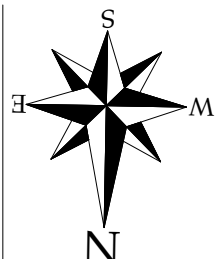


SURVEY STRATA LOT 1



DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

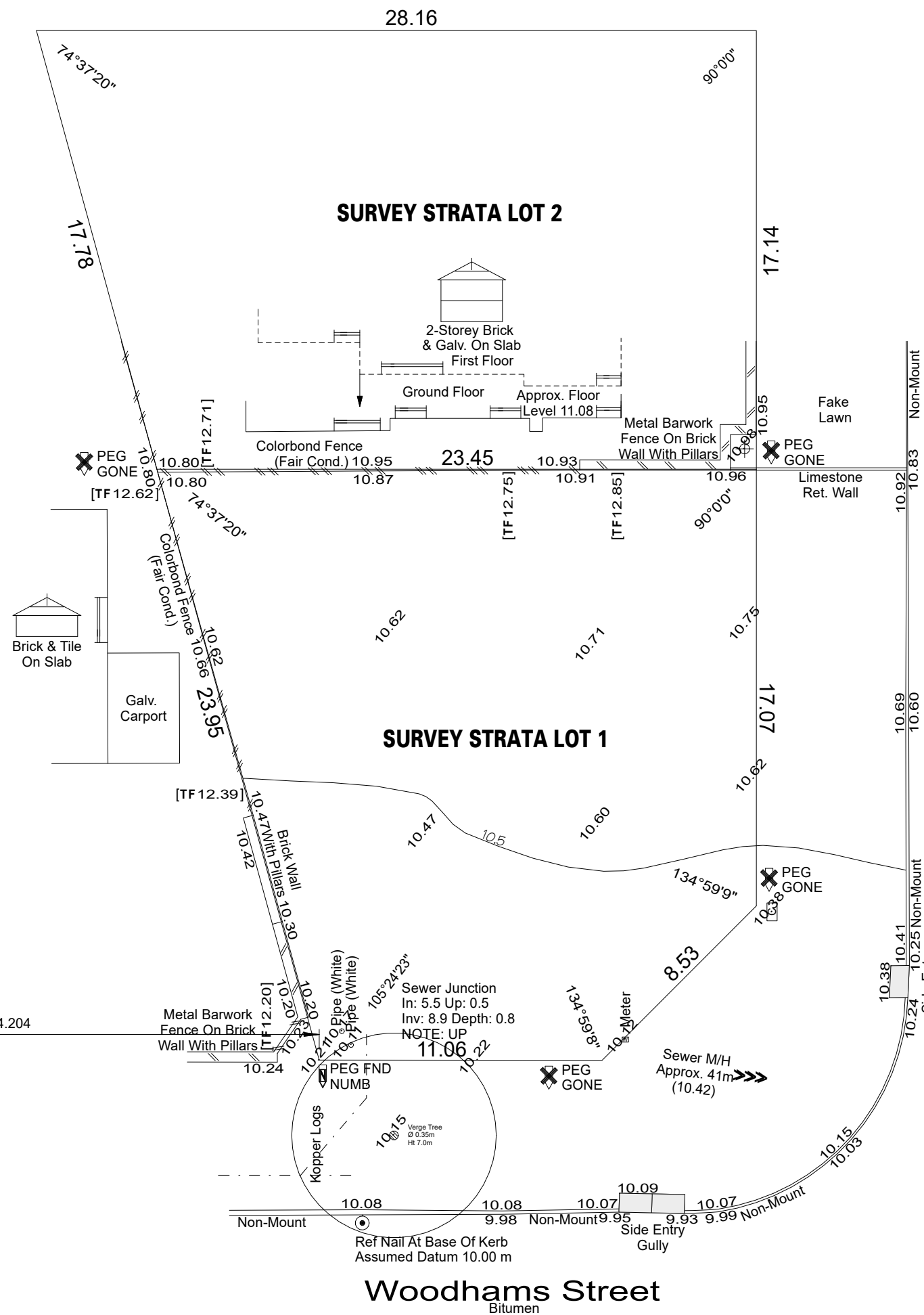
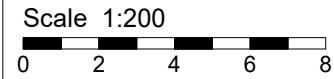
DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

