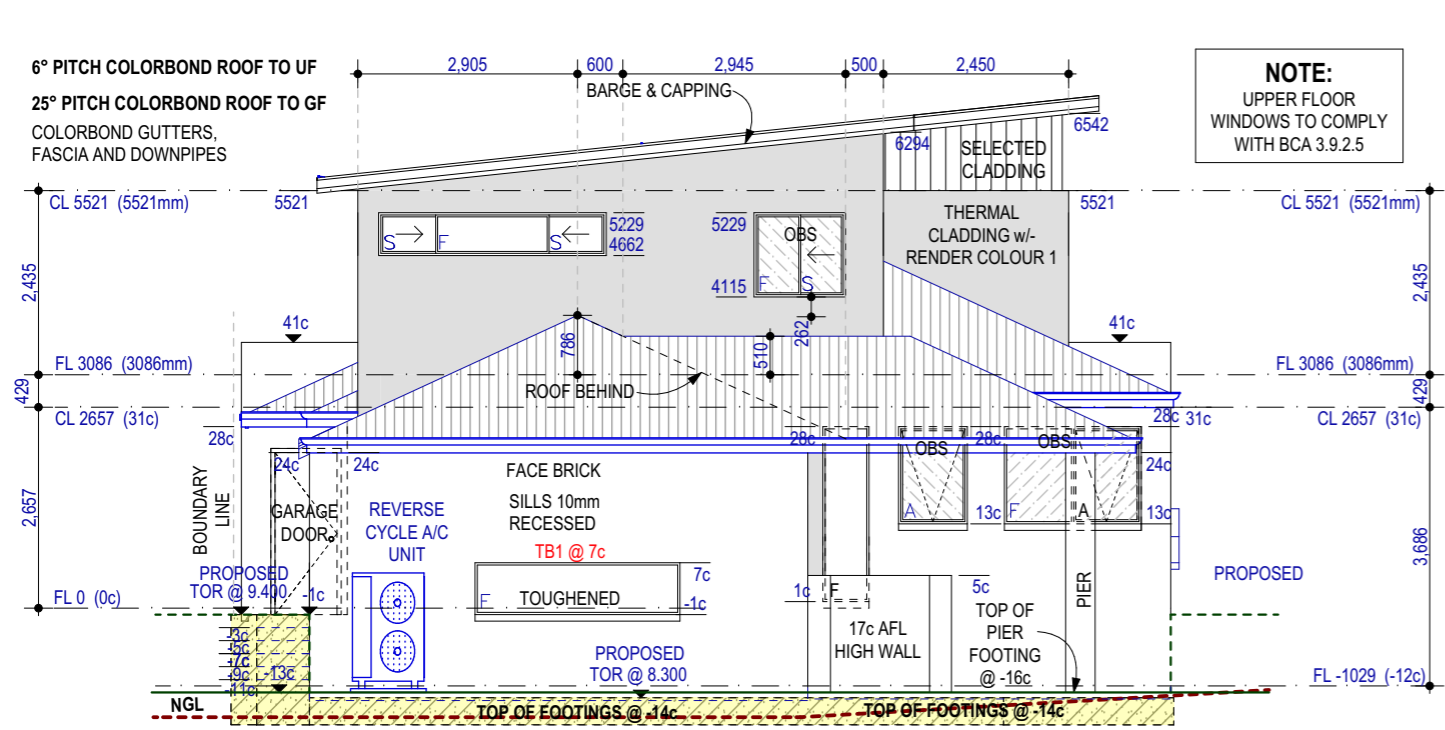
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

