

TITLE : FEATURE & CONTOUR SURVEY

AUTHORITY : CITY OF MELVILLE



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P: (08) 9354 8511 W: linkssurveying.com.au

UBD REF : 328 K 16

GPS : S 32.06871°

E 115.85947°

TITLE PLAN

C/T

SURVEYED

DWG No

REV

SSP : 82230

2989/564

10/08/21

42938-01-100

A

NOTE This PLAN is current at the Surveyed Date, NOT FOR CONSTRUCTION purposes without site corroboration. The cadastral boundary POSITION is APPROXIMATE & requires survey confirmation - Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection. © STANDFAST NOMINEES 1996

SERVICE LEGEND

POWER

- CONSUMER POLE ○ CP
POWER POLE ○ PP
LIGHT POLE ○ LP
STAY POLE ○ SP
S. WIRE ANCHOR ○ SWA
UNI PILLAR ☒
EXPOSED CABLES ○ EC

GAS

- PRE-LAID CONN. ○ GPL
METER □ GM

SEWERAGE

- MANHOLE ○ SMH
INSPECT. SHAFT ○ IS
INSPECT. OPENING ○ IO
HOUSE CONNECTION ○ HC
HOUSE CONN. INDICATOR ○ HCI
INSPECT. SHAFT CONNECTION ○ ISC

TELE.

- PIT □ TEL
PRE-LAID CONN. ○ TPL

DRAINAGE

- MANHOLE ○ DMH
GULLY PIT □
LOT PIT ○ LDP
HOUSE CONN. ○ DHC
SIDE ENTRY PIT □
COMBINATION ENTRY PIT □

WATER

- STOP VALVE ○ WSV
HYDRANT ○ HY
FLUSH POINT ○ FP
WATER TAP ○ WTP
WATER METER ○ M
PRE-LAID CONN. ○ WPL

SURVEY

- DATUM NAIL ✦
PEG FOUND ○ PF
PEG DISTURBED ○ PD
PEG GONE ○ PG
MARK ON FEATURE ■ MOF

LOT RECORDS

| STATUS | LOCATED | AVAILABLE | NO SERVICE | CONFIRM |
|-------------|---------|-----------|------------|---------|
| | | | | |
| LOT SERVICE | | | | |
| WATER | | ✓ | | ✓ |
| SEWERAGE | ✓ | | | |
| GAS | | ✓ | | ✓ |
| TELE. | ✓ | | | |
| DRAINAGE | | | | ✓ |
| POWER | ✓ | ✓ | | |

AREA: ESTAB 09/2020

COASTAL DISTANCE 1.5-10km

LOT: 2
AREA: 363 m²

APPROX. AHD + 14.27m

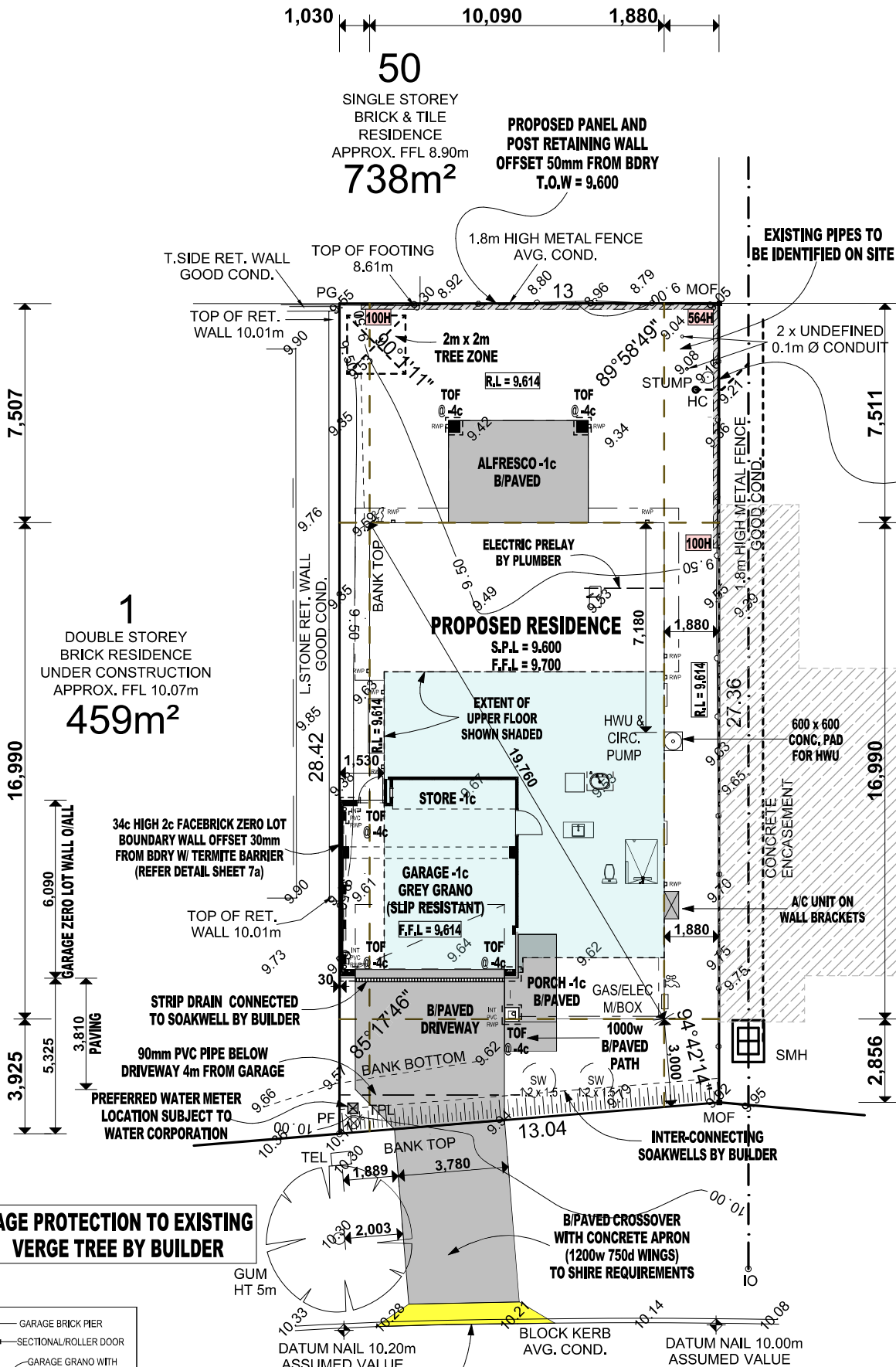
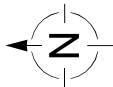
SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION & / OR AVAILABILITY ON SITE. APPROXIMATE AHD CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.