NOTE:
RESTRICTIVE COVENANT BURDEN.
SEE DOCUMENT T3115/1961
REGISTERED 3/3/1961

SSL 2 MISCLOSE
0.006 m

SSL 1 MISCLOSE
0.006 m

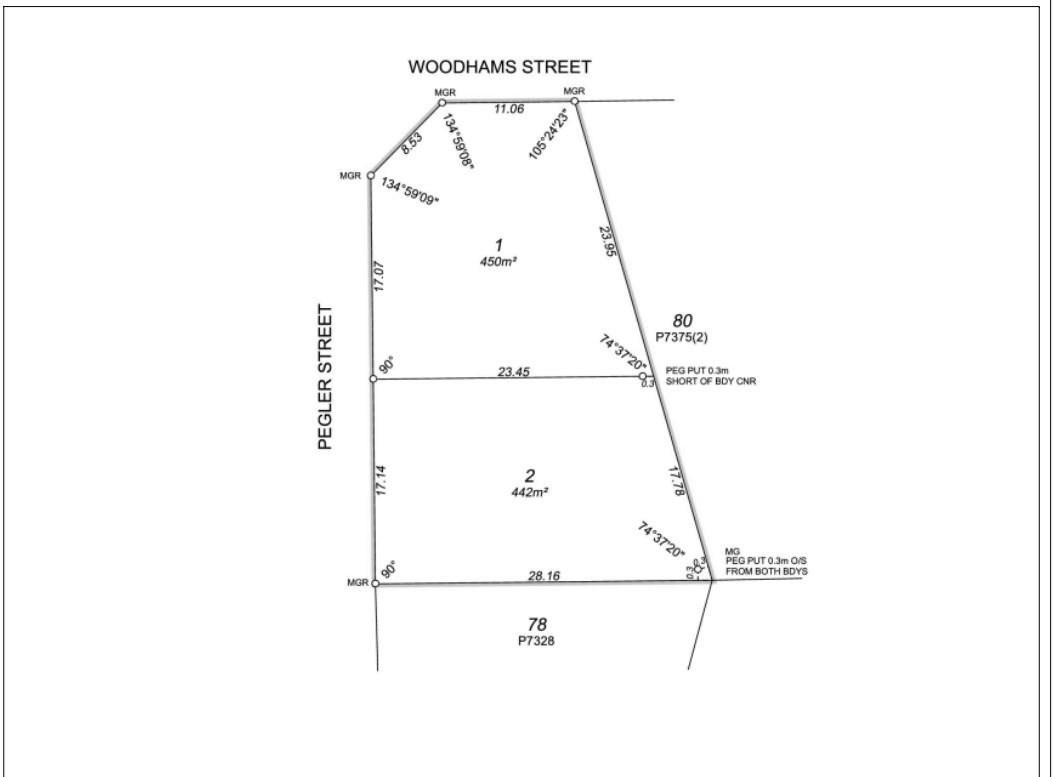


LEGEND	Symbol	Description
	⊕	Power Dome
	○	Power Pole
	□	Phone Pits
	⊞	Water Conn.
	[TP 10.00]	Top Pillar/Post
	[TW 10.00]	Top Wall
	[TR 10.00]	Top Retaining
	[TF 10.00]	Top Fence



1 PEARSON WAY,
OSBORNE PARK W.A. 6017.
TELEPHONE: (08) 9242 9100
FACSIMILE: (08) 9242 9101
A.C.N. 009 217 887

CONTOUR & FEATURE SURVEY	
LOT	Survey Strata Lot 1 (SP 75494) Original Lot 79 (Plan 7375)
ADDRESS	#6 Pegler Street, Willagee
LGA	CITY OF MELVILLE
CLIENT	Entwistle
ORDER #	34905
GPS	Lat: -32.050134 Long: 115.814072
SSA No	AREA 450m ² VOL. 2954 FOL. 904