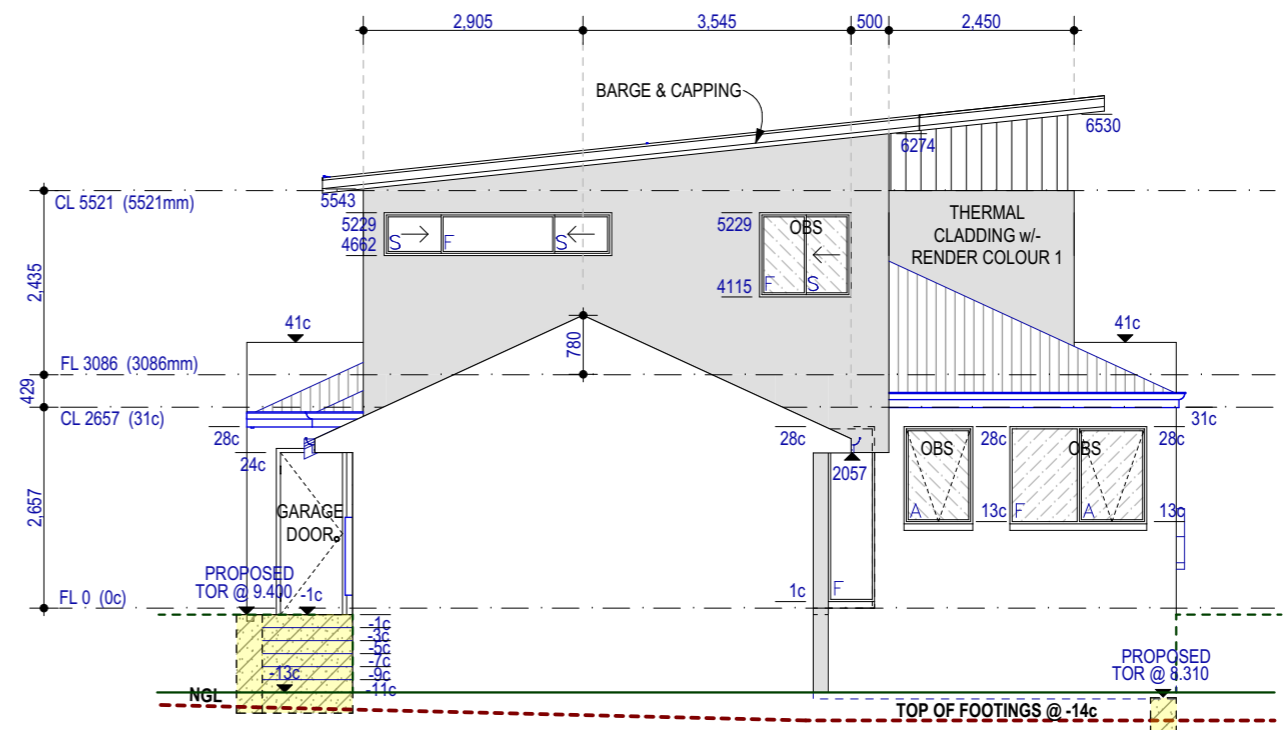
OWNER DATE

OWNER DATE

BUILDER DATE



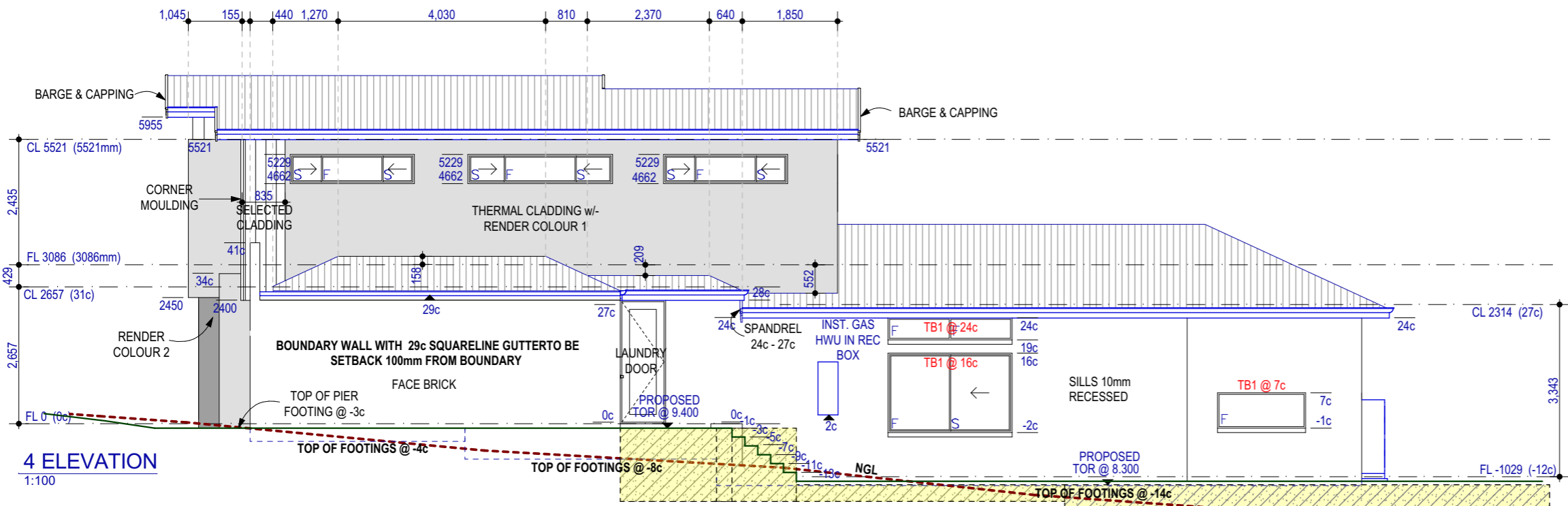
3 ELEVATION
1:100



5 ELEVATION
1:100

RENDER NOTE:
EXTENT OF RENDER COLOUR 1 TO GF FRONT PIER, E2 & E3 PLUMBING DUCT WALLS & ENTIRE UF.
EXTENT OF RENDER COLOUR 2 GF FRONT ELEVATION & LHS RETURN AS SHOWN ON PLANS.

BRICK LAYER NOTE:
RUN KITCHEN/SCULLERY BENCHTOP UNDER WINDOW FRAME. CUT BWK DOWN TO SUIT BENCHTOP SELECTION.



4 ELEVATION
1:100

REWARD PRIZE 8000
ELEVATIONS 02

CLIENT: **STEPHENS & RICH**
SITE ADDRESS: **LOT 146 (#9) ARKWELL STREET WILLAGEE**

DATE: 24.11.20
INT: JB
DESCRIPTION: SVO1 (ITEMS 1-9)
REV: 2' ZS108 (ITEMS 1-32)
3' V02 (ITEMS 1-92)
4' CONTRACT (CHARCOAL PLANS)
5' PRESTART: V04 (ITEMS 1-147) & V05 (ITEMS 1-55), V06 (ITEMS 1-10) & ENGINEERS
6' V08 (ITEMS 1-2)
7' V08 (ITEMS 1-2)
8' V03 (ITEMS 1-2) V07 (ITEMS 1-20)