GROUND COVER

SANDY / GRASS / WEED

SEWER CONNECTION POSITION

APPROXIMATE ONLY
SEWER INVERT LEVEL 7.66
SEWER BROUGHT UP 0.00
DEPTH TO CONNECTION 1.42



SAND PAD LEVEL FIXED DUE TO SUIT EXISTING LEVELS ON SIDE BOUNDARIES

NOTE: REFLUX VALVE TO SEWER

CONCRETOR NOTE: 100mm THICK GROUND FLOOR SLAB

CONCRETOR NOTE: 230mm CAVITY WALLS

SUPERVISOR NOTE: METAL DECK ROOF ENGINEERS HOLDING DOWN DETAILS TO APPLY

PROPOSED PANEL AND POST RETAINING WALL OFFSET 50mm FROM BDRY T.O.W = 9,600

578 SINGLE STOREY BRICK & TILE RESIDENCE WELL CLEAR 1082m²

OVERSHADOWING SHOWN HATCHED AREA = 91.43m

OVERSHADOWING (21/06 @ NOON) CALCULATIONS: lot 578 = 1082m² 91.43 / 1028 = 8.9% COMPLIES - YES

| SITE REQUIREMENTS | |
|-------------------|-------------------|
| ZONING | R20 |
| LDP APPLIC. | N/A |
| SITE COVER | 45.88% of 50% |
| AVERAGE | 6.0m |
| FRONT MIN. | 3.0m |
| FRONT MAX. | N/A |
| LOT AREA | 363m ² |
| VO REQ. | YES |

NOTE: STORMWATER DISPOSAL TO SHIRE REQUIREMENTS BY BUILDER

| Soak Well Type | No. | |
|----------------|-----|----------------------|
| SW 1200x1500 | 2 | 3.4 m ³ |
| Total Capacity | | 3.4 m ³ |
| Roof Area GF | | 96.5 m ² |
| Paved Area | | 24.3 m ² |
| Roof Area UF | | 111.9 m ² |
| Total Area | | 232.7 m ² |

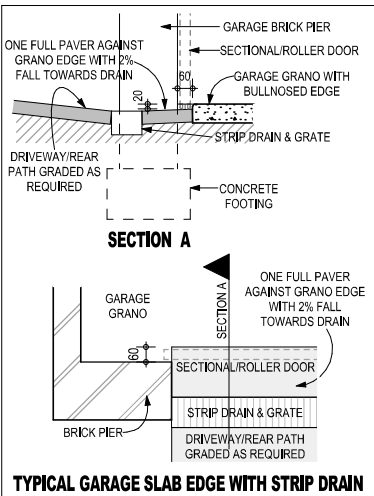
Capacity Required (Area x 0.0130) 3.0 m³
Extra Capacity Provided 0.4 m³

| Paved / Conc. Apron Areas | | |
|---------------------------|----------------------|-----------|
| Location | Area | Perimeter |
| Alfresco | 16.46 | 16.58 |
| Crossover | 23.15 | 19.82 |
| Crossover Conc. Apron | 3.63 | 12.73 |
| Driveway | 26.41 | 20.05 |
| Path | 1.78 | 5.56 |
| Porch | 4.38 | 9.56 |
| | 75.81 m ² | 84.30 m |