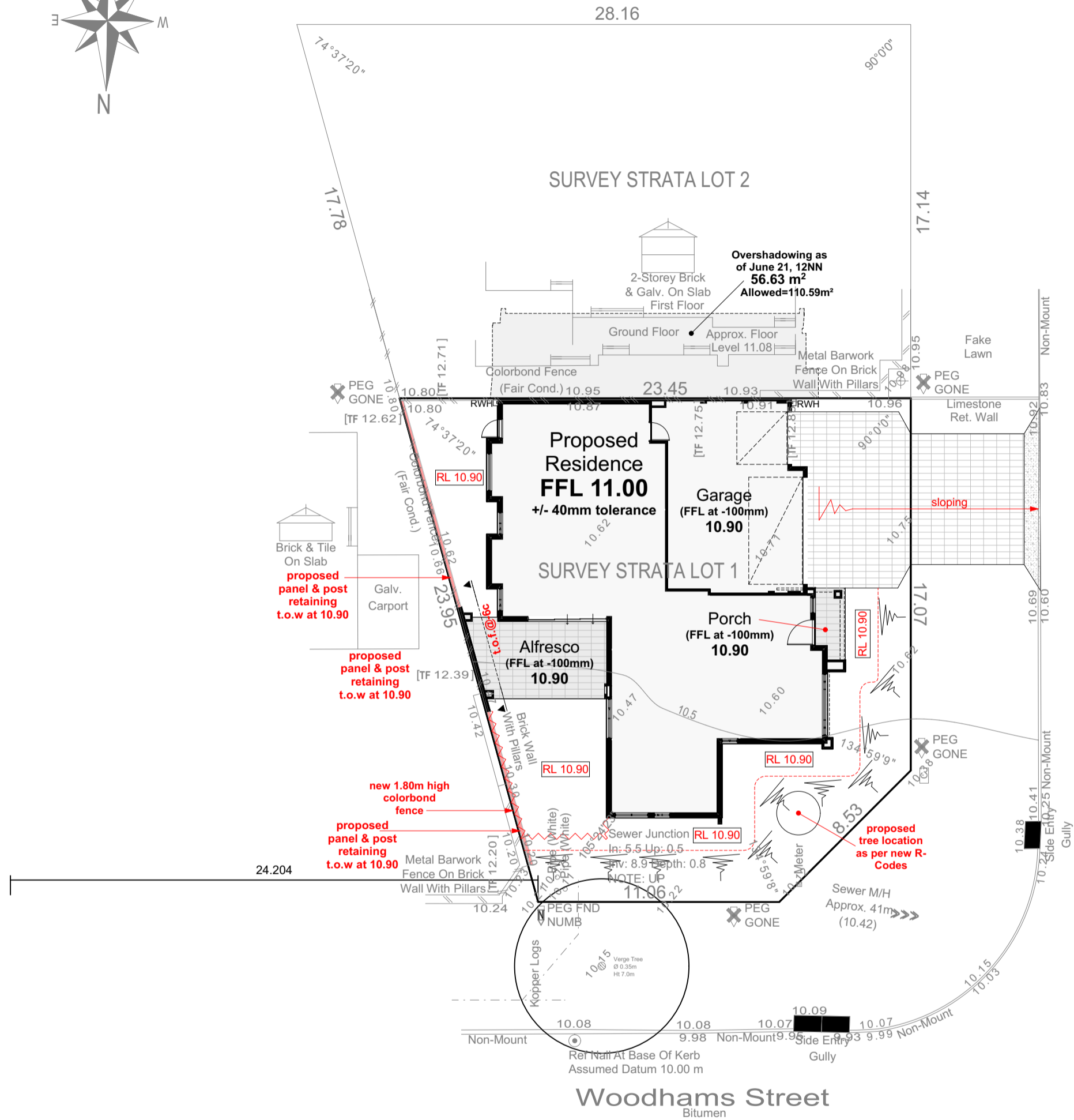
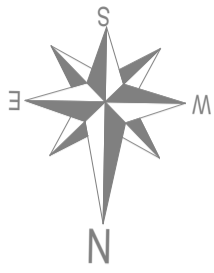
ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	No <small>(Approx. Only - Confirm With Shire)</small>
GAS	Check Alinta	COMMS	Yes	PATH	Nil	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Non-Mount	VEG.	Light Grass Cover