DATE: 17/06/2021
SCALE: 1:100
SHEET N°: 09 of 20

REVISION N°: 08
JOB N°: 2009010

SALES: SH
DRAWN: SR
CHECKED: TK

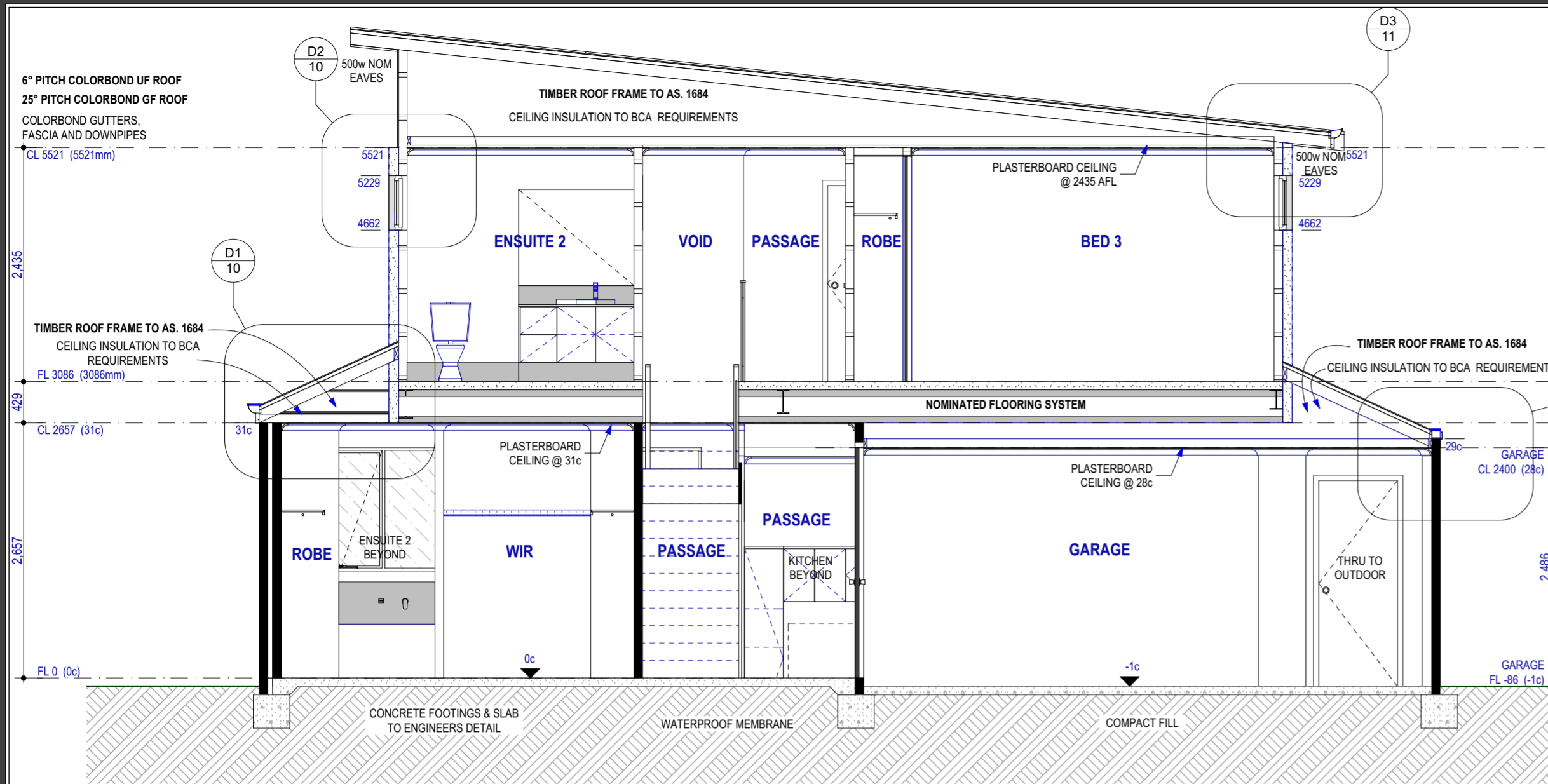
© Copyright 2011

101

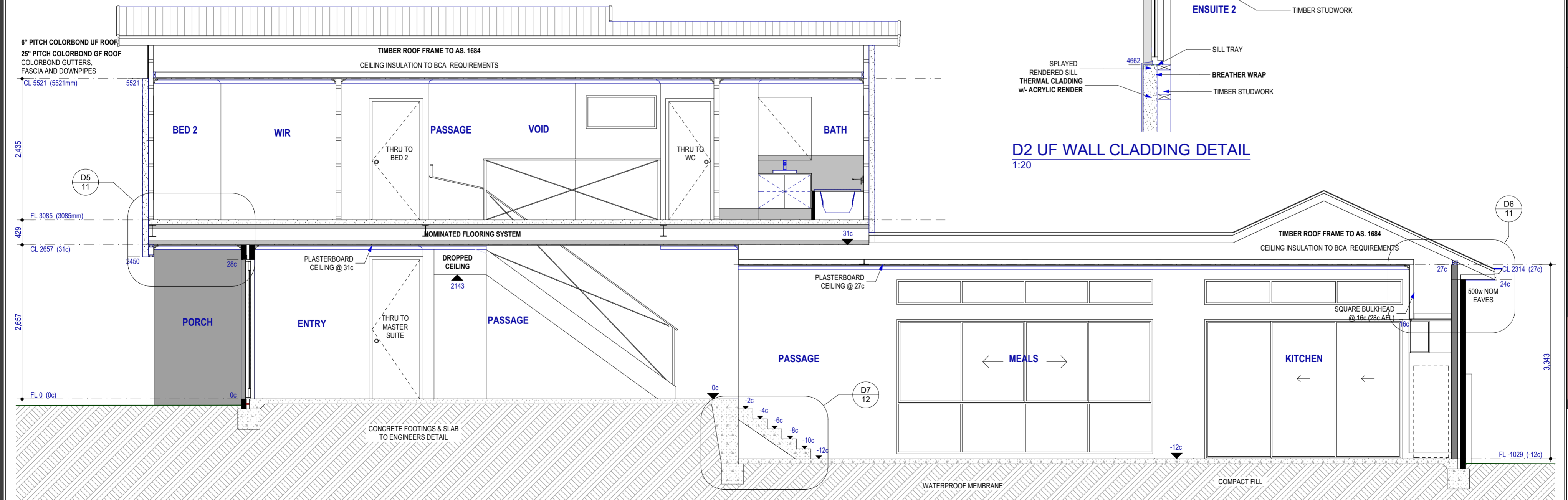
BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