CAGE PROTECTION TO EXISTING VERGE TREE BY BUILDER

NOTE: REMOVE SECTION OF EXISTING BLOCK KERB AND REPLACE WITH CONCRETE APRON TO SHIRE REQUIREMENTS

ELA ST
BITUMEN



LOT : 2 No. 17 ELA ST
SUBURB : LEEMING
ROSS NORTH REF : 8887
SCALE @ A3 : 1:200



Ross North Homes
Leeuwin Classic
Premium Spec.
Job N°. 8887

PROPOSED NEW HOME:
For Mr S. & Ms E. Wilkins
At Lot 2 (#17) Ela Street, Leeming

V19.2

These are the plans referred to in our contract

DATE

OWNER

BUILDER

OWNER

WITNESS

CLASS: N1
SHIELDING: FS

NO

SCALE: 1:200

SHEET: 1 of 10

| DRN | DATE | CHK'D | DESCRIPTION |
|-----|----------|-------|--------------|
| MJB | 26/08/21 | MA | WORKING DWGS |
| - | - | - | - |
| - | - | - | - |
| - | - | - | - |
| - | - | - | - |
| - | - | - | - |
| - | - | - | - |
| - | - | - | - |
| - | - | - | - |

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Client to check plans, specifications and addenda carefully.

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Plumber Note floor wastes to be located as per plumbing plan

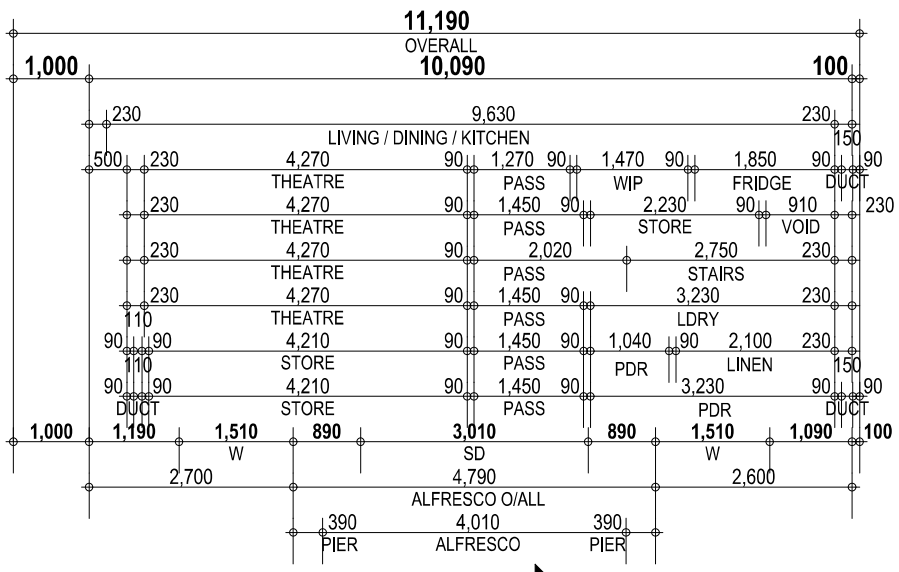
Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.

TIMBER ROOF FRAMING IN ACCORDANCE WITH AS 1684
400 x 400 BLOCK OUT TO CEILING FRAME FOR ALL FLUED
VENTS, EXHAUST FANS & RANGEHOOD WHERE SHOWN ON
PLANS AS 'FV'
PLANS TO BE READ IN CONJUNCTION WITH CERTIFIED
ENGINEER'S DETAILS
ALL GARAGE PIERS TO HAVE TIE DOWN STRAPS UNLESS
NOTED OTHERWISE
DISHWASHER RECESS TO HAVE COLD PLUMBING & GPO
CIRCULATING PUMP TO HOT WATER UNIT

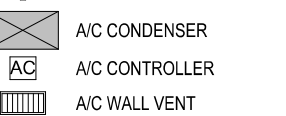
**NOTE: 2c FACE BWK
TO EXTERNAL WALLS
(290 x 162 x 90) LAID IN THIRD BOND
(UNLESS NOTED OTHERWISE)**