COTTAGE SURVEYS

87-89 Guthrie St Osborne Park WA 6017
PO Box 1611 Osborne Park BC WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB: 502308 **DATE:** 17 Jun 21 **DRAWN:** T. Do



CLIENT: Simon Entwistle & Sandra Entwistle
 ADDRESS: Lot 1 (#6) Pegler Street Willagee
 JOB NUMBER: 34905
 CONSULTANT: Ryan Neill
BIMcloud: ABN BIM CLOUD - BIMcloud/WA/DAH/Jobs/34000/34900/34905/Design/34905_5

CONCEPT#: 05VO1 10/09/2021 EP
 04CD- 13/07/2021 EP
 TP

CLIENT: _____
 CLIENT: _____
 BUILDER: _____



Ground Floor	164.41
First Floor	94.24
Triple Garage	54.64
Alfresco	22.33
Porch	4.16

Total: **339.78 m²**

Perimeter Ground: 73.761m
Perimeter First: 45.190m

2c Brickwork
2c brickwork laid 1/3 bond to entire home (refer to plan for render extents)
31c ceiling to Ground Floor

28c ceilings to Upper Floor (unless otherwise noted)

28c high internal doors throughout home (unless otherwise noted)

Zoning	R25
Percentage allowed	50%
Site Lot Area	450.04m ²
Site Cover Allowed	225.02m ²
Site Cover Used	219.05m ²