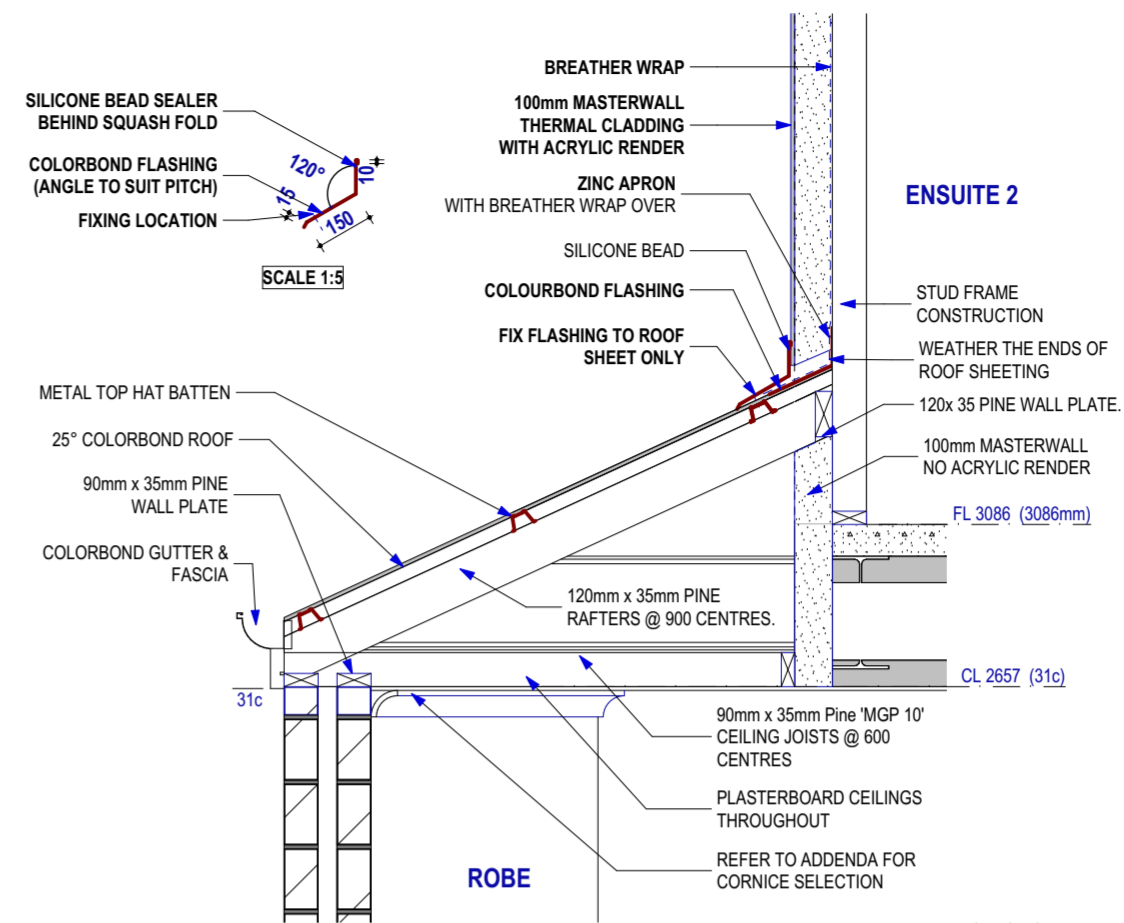
OWNER DATE
OWNER DATE
BUILDER DATE



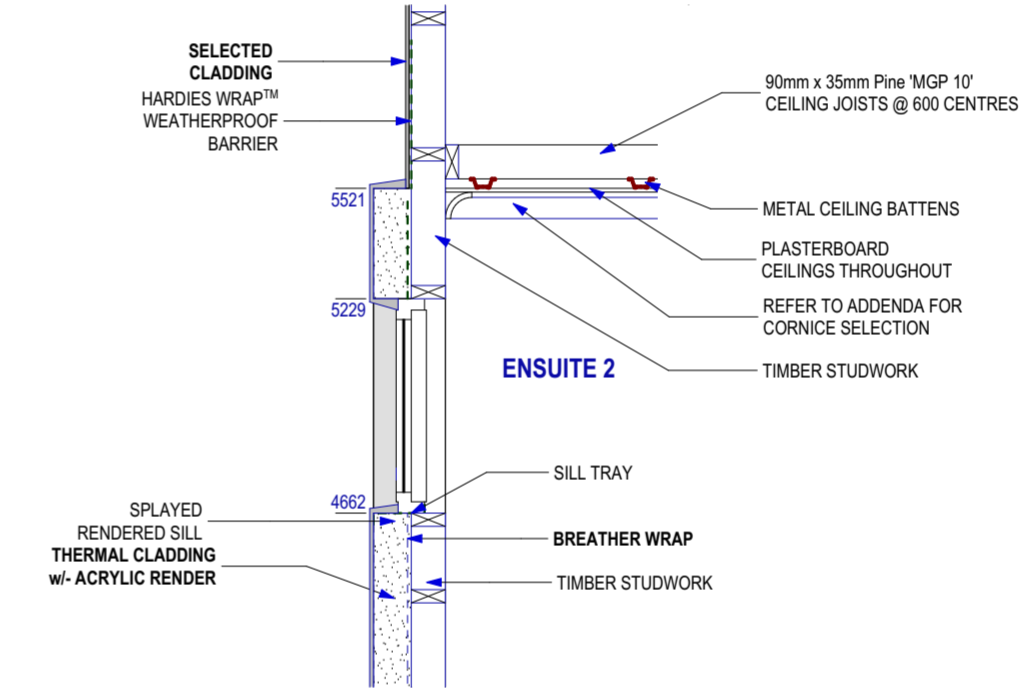
S1 HOUSE SECTION 01
1:50



S2 HOUSE SECTION 02
1:50



D1 31c NIL EAVES/ CLADDING FLASHING DETAIL
1:20



D2 UF WALL CLADDING DETAIL
1:20

REWARD PRIZE 8000
SECTIONS & DETAILS 01 (A2)
DATE: 17/06/2021
SCALE: 1:50, 1:20
SHEET N°: 10 of 20
JOB N°: 2009010

CLIENT: STEPHENS & RICH
SITE ADDRESS: LOT 146 (#9) ARKWELL STREET WILLAGEE WA 6156
SALES: SH
DRAWN: SR
CHECKED: TK

REV.	DESCRIPTION	DATE	INT.
1	S/O (ITEMS 1-9)	21.11.20	JB
2	V/O (ITEMS 1-9)	11.03.21	SA
3	CONTRACT (CHARCOAL PLANS)	18.03.21	SR
4	PRESTARY V/O4 (ITEMS 1-147) & ENGINEERS	21.04.21	JB
5	VOS (ITEMS 1-85) V/O6 (ITEMS 1-10) & ENGINEERS	05.05.21	CB
6	CONCRETE ISSUE	14.05.21	CB
7	VOS (ITEMS 1-2)	14.05.21	CB
8	VOS (ITEMS 1-2) V/O7 (ITEMS 1-20)	16.05.21	CB

101
BUILDERS REGISTRATION N° 13521
9 SANGORIO COURT
OSBORNE PARK WA 6007
Phone (08) 9268 9100 Fax (08) 9268 9102