**NOTE: RENDERED BWK
TO EXTERNAL WALLS
WHERE NOMINATED**

**NOTE: CAVITY WALL
INSULATION THROUGHOUT**

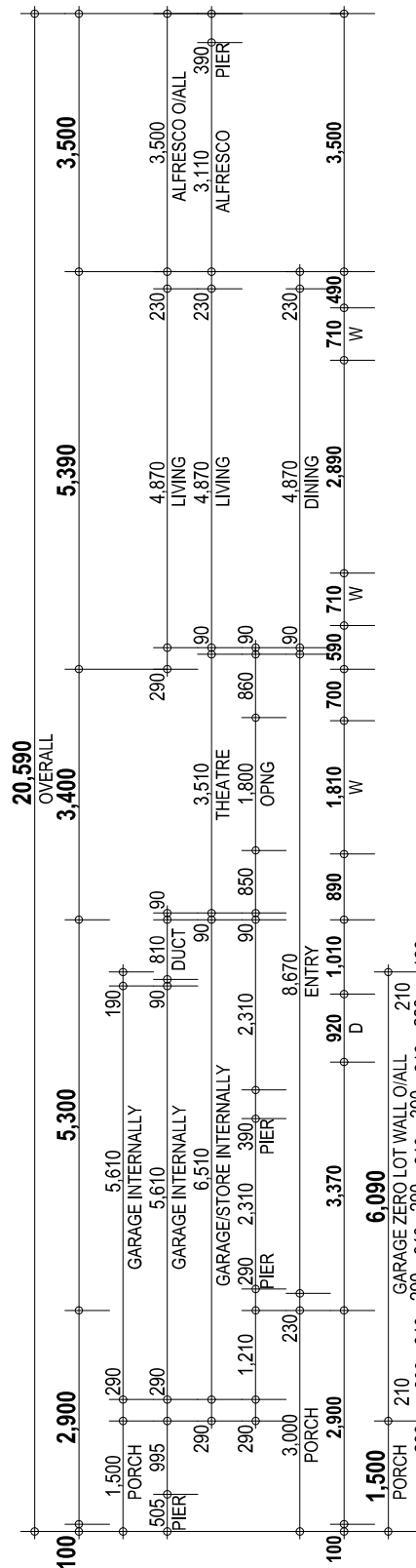


 A/C CEILING VENT (ROUND)