Actual Coverage 48.67%

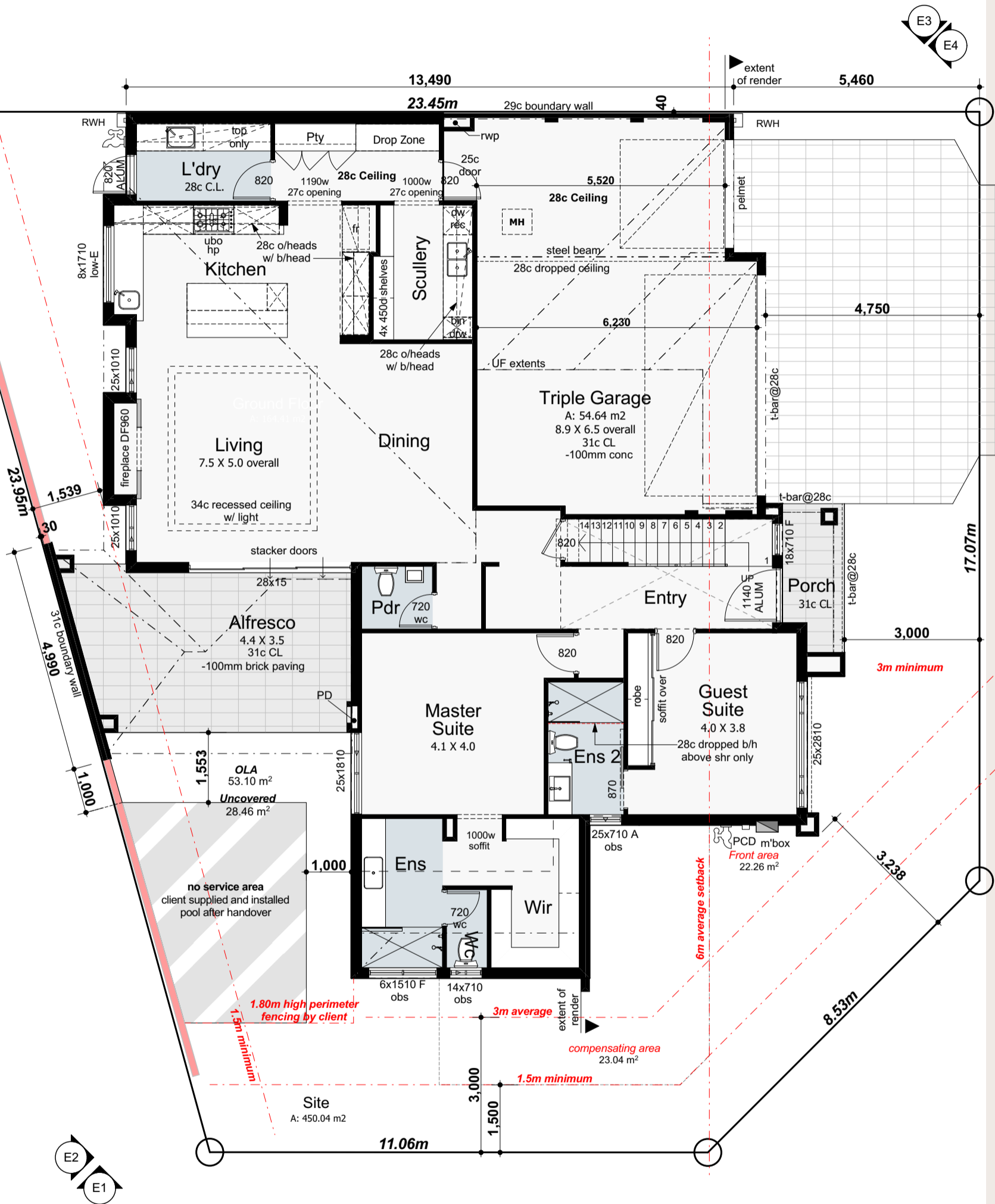
- Planning Required
- R-Code Variation

R-Code Variation Acknowledgement:
The proposed design requires a variation to the Residential Design Codes and therefore will be at the discretion of the local authority. As a result proceeding with this design may incur additional costs and time delays.

- REASONS:**
- Subdivision
 - More than 1/3 boundary wall + reduced front boundary wall setback
 - 2x boundary walls
 - Averaging uses parts of the 3m secondary setback.
 - More than 500mm retaining



Shadowline to plasterboard ceilings throughout home (unless otherwise noted)