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT:
OWNER: _____ DATE: _____
OWNER: _____ DATE: _____
BUILDER: _____ DATE: _____



THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT :

OWNERDATE.....

OWNERDATE.....

BUILDERDATE.....



BUILDERS REGISTRATION N° 13521
9 SANGIORGIO COURT
OSBORNE PARK WA 6017
Phone (08) 9208 9100 Fax (08) 9208 9102

© Copyright 2011

VARIATIONS:

REV:	DESCRIPTION:	INT:	DATE:
'2'	SV01 (ITEMS 1-9)	JB	24.11.20
'3'	ZS108 (ITEMS 1-32)	SA	11.03.21
'4'	VO2 (ITEMS 1-92)	SR	18.03.21
'5'	CONTRACT (CHARCOAL PLANS) PRESTART: VO4 (ITEMS 1-147) & VO5 (ITEMS 1-55), VO6 (ITEMS 1-10) & ENGINEERS	JB	21.04.21
'6'	CONCRETE ISSUE	CB	05.05.21
'7'	VO8 (ITEMS 1-2)	CB	14.05.21
'8'	VO3 (ITEMS 1-2) VO7 (ITEMS 1-20)	CB	16.06.21

CLIENT:

STEPHENS & RICH

SITE ADDRESS:

**LOT 146 (#9) ARKWELL STREET
WILLAGEE WA 6156**

SALES: SH DRAWN: SR CHECKED: TK

REWARD PRIZE 8000

PERSPECTIVES

DATE: 17/06/2021	SHEET N°:
SCALE: 1:100	20 of 20
REVISION N°:	JOB N°:
08	2009010