**POSITIONS ARE INDICATIVE ONLY: FINAL
LOCATION AS PER SITE INSTALLATION
REQUIREMENTS**

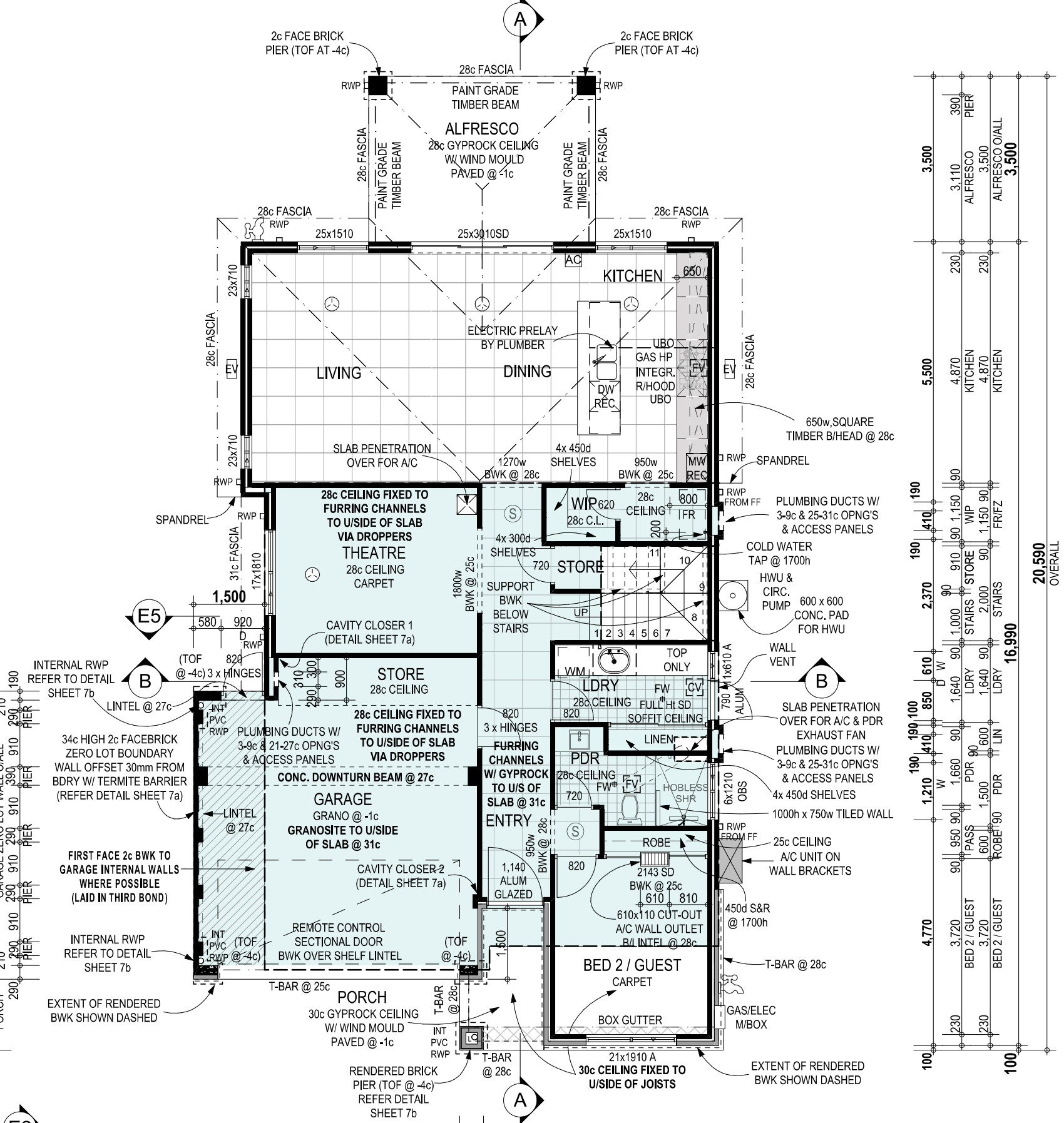
**NOTE: ROOF PITCHES VARY.
REFER TO ELEVATIONS
FOR ROOF PITCHES**



SUPERVISOR NOTE:
METAL DECK ROOF
ENGINEERS HOLDING
DOWN DETAILS TO APPLY

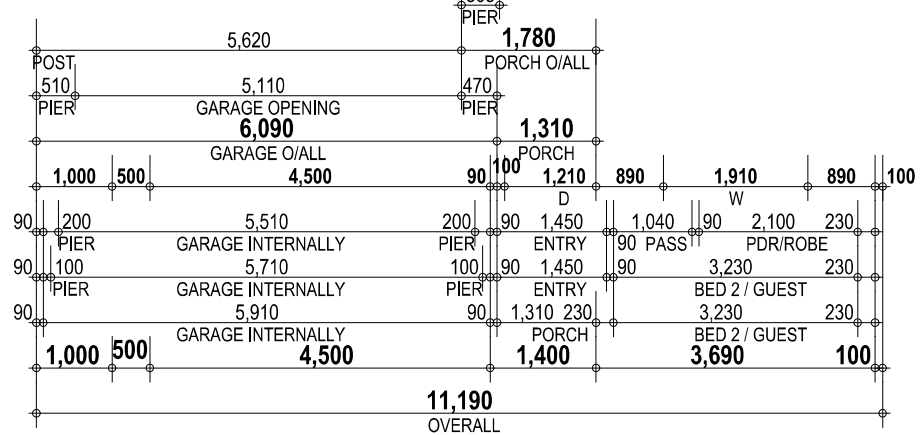
| GROUND FLOOR AREAS | | |
|--------------------|-----------------------------|-----------------|
| | AREA | PERIMETER |
| GROUND FLOOR | 124.83 | 54.56 |
| GARAGE/STORE | 39.87 | 25.78 |
| ALFRESCO | 16.77 | 16.58 |
| PORCH | 4.64 | 9.56 |
| | 186.11 m² | 106.48 m |

| | AREA | PERIMETER |
|-------------------------|----------------------------|----------------|
| GF REAR & ALFRESCO ROOF | 78.82 | 48.18 |
| PORCH ROOF | 10.01 | 14.20 |
| GARAGE ROOF | 7.66 | 13.80 |
| | 96.49 m² | 76.18 m |



NOTE:
WATERPROOFING TO ENTIRE POWDER
FLOOR. INCLUDES SKIRTING, PUDDLE
FLANGES AND WATER STOPS. FLOOR
GRADED TO SHOWER CHANNEL GRATE

EXTENT OF UPPER FLOOR,
2c SUSPENDED FLOOR SLAB
(UNLESS NOTED OTHERWISE)



PROPOSED NEW HOME:
For Mr S. & Ms E. Wilkins
At Lot 2 (#17) Ela Street, Leeming

These are the plans referred to in our contract

| | |
|-------|---------|
| DATE | |
| OWNER | BUILDER |
| OWNER | WITNESS |

CLASS: N1

SHIELDING: FS

BPA: NO

NO

SCALE. 1:100

| DRN | DATE | CHK'D | DESCRIPTION |
|-----|------|-------|-------------|
|-----|------|-------|-------------|

| | | | |
|-----|----------|----|--------------|
| MJB | 26/08/21 | MA | WORKING DWGS |
|-----|----------|----|--------------|

| | | | |
|---|---|---|---|
| - | - | - | - |
| - | - | - | - |

| | | | |
|---|---|---|---|
| - | - | - | - |
| | | | |

| | | | |
|---|---|---|---|
| - | - | - | - |
| - | - | - | - |

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GENERAL NOTES:

- TIMBER ROOF FRAMING IN ACCORDANCE WITH AS 1684
- 400 x 400 BLOCK OUT TO CEILING FRAME FOR ALL FLUED VENTS, EXHAUST FANS & RANGEHOOD WHERE SHOWN ON PLANS AS 'FV'
- PLANS TO BE READ IN CONJUNCTION WITH CERTIFIED ENGINEER'S DETAILS
- ALL GARAGE PIERS TO HAVE TIE DOWN STRAPS UNLESS NOTED OTHERWISE
- DISHWASHER RECESS TO HAVE COLD PLUMBING & GPO CIRCULATING PUMP TO HOT WATER UNIT

NOTE: 2c FACE BWK TO EXTERNAL WALLS
(290 x 162 x 90) LAID IN THIRD BOND (UNLESS NOTED OTHERWISE)