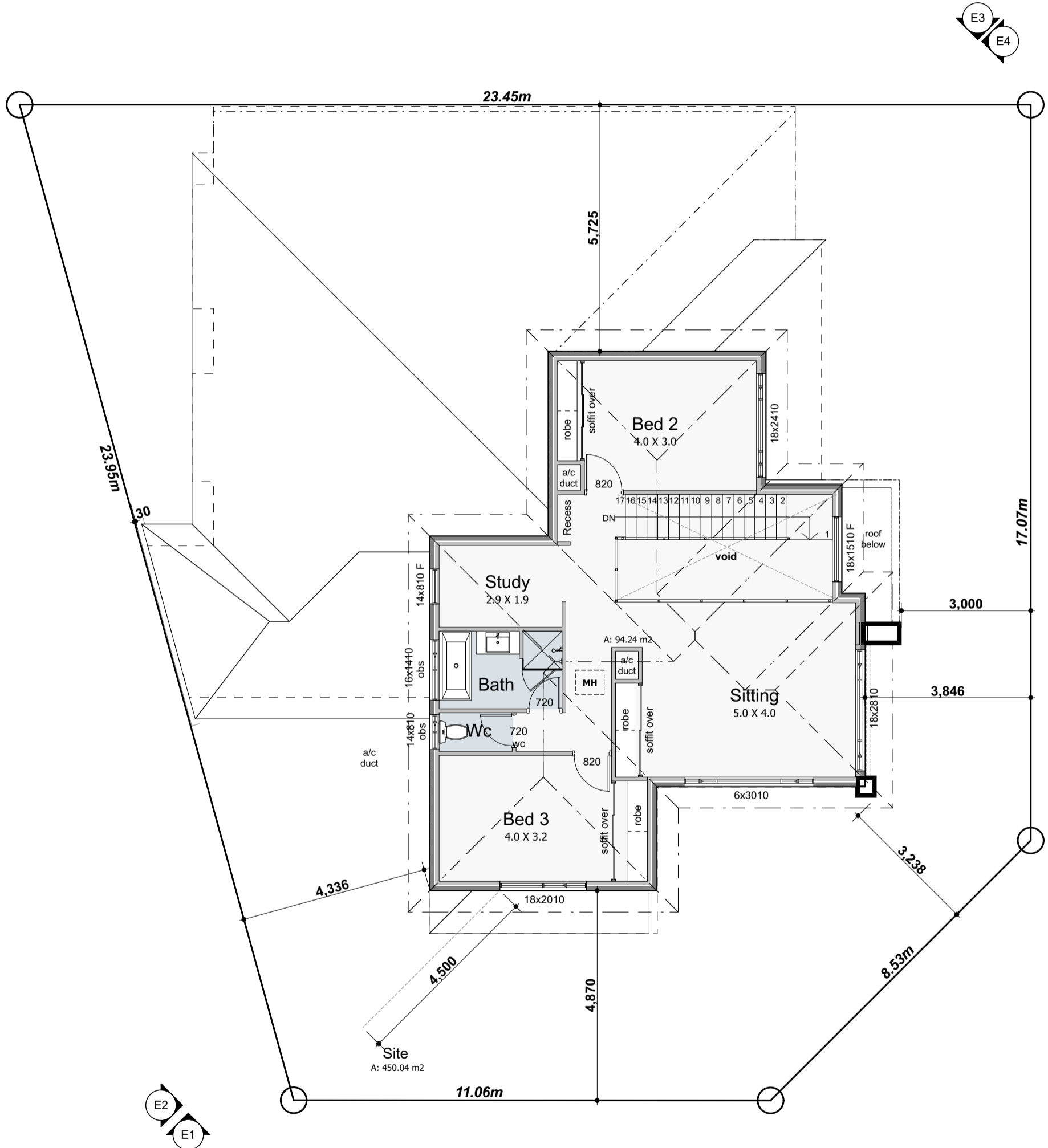
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ADDRESS: Lot 1 (#6) Pegler Street Willagee
JOB NUMBER: 34905
CONSULTANT: Ryan Neill

CONCEPT#: 05VO1 10/09/2021 EP
04CD-TP 13/07/2021 EP
03 30/06/2021 EP
02 16/06/2021 EP

CLIENT: _____
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BUILDER: _____