NOTE: CAVITY WALL INSULATION THROUGHOUT

NOTE: BALUSTRADE/HANDRAIL TO COMPLY WITH BCA 3.9.2 REQUIREMENTS

**AIR CONDITIONING LEGEND
(REVERSE CYCLE)**

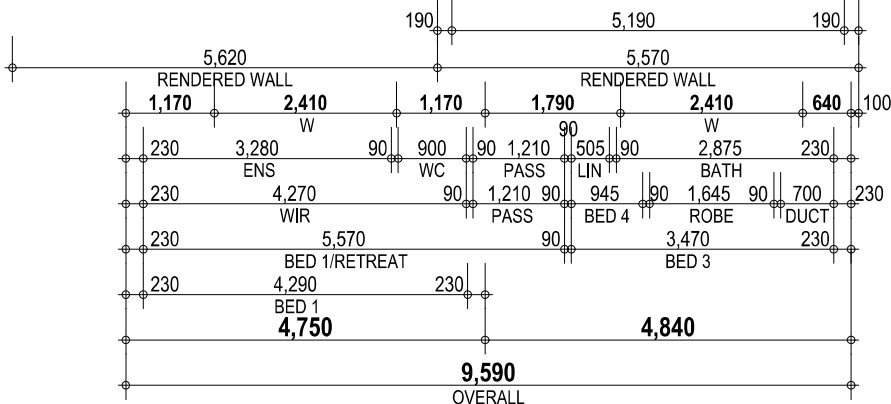
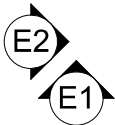
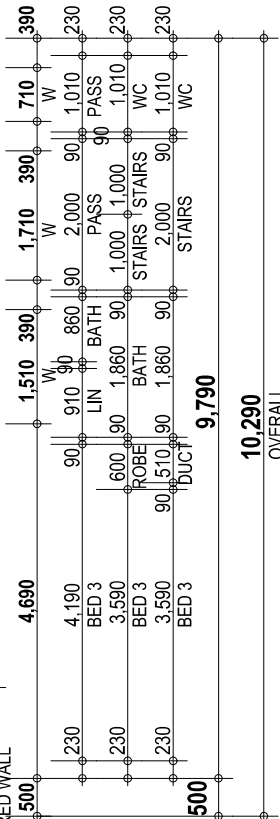
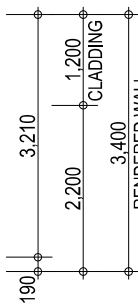
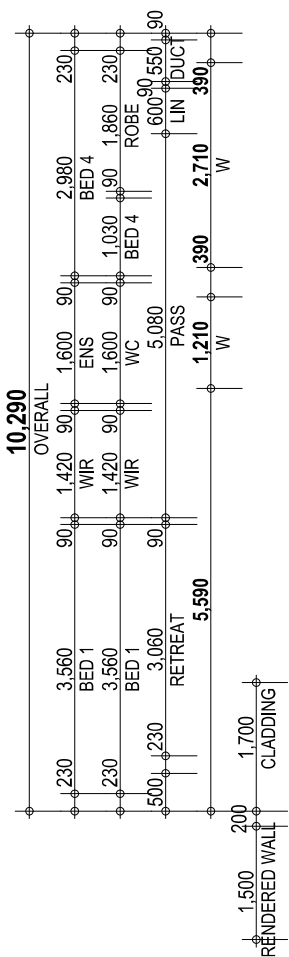
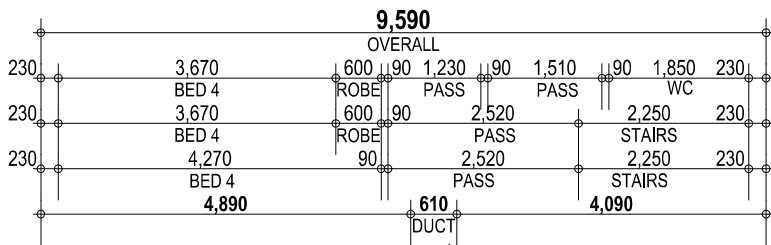


RETURN AIR (1170 x 570)



A/C CEILING VENT

POSITIONS ARE INDICATIVE ONLY: FINAL LOCATION AS PER SITE INSTALLATION REQUIREMENTS



PROTECTION OF UPPER FLOOR WINDOWS IN ACCORDANCE WITH BCA PART 3.9.2.5

HARDIES PRIMELINE 'NEWPORT' PAINTED WEATHERBOARD CLADDING TO EXTENT SHOWN TO FIRST FLOOR EXTERNAL WALLS FIXED TO 90mm TIMBER FRAMING (REVERSE BRICK VENEER) W/ R2.5 INSULATION. REFER TO DETAIL SHEET 7c

| UPPER FLOOR AREAS | | |
|-------------------|----------------------|-----------|
| | AREA | PERIMETER |
| FIRST FLOOR | 96.26 | 39.76 |
| | 96.26 m ² | 39.76 m |
| FF ROOF | | |
| | AREA | PERIMETER |
| | 111.85 | 42.76 |



Ross North Homes
Leeuwin Classic
Premium Spec.
Job N°. 8887

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At Lot 2 (#17) Ela Street, Leeming

V19.2

These are the plans referred to in our contract

DATE

OWNER

BUILDER

OWNER

WITNESS

WIND:

CLASS: N1

SHIELDING:

FS

BPA:

NO

SCALE:

1:100

SHEET:

3 of 10

DRN

MJB

DATE

26/08/21

CHK'D

MA

DESCRIPTION

WORKING DWGS

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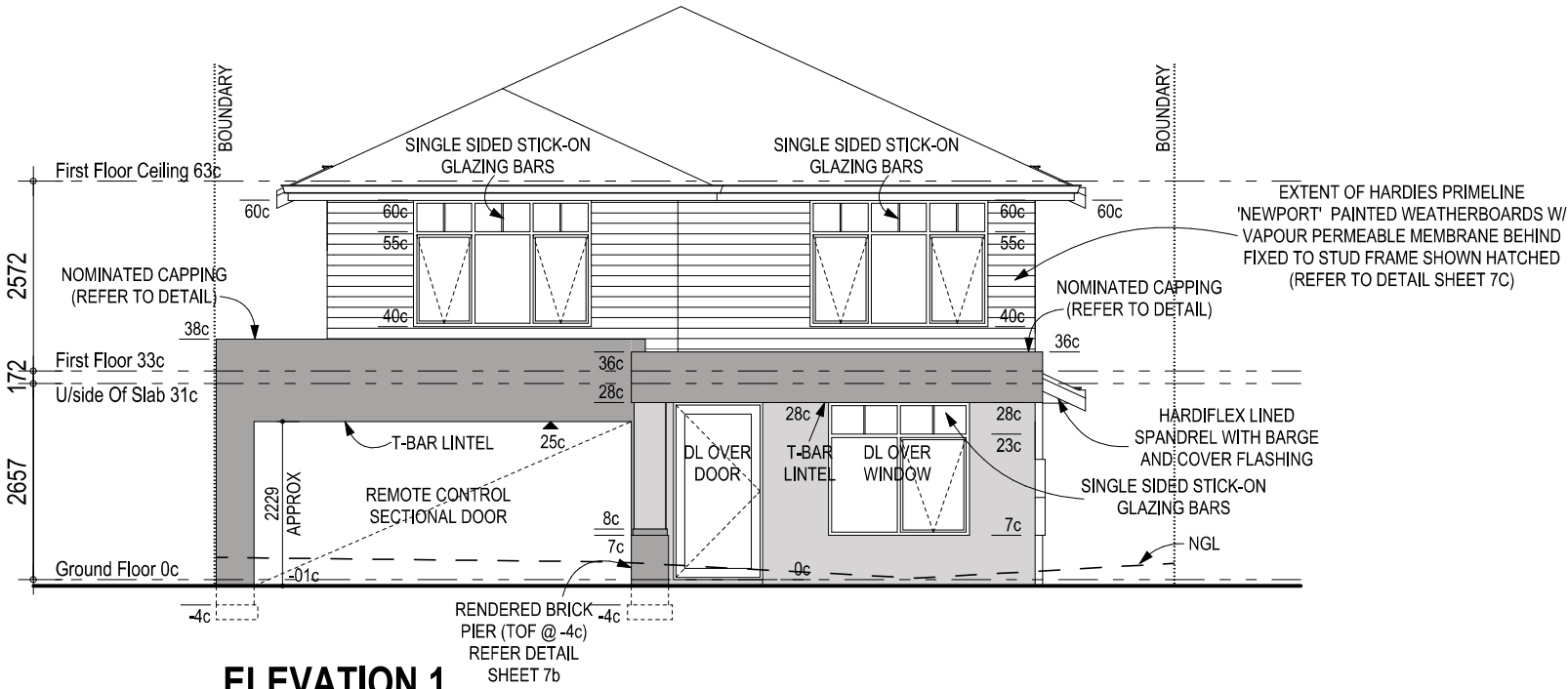
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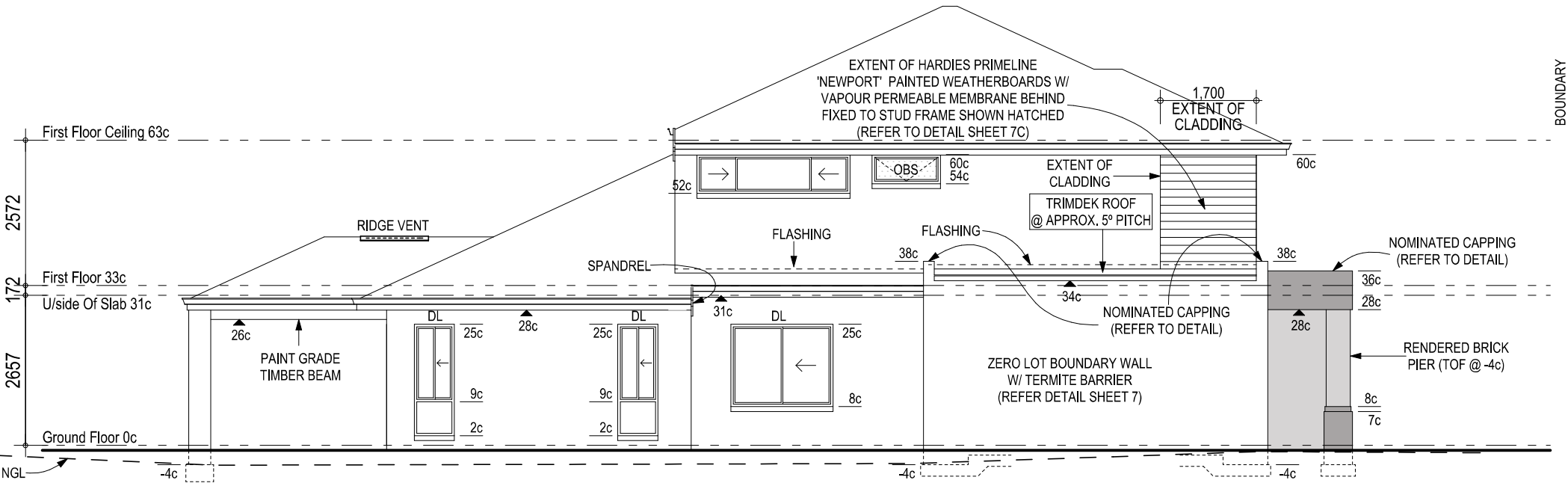
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| ELEVATION LEGEND | |
|------------------|--|
| ROOF COVER | COLOURBOND CORRUGATED METAL@ 25° PITCH TRIMDEK @ 5° PITCH OVER PORCH/BED 2 & GARAGE |
| BRICKWORK | 2c FACE BRICK |
| | PRIMELINE NEWPORT WALL CLADDING |
| | RENDERED BRICKWORK |
| | CONTRASTING RENDERED BRICKWORK |
| | FOOTING AS PER ENGINEERS (SHOWN DASHED) |
| DL | DOUBLE LINTELS |
| - - - - | NATURAL GROUND LEVEL AT BOUNDARY |
| | BOUNDARY LINE |