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Elevations

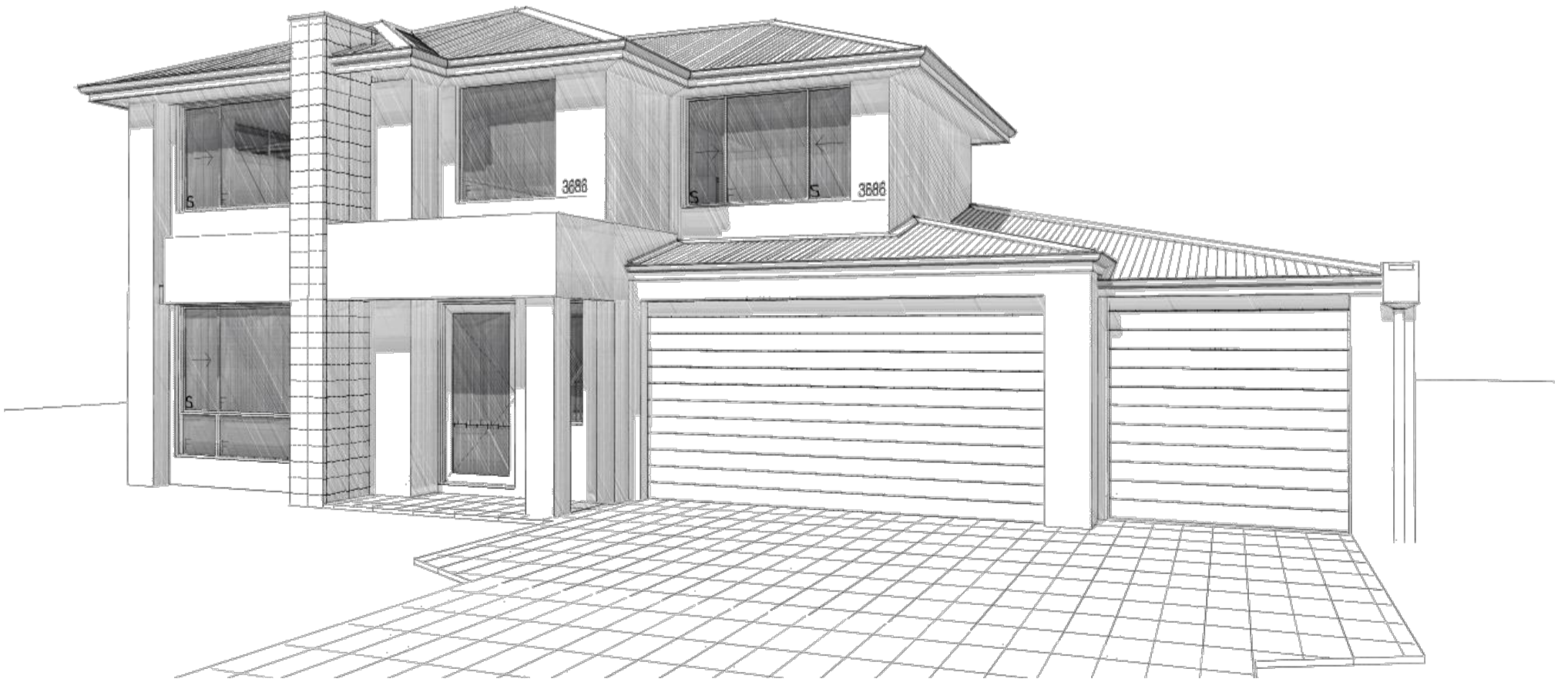
Roofing Note
 15°00' GF Roof Pitch
 24°43' FF Roof Pitch
 Metal Roof

Special
 Dales Specifications



E4 Front Elevation

1:100



CLIENT: Simon Entwistle & Sandra Entwistle

ADDRESS: Lot 1 (#6) Pegler Street Willagee

JOB NUMBER: 34905

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BIMcloud: ABN BIM CLOUD - BIMcloud/WA/DAH/Job/34000/34900/34905/Design/34905_5

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CLIENT: _____
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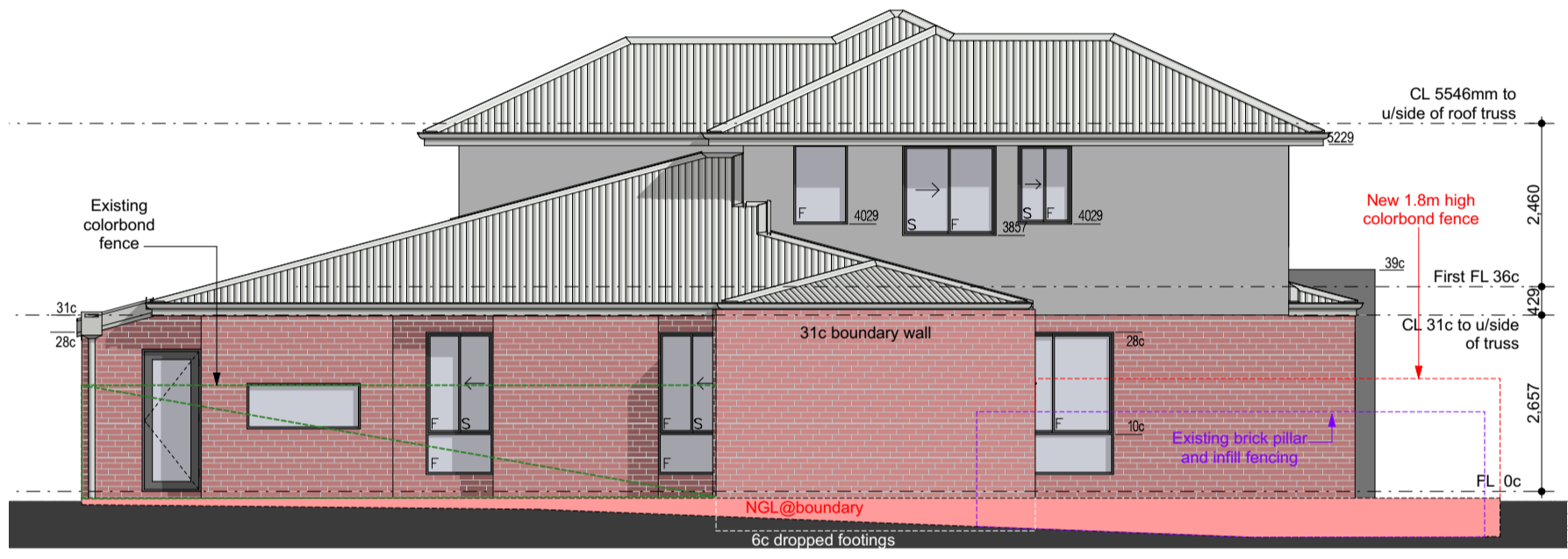
Elevations