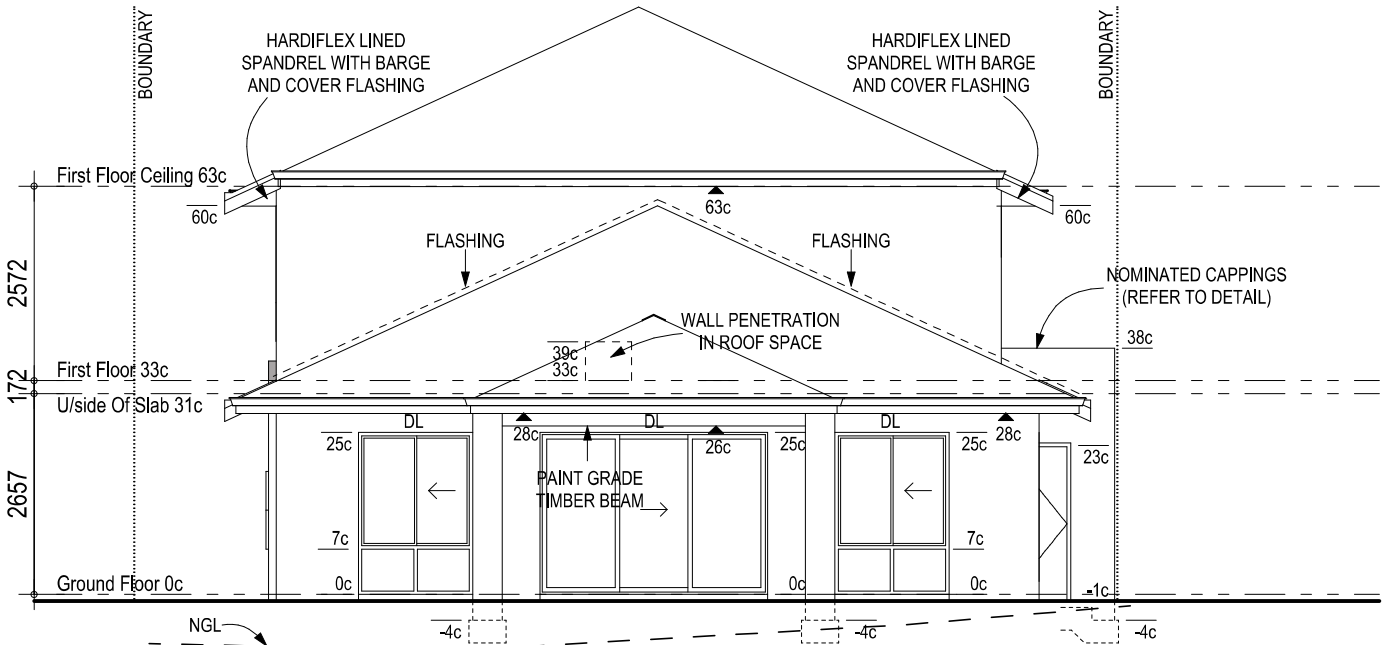
NOTE:
CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684




ELEVATION 1



ELEVATION 2



ELEVATION 3



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| | | | | | |
|------------|-----------|-----|----------|-------|--------------|
| WIND: | CLASS: N1 | DRN | DATE | CHK'D | DESCRIPTION |
| SHIELDING: | FS | MJB | 26/08/21 | MA | WORKING DWGS |
| BPA: | NO | - | - | - | - |
| SCALE: | 1:100 | - | - | - | - |
| SHEET: | 4a of 10 | - | - | - | - |

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CONVENTIONAL TIMBER
ROOF FRAMING IN
ACCORDANCE WITH AS 1684