Roofing Note
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 24°43' FF Roof Pitch
 Metal Roof

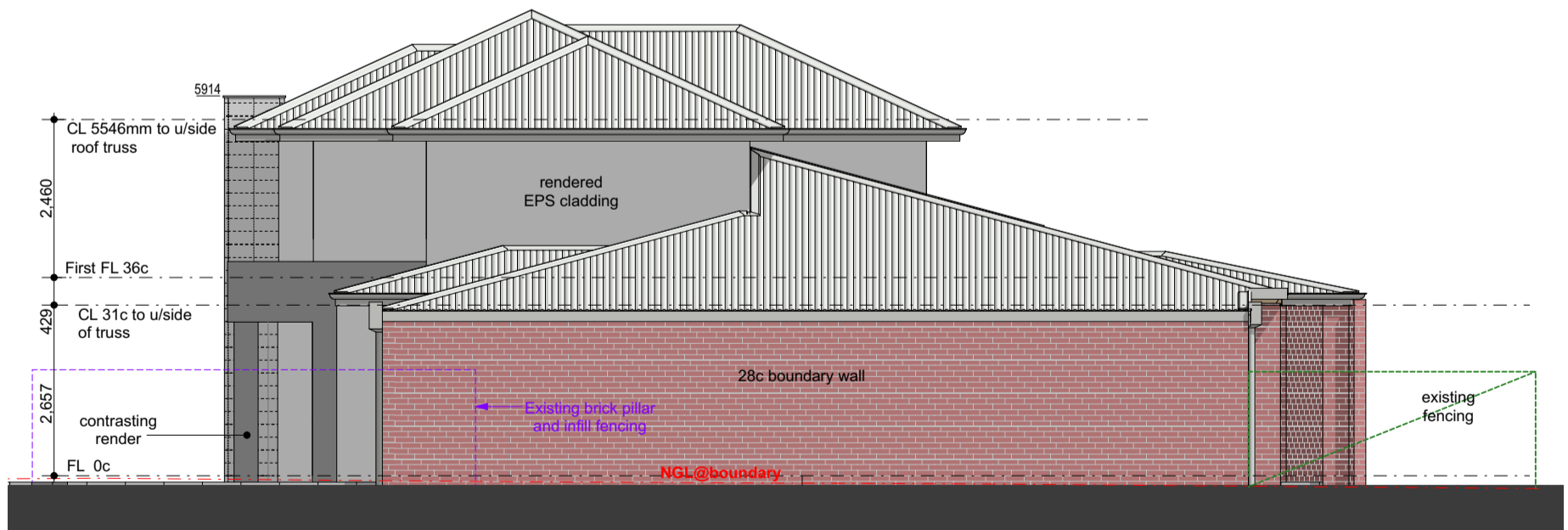
Special
 Dales Specifications



E1 Side Elevation
 1:100



E2 Rear Elevation
 1:100



E3 Side Elevation
 1:100

